

# SITE PLAN APPLICATION

☒ Site Plan

☐ Site Plan Amendment

Project Name: Manufacturing Facility at 76 Fuller Way, Berlin, CT  
Property Owner(s): The Big A LLC  
Project Address\*: 76 Fuller Way, Berlin, CT 06037  
Map: 10 Block: 1 Lot: 83-20B Zone(s): GI Lot Area: 2.6 acres

## Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of \_\_\_\_\_
- ☐ Amendment to Zoning Regulations – Section(s) \_\_\_\_\_
- ☐ Amendment to Zoning Map – Zone(s) affected \_\_\_\_\_
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

## Applicant Information

Name: JLN Contracting Firm Name: c/o Hallisey, Pearson & Cassidy Engineering Associates, Inc.  
Street Address: 630 Main Street City: Cromwell ST: CT Zip: 06416  
Email: jcassidy@hpcengr.com Phone: (860) 529-6812  
Signature: \_\_\_\_\_ Date: 06/03/2021

## Property Owner(s) Information (If Not the Applicant)

Name: The Big A LLC Principal: Stephen A. DiMarco  
Street Address: 76 Fuller Road City: Berlin ST: CT Zip: 06037  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_

\*Letter of Authorization Required

\*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.



**Description of Project\*:** This project will consist of a change of use of the existing building to a limousine service to a manufacturing / recycling use for a company that manufactures pet food.  
 The majority of the existing building will be remain. Approximately 4,800 sq. ft. of the roof on the existing building will be raised to accommodate equipment for the new use.  
 A truck scale and finished product bin will be installed at the rear of the building, and minor site improvements will be made to improve truck circulation.  
 \*If more space is needed, then please provide separate narrative document.

### SITE PLAN ZONING STATISTICS

USE(S)	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
	<u>manufacturing</u>	<u>manufacturing &amp; recycling</u>	
<b>COMMERCIAL</b>			
Gross Floor Area			
Parking Spaces			
<b>INDUSTRIAL</b>			
Gross Floor Area	24,862 s. f.	24,862 s. f.	
Parking Spaces	116	86	
<b>RESIDENTIAL</b>			
Number of Units			
Number of Bedrooms			
Gross Floor Area			
Parking Spaces			
<b>OTHER USES</b>			
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only:

Fee Paid \$ 26000 (Refer to current Fee Schedule)

Received by: mkj CHK #11648



**APPLICATION:** Site Plan Amendment  
**APPLICANT:** JLN Contracting  
c/o Hallisey, Pearson & Cassidy Engineering Associates, Inc.  
**LOCATION:** 76 Fuller Way  
**AGENDA DATE:** July 15, 2021

*To the Applicant:*

- *These are the comments received to date, additional comments may be forthcoming.*
  - *Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at [mgiusti@town.berlin.ct.us](mailto:mgiusti@town.berlin.ct.us) or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant departments.*
- 

Health District

No comment

Economic Development

No comment

Board of Police Commissioners

No comment

Police Chief

No comment

Inland Wetlands

- Install “Abtech Ultra Urban Filter with Smart Sponge Technology” or equal in all catch basins.

Building Official

- Complete stamped drawings including M.E.P.’s with permit application required.

Fire Marshal

No comment

*Emailed to Applicant: July 7, 2021*



Jean Veley  
Chairwoman  
Planning and Zoning Commission  
Town of Berlin  
240 Kensington Road  
Berlin, CT 06037

Re: JLN Contracting c/o Smart Feed Tech

Dear Chairwoman Veley and Commission Members:

The Planning Department as well as I have been working closely with the applicant, JLN Contruction, as well as Hallisey, Pearson & Cassidy for some time on this project. The building that is under consideration this evening is the former location of Premier Limousine. Thankfully, the building will have a new life with the application before you.

Smart Food Tech will be bringing new technology and an exciting project to town at 76 Fuller Way. Their work will be recycling food "waste" which would normally end up in landfills and instead turn it into usable feed for animals.

This is a wonderful project which will again bring investment and jobs to Berlin. Much like Murphy Road, I am thrilled that the Town of Berlin and this new firm will be on the cutting edge of technology in this field.

Thank you very much for your time and consideration of this.

Sincerely,



Christopher Edge  
Economic Development Director

Visit our Web Site <http://www.town.berlin.ct.us>



# **SITE PLAN MODIFICATION**

## **FOR**

# **SMART FEED TECH**

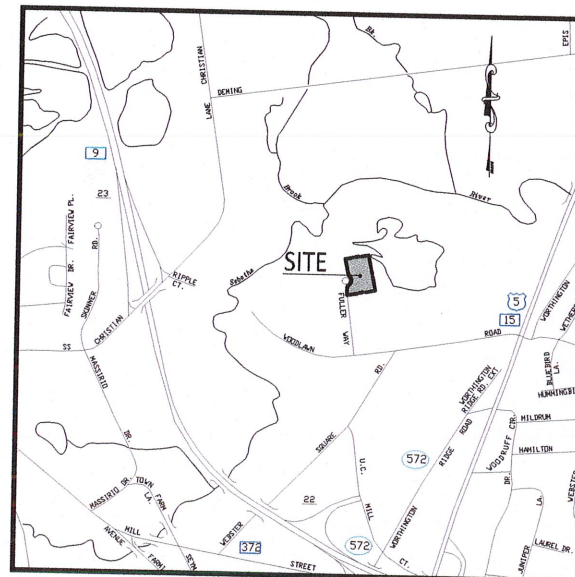
**PROPERTY LOCATED AT:**  
**#76 FULLER WAY**  
**BERLIN, CONNECTICUT**

### **OWNER**

THE BIG A, LLC  
76 FULLER WAY  
BERLIN, CT 06037

### **APPLICANT & DEVELOPER**

JLN CONTRACTING, ON BEHALF OF SMART FEED TECH  
C/O HALLISEY, PEARSON & CASSIDY ENGINEERING ASSOC., INC  
630 MAIN STREET  
CROMWELL, CT 06416



**LOCATION MAP**

SCALE: 1"=1,000'

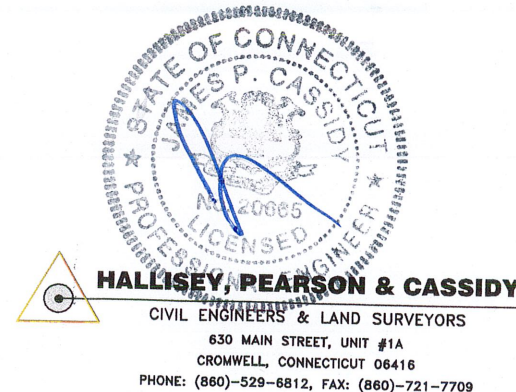
### **SHEET INDEX**

<u>SHEET #</u>	<u>DRAWING TITLE</u>
1	BOUNDARY & TOPOGRAPHIC SURVEY BY WHITESTONE ASSOCIATES
2	SITE DEMOLITION PLAN
3	ZONING IMPROVEMENT LOCATION SURVEY-PROPOSED & SITE LAYOUT PLAN
4	SITE GRADING AND DRAINAGE PLAN
5	EROSION AND SEDIMENT CONTROL PLAN
6-7	SITE DETAILS
A-3	PROPOSED FLOOR PLAN
A-4	PROPOSED ELEVATIONS

**Town of Berlin**  
**Received**

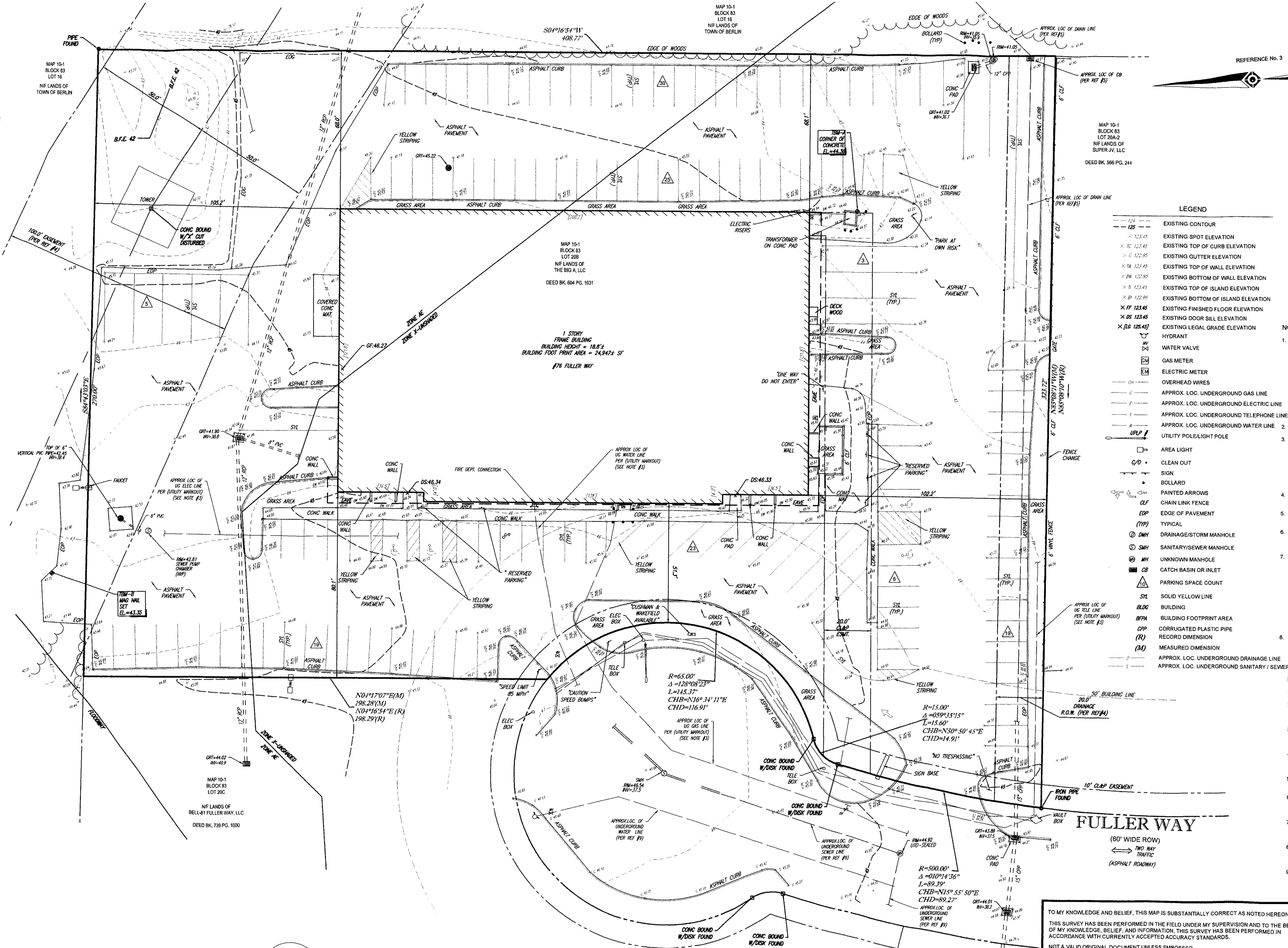
**JUN 14 2021**

Planning & Zoning Department  
Berlin, Connecticut





ALL RIGHTS RESERVED. NO PART OF THIS MAP MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM CONTROL POINT ASSOCIATES, INC. © 2013



REFERENCE No. 3

### LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING TOP OF WALL ELEVATION
- EXISTING BOTTOM OF WALL ELEVATION
- EXISTING TOP OF ISLAND ELEVATION
- EXISTING BOTTOM OF ISLAND ELEVATION
- EXISTING FINISHED FLOOR ELEVATION
- EXISTING DOOR SILL ELEVATION
- EXISTING LEGAL GRADE ELEVATION
- HYDRANT
- WATER VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND TELEPHONE LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE/LIGHT POLE
- AREA LIGHT
- CLEAN OUT
- SIGN
- BOLLARD
- PAINTED ARROWS
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- TYPICAL
- DRAINAGE/STORM MANHOLE
- SANITARY/SEWER MANHOLE
- UNKNOWN MANHOLE
- CATCH BASIN OR INLET
- PARKING SPACE COUNT
- SOLID YELLOW LINE
- BUILDING
- BUILDING FOOTPRINT AREA
- CORRUGATED PLASTIC PIPE
- RECORD DIMENSION
- MEASURED DIMENSION
- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE

### NOTES

- THIS IS A PROPERTY AND TOPOGRAPHIC SURVEY PREPARED IN ACCORDANCE WITH THE CLASS A-2 AND T-2 SURVEY, WITH A VERTICAL ACCURACY CLASS OF V-3, AS DEFINED BY THE CONNECTICUT STATE AGENCIES SECTION 20-300B, EFFECTIVE DATE JUNE 21, 1998. P. OCTOBER 28, 2018. THIS SURVEY IS ALSO PREPARED IN ACCORDANCE WITH THE MINIM. SURVEYS AND MAPS IN THE STATE OF CONNECTICUT, ADOPTED ON SEPTEMBER 28, 2016. CONNECTICUT ASSOCIATION OF LAND SURVEYORS INC. THE BOUNDARY LINES SHOWN UPON AN INDEPENDENT RESURVEY OF THE SUBJECT PROPERTY.
  - THE SIDELINES OF THE SURVEYED PARCEL HAVE BEEN REVISED TO ACCOUNT FOR MINOR CLOSURE ERRORS WITHIN THE SUBDIVISION PLAN.
  - PROPERTY KNOWN AS LOT 20B AS SHOWN ON THE TOWN OF BERLIN, HARTFORD COUNTY CONNECTICUT; BLOCK 83, MAP NO. 10-1.
  - AREA = 113,353 SQUARE FEET OR 2,602 ACRES
  - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-UTILITY MARK-OUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND S' BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOC. NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER ABANDONED.
  - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
  - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
  - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED PARTIALLY IN FLOOD HAZARD ZONE (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AND PARTIALLY IN FLOOD HAZARD ZONE AE (BASE FLOOD ELEVATIONS DETERMINED) PER REF. #2.
  - ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), BASE OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGS) TAKEN AT THE TIME OF THE SURVEY.
- TEMPORARY BENCH MARKS SET:
- TBM-A: CORNER OF CONCRETE PAD, ELEVATION = ELEVATION: 44.36
  - TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT, ELEVATION = 43.35
- PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE ILLUSTRATED ON THIS SURVEY HAVE NOT BEEN DISTURBED AND THEIR ELEVATIONS HAVE ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.
- THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE PERMANENT ADDITION, ETC.

### REFERENCES

- THE TAX ASSESSOR'S MAP OF BERLIN, HARTFORD COUNTY, MAP 10-1.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, OF ALL JURISDICTIONS" PANEL 513 OF 658; MAP NO. 0900300513F, COMMUNITY 090022 0513, EFFECTIVE DATE: SEPTEMBER 28, 2008.
- MAP ENTITLED "FINAL SUBDIVISION PLAN MAP OF LAND OWNED BY H&S PARTNERS" PF NASCIMBENI & JAHNE SURVEYORS, P.C., DATED JUNE 1985, REVISED OCT. 1986, RECORDED IN TOWN OF BERLIN LAND RECORDS AS MAP 2246.
- MAP ENTITLED "FINAL SUBDIVISION PLAN MAP OF LAND OWNED BY H&S PARTNERS" PF NASCIMBENI & JAHNE SURVEYORS, P.C., DATED JUNE 1985, RECORDED IN TOWN OF BERLIN LAND RECORDS AS MAP 1882.
- MAP ENTITLED "LOT 20B AS-BUILT PLAN LAND OWNED BY H&S PARTNERS" PREPARED BY JAHNE SURVEYORS, P.C., DATED NOV. 1987, PROVIDED BY TOWN OF BERLIN BUILDING DEPARTMENT.
- MAP ENTITLED "THE CONNECTICUT LIGHT & POWER CO. EASEMENT AREA ON THE PRO REALTY PARTNERS, WOODLAWN ROAD BERLIN, CONNECTICUT" PREPARED BY C.L.P., RECORDED IN TOWN OF BERLIN LAND RECORDS AS MAP 1935.
- MAP ENTITLED "MAP OF LAND TO BE CONVEYED TO RICHARD & NANCY BOYNTON" PREPARED BY JAHNE SURVEYORS, P.C., DATED DEC. 23, 1988, RECORDED IN TOWN OF BERLIN LAND RECORDS AS MAP 2310.
- MAP ENTITLED "RESUBDIVISION PLAN AS PART OF UNIFIED DEVELOPMENT PLAN PREPARED BY WOODLAWN ASSOCIATES, LLC" PREPARED BY FLYNN LAND SURVEYING ASSOCIATES, INC., REVISED 6-21-99, RECORDED IN TOWN OF BERLIN LAND RECORDS AS MAP 3092 AND 31.
- MAP ENTITLED "PLAN AND PROFILE LAND OWNED BY H&S REALTY PARTNERS WOODLAWN ROAD BERLIN, CONNECTICUT," PREPARED BY ROGER H. WHITNEY, INC., DATED MARCH 18, 2011.

1	REVISED BUILDING FOOTPRINT	C.E.L.
FIELD DATE	5-17-21	
FIELD BOOK NO.	21-2 MA	
FIELD BOOK PG.	61	
FIELD CREW	B.S.B.	
DRAWN	C.E.L.	
REVIEWED	C.E.L.	
APPROVED	C.E.L.	
DATE	6-2-2021	
SCALE	1"=20'	
FILE NO.	03-210193-	

**BOUNDARY & TOPOGRAPHIC SURVEY**  
**WHITESTONE ASSOCIATES, INC.**  
76 FULLER WAY  
LOT 20B, BLOCK 83, MAP 10-1  
TOWN OF BERLIN, HARTFORD COUNTY  
STATE OF CONNECTICUT

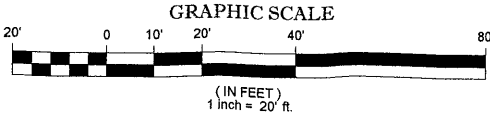
**CONTROL POINT ASSOCIATES, INC.**  
332 TURNPIKE ROAD  
SOUTHBOROUGH, MA 01772  
508.948.3000 - 508.948.3003 FAX

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS SURVEY HAS BEEN PERFORMED IN THE FIELD UNDER MY SUPERVISION AND TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION, THIS SURVEY HAS BEEN PERFORMED IN ACCORDANCE WITH CURRENTLY ACCEPTED ACCURACY STANDARDS.

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR STAMPED WITH A BLUE INK SEAL

**CHARLES E. LENT, PLS.**  
CONNECTICUT PROFESSIONAL LAND SURVEYOR #70226

6-10-2021



THE STATE OF CONNECTICUT REQUIRES NOTIFICATION BY EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE



BE REMOVED AND DISPOSED  
ED HATCH AREA. EXIST. BIT.  
MOVED.

MAP 10-1  
BLOCK 83  
LOT 16  
N/F LANDS OF  
TOWN OF BERLIN

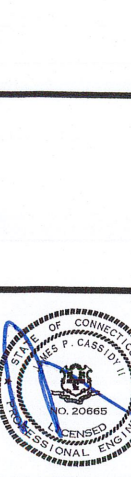
#### GENERAL NOTE FOR SITE PREPARATION

1. PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE LAYOUT AND GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION AND ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. THE CONTRACTOR SHALL, IF REQUIRED, MAKE FIELD MODIFICATIONS AS AUTHORIZED BY THE ENGINEER TO ADDRESS EXISTING SITE CONDITIONS.
2. SITE LAYOUT & PROPOSED GRADES ARE TO BE STAKED IN THE FIELD AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF THE CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE PROPERTY LIMIT LINE DUE TO CONSTRUCTION OPERATIONS FROM THIS PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CONTRACTOR SHALL CONTACT CALL-BEFORE-YOU-DIG - "811" - AT LEAST 72 HOURS PRIOR TO START OF WORK.
5. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
6. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AT THE DIRECTION OF THE ENGINEER AND IN ACCORDANCE WITH THE STATE OF CONNECTICUT GUIDELINES FOR SEDIMENT AND EROSION CONTROL. SEE SHEET #9 FOR E & S NOTES AND CONSTRUCTION SEQUENCE.
7. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
8. MATERIAL STAGING AREAS SHALL BE ESTABLISHED IN COORDINATION WITH THE OWNER, OR THEIR REPRESENTATIVE AT THE SITE.
9. CONTAMINATED SOILS, IF ENCOUNTERED, SHALL BE STOCKPILED ON-SITE (SEE PREVIOUS NOTE) AT THE DIRECTION OF THE ENGINEER, PRIOR TO OFF-SITE DISPOSAL/RECYCLING.
10. BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. PERCENT COMPACTING SHALL BE DEFINED AS THE RATIO OF THE FIELD DRY DENSITY, DETERMINED BY AASHTO T180 (METHOD D), TO THE MAXIMUM DRY DENSITY.

CHECKED BY: J.M.P.  
DATE: JUNE 14, 2021  
JOB NO.: 3243  
ACAD FILE: 3243-DEMO  
SHEET: 2 OF 7

HALLISEY, PEARSON & CASSIDY  
CIVIL ENGINEERS & LAND SURVEYORS  
630 MAIN STREET, UNIT #1A  
PERMANSI, CONNECTICUT 06861

SITE DEMOLITION PLAN  
PREPARED FOR  
MAP 10-1  
BLOCK 83  
LOT 16  
N/F LANDS OF  
TOWN OF BERLIN



1 STORY  
FRAME BUILDING  
BUILDING HEIGHT = 18.8'±  
BUILDING FOOT PRINT AREA = 24,947± SF

#76 FULLER WAY

EXIST. BIT. CURBING TO BE REMOVED AND DISPOSED  
OF OFF SITE IN CROSSED HATCH AREA. EXIST. BIT.  
PAVEMENT TO BE REMOVED.

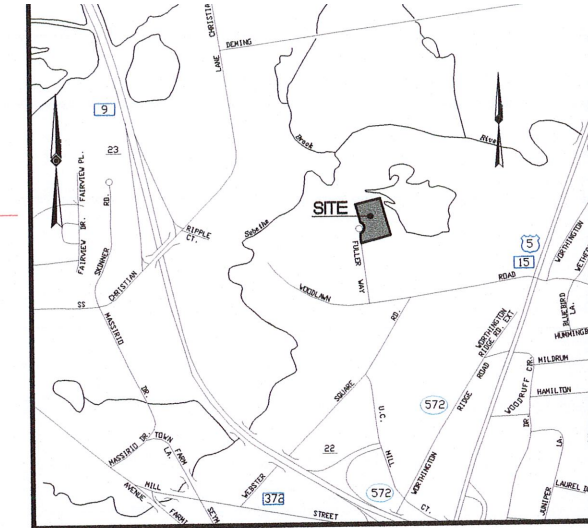
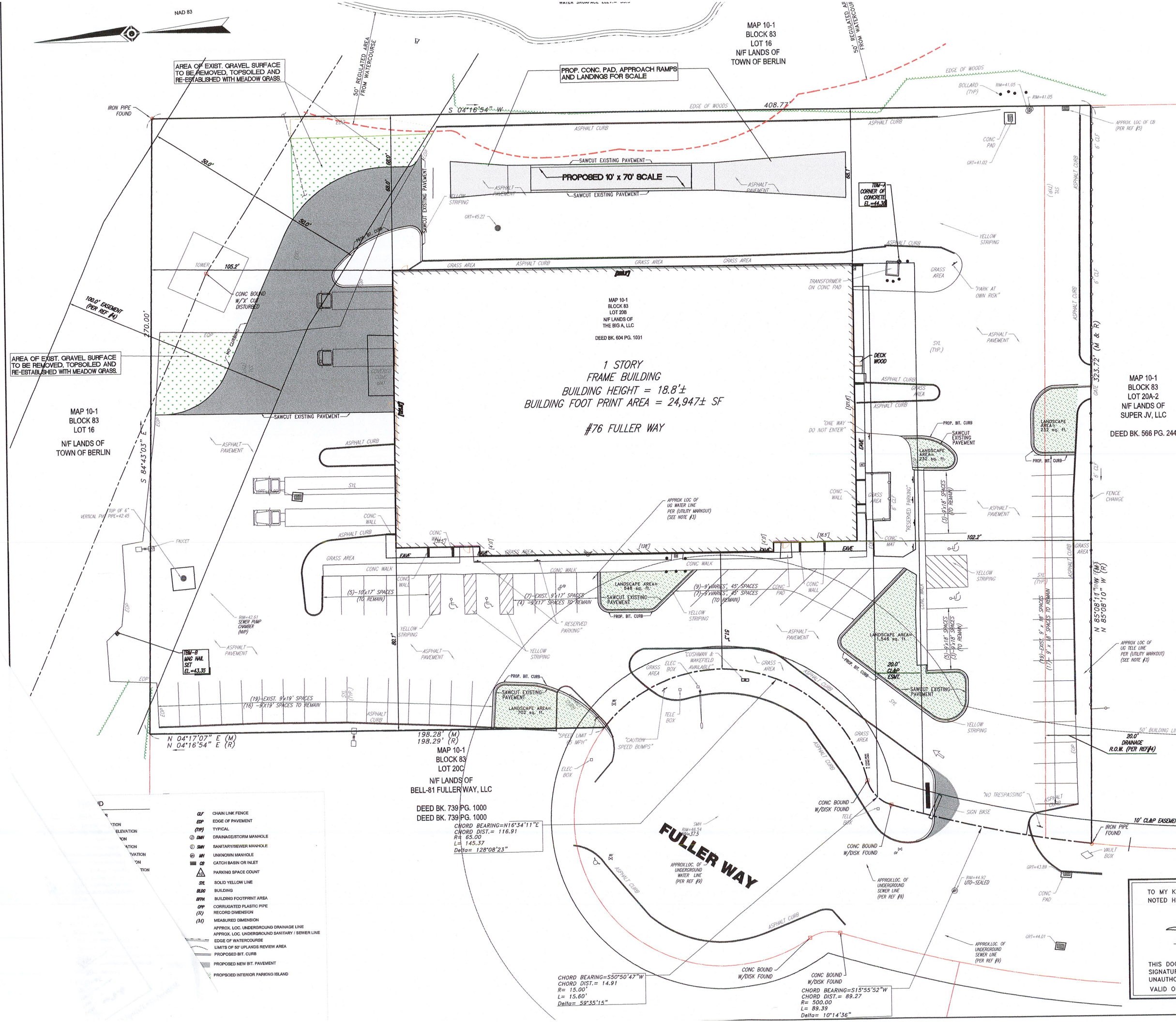
#### SITE DEMOLITION LEGEND

- EXIST. BIT. CURBING TO BE REMOVED AND EXIST. BIT. PAVEMENT TO BE RECLAIMED AND REUSED ON SITE.
- EXISTING C.B. OR TREE TO BE REMOVED
- EXISTING STORM DRAINAGE PIPE TO BE REMOVED
- EXISTING SANITARY SEWER LATERAL TO BE REMOVED
- EXISTING OVERHEAD WIRES TO BE REMOVED

#### LEGEND

- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TOP OF CURB ELEVATION
- EXISTING GUTTER ELEVATION
- EXISTING TOP OF WALL ELEVATION
- EXISTING BOTTOM OF WALL ELEVATION
- EXISTING TOP OF ISLAND ELEVATION
- EXISTING FINISHED FLOOR ELEVATION
- EXISTING DOOR SILL ELEVATION
- EXISTING LEGAL GRADE ELEVATION
- WATER VALVE
- GAS METER
- ELECTRIC METER
- OVERHEAD WIRES
- APPROX. LOC. UNDERGROUND GAS LINE
- APPROX. LOC. UNDERGROUND ELECTRIC LINE
- APPROX. LOC. UNDERGROUND TELEPHONE LINE
- APPROX. LOC. UNDERGROUND WATER LINE
- UTILITY POLE/STAKE
- AREA LIGHT
- CLEAN OUT
- SIGN
- BOLLARD
- PAINTED ARROWS
- CHAIN LINK FENCE
- EDGE OF PAVEMENT
- TYPICAL
- DRAINAGE/STORM MANHOLE
- SANITARY/SEWER MANHOLE
- UNKNOWN MANHOLE
- CATCH BASIN OR INLET
- PARKING SPACE COUNT
- SOLID YELLOW LINE
- BUILDING
- BUILDING FOOTPRINT AREA
- CORRUGATED PLASTIC PIPE
- RECORD DIMENSION
- MEASURED DIMENSION
- APPROX. LOC. UNDERGROUND DRAINAGE LINE
- APPROX. LOC. UNDERGROUND SANITARY/SEWER LINE
- EDGE OF WATERCOURSE
- LIMITS OF 80' UPLANDS REVIEW AREA
- PROPOSED BIT. CURB
- PROPOSED NEW BIT. PAVEMENT
- PROPOSED INTERIOR PARKING ISLAND
- PROPOSED STORM DRAINAGE SYSTEM
- PROPOSED CONTOUR
- PROPOSED SPOT GRADE





- NOTES:**
- SURVEY NOTES:**
    - This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
    - Type of Survey is ZONING IMPROVEMENT LOCATION SURVEY
    - Boundary Determination Category is DEPENDENT RESURVEY MAP REF A
    - Class of Accuracy is "HOR.-A-2"
  - PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS OR RIGHTS OF WAY.
  - A PORTION OF THIS PROPERTY IS LOCATED IN A FLOOD ZONE & X (AS SHOWN) CHANCE FLOOD HAZARD AS SHOWN OF FIRM COMMUNITY MAP NO. 090030C0191F EFFECTIVE DATE: SEPT. 26, 2008.
  - PROPERTY IS ZONED: (B-2) BUSINESS ZONE
  - ORIGINAL PARCEL AREA = 113,353 sq.ft. or 2.602 acres.
  - MAP REFERENCE: A). "BOUNDARY & TOPOGRAPHIC SURVEY, WHITSTONE ASSOCIATES, INC. 76 FULLER WAY, LOT 206, BLOCK 83, MAP 10-1, TOWN OF BERLIN STATE OF CONNECTICUT, PREPARED BY CONTROL POINT ASSOCIATES, INC. SCALE: 1"= 20', DATED: 6-2-2021"

ZONING BULK TABLE 76 FULLER ROAD			
G1 (GENERAL INDUSTRY)			
REQUIREMENT	REQUIRED	EXISTING	EXISTING
MIN. LOT AREA	0.5 ACRES	2.602 ACRES	2.602 ACRES
MIN. LOT WIDTH	100'	410.75'	410.75'
MIN. FRONT YARD	30'	51.3'	51.3'
MIN. SIDE YARD	25', 50"	102.2'/105.2'	102.2'/105.2'
MIN. REAR YARD	25', 50"	68.0'	68.0'
MIN. PARKING SETBACK	5', 25"	0'	0'
MIN. PARKING FRONT YARD	5'	6'	6'
MAX. BLDG. HEIGHT	45'	1 STORY, 18.8'	1 STORY, 40.0'
MAX. BLDG. COVERAGE	35%	24,947 sq.ft./113,352 sq.ft. = 22.0%	24,947 sq.ft./113,352 sq.ft. = 22.0%
MAX. IMPERVIOUS SURFACE COVERAGE	80%	92,390 sq.ft./113,352 sq.ft. = 81.5% **	90,839 sq.ft./113,352 sq.ft. = 79.4%
MAX. FLOOR AREA	0.4	24,947 sq.ft./113,352 sq.ft. = 0.22	24,947 sq.ft./113,352 sq.ft. = 0.22

\* - WHEN ABUTTING A RESIDENTIAL DISTRICT  
\*\* DENOTES EXISTING NON-CONFORMING

PARKING DATA SCHEDULE:		
USE	REQUIREMENT	REQUIRED
MANUFACTURING	PER SEC. IX.B.5.4.I 1 SPACE / 500 SQ. FT.	24,947 SQ. FT. / (1 SPACE/500 SQ. FT.) 49.9 SPACES
TOTAL REQUIRED= 49.9 SPACES (50 SPACES)		
TOTAL PARKING SPACES = (55) REGULAR SPACES + (4) HANDICAPPED SPACES TOTAL SPACES PROVIDED = 59 SPACES		

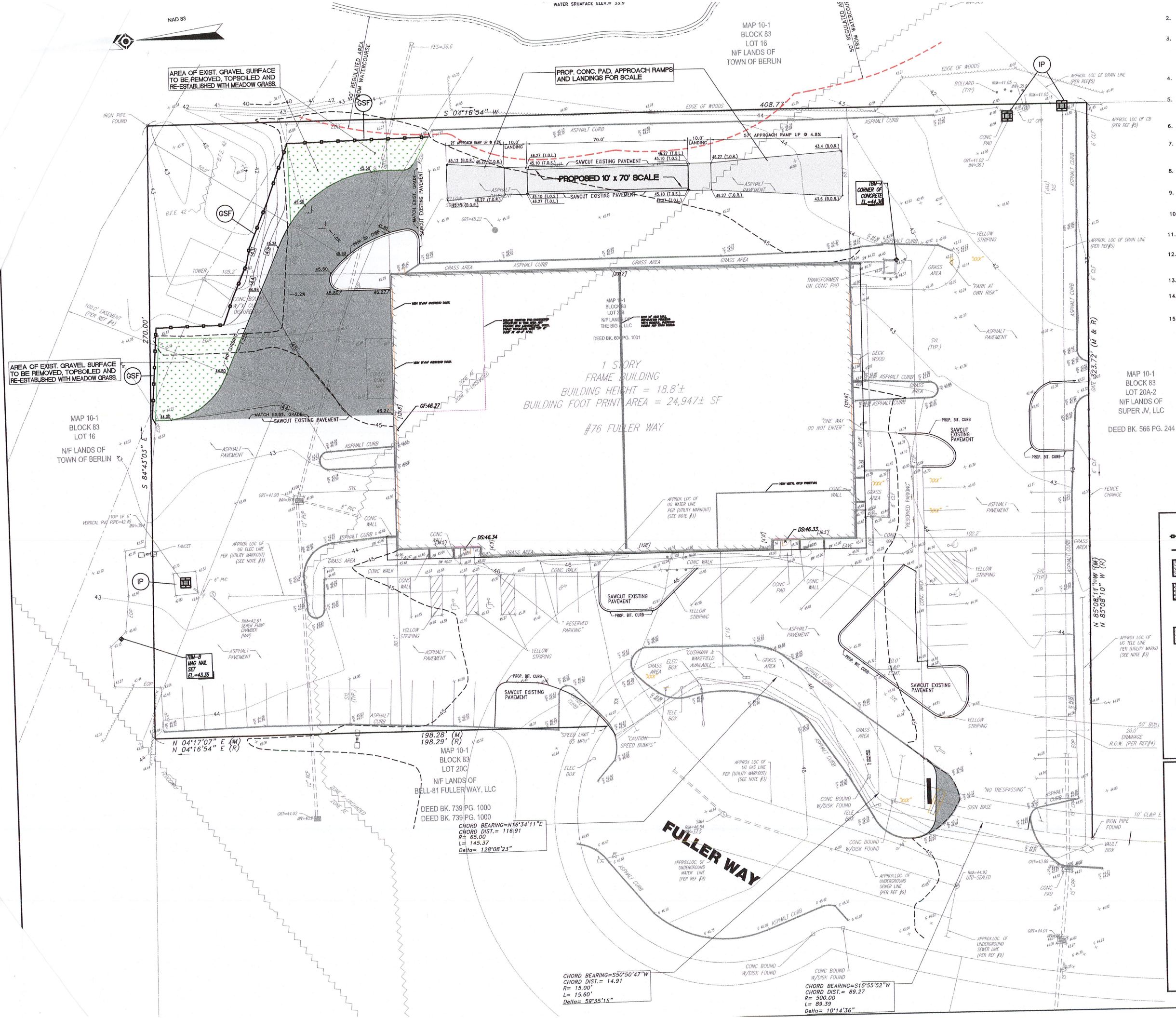
PARKING LOT INTERIOR ISLAND LANDSCAPE CALCULATION (PER SEC. IX.C.7.a.):	
REQUIREMENT: 15% OF GROSS PAVED PARKING LOT AREA	
REQUIRED: 23,600 SQ. FT. x 0.15= 3,670 SQ.F.T	
PROVIDED: 3,549 SQ. FT.	

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

*Paul A. Hallisey*  
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE MARCH 09, 2021

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL





1. AS MINIMUM REQUIREMENTS, ~~THE TOWN ENGINEER~~ ZONING ENFORCEMENT STAFF, THE DIRECTION OF THE TOWN ENGINEER SHALL BE INSTALLED AND
  2. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE "2002 - CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL"
  3. ALL AREAS THAT ARE TO BE DISTURBED SHALL BE KEPT TO A MINIMUM, AREAS NOT TO BE PAVED SHALL BE LOAMED, LIMED, FERTILIZED, AND SEEDED AS SOON AS PRACTICABLE. IF PERMANENT PLANTING IS NOT PRACTICAL AT THAT TIME, THE AREA SHALL BE MULCH STABILIZED UNTIL SUCH SEEDING CAN BE DONE. SLOPES STEEPER THAN 3:1 SHALL BE FURTHER STABILIZED USING SECURED JUTE, STRAW, OR COCONUT MATTING.
  4. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE INSPECTION AND MAINTENANCE OF ALL SEDIMENT CONTROL DEVICES. EXCESS SEDIMENT SHALL BE REDISTRIBUTED ON THE SITE.
  5. AREAS SUBJECT TO VEHICULAR TRAFFIC SHALL BE STABILIZED AGAINST WIND EROSION BY APPLYING CALCIUM CHLORIDE AND/OR WATER TO THE SURFACE AS REQUIRED.
  6. ALL EXISTING VEGETATIVE COVER NOT REQUIRED TO BE REMOVED FOR CONSTRUCTION SHALL REMAIN UNDISTURBED.
  7. PERMANENT VEGETATIVE COVER SHALL CONFORM TO SEEDING SCHEDULES GIVEN IN FIGS. 6-2 & 6-3. TEMPORARY VEGETATIVE COVER SHALL CONFORM TO FIG. 6-1 FOUND IN THE "GUIDELINES FOR EROSION AND SEDIMENT CONTROL 1985."
  8. ALL SEDIMENT CONTROL DEVICES AND/OR MEASURES SHALL BE APPROVED BY THE TOWN PLANNING & ZONING COMMISSION AND/OR THE INLAND WETLAND AND WATERCOURSES AGENCY.
  9. CATCH BASINS WILL BE PROTECTED WITH HAY BALE FILTERS THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS ARE THOROUGHLY STABILIZED.
  10. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO CONSTRUCTION AND HAVE LOCATION CERTIFIED BY A LICENSED SURVEYOR. NOTIFY ZONING ENFORCEMENT OFFICE TO INSPECT EXCESS MATERIAL PRIOR TO CONSTRUCTION
  11. THE PARTY RESPONSIBLE FOR THE IMPLEMENTATION OF THE SEDIMENT CONTROL PLAN FOR THIS PROJECT WILL BE: REALTEK LLC.
  12. ALL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN SHALL BE INSPECTED AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER. WEEKLY INSPECTION REPORTS WILL BE SUBMITTED TO THE ZONING ENFORCEMENT OFFICER.
  13. A PRE CONSTRUCTION MEETING WITH TOWN STAFF IS REQUIRED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
  14. AFTER SITE WORK IS COMPLETED AND VEGETATION HAS BEEN ESTABLISHED, AND PRIOR TO REMOVAL OF ANY E&S MEASURES, NOTIFY THE ZONING ENFORCEMENT OFFICER TO INSPECT THE SITE, EROSION CONTROLS AND ESTABLISHED VEGETATION.
  15. ALL EXCESS MATERIAL TO BE REMOVED FROM SITE.
- THE CONTRACTOR SHALL AT ALL TIMES BE PREPARED TO SWEEP SURROUNDING PAVED AREAS OF ACCUMULATED SEDIMENT AT A MINIMUM FREQUENCY OF ONCE PER WEEK OR AS DIRECTED BY THE TOWN ENGINEER.

EROSION CONTROL LEGEND	
	(GSF) SEDIMENT FILTER FENCE
	(HB) STAKED HAY BALE
	(CE) CONSTRUCTION ENTRANCE
	(EOB) EROSION CONTROL BLANKET NORTH AMERICAN (GREEN 50:150 ALONG SIDE AND REAR SLOPES) BLANKETS SHALL BE MONITORED ON A CASE BY CASE BASIS, DEPENDING ON TIME OF YEAR ALTERNATE STABILIZATION PRACTICES MAY BE ACCEPTABLE.
	SEDIMENT FILTER FENCE
	(STK) TEMPORARY SOIL STOCKPILE -- SURROUNDED BY SEDIMENT FILTER FENCE
	(SCD) STONE CHECK DAM
	(IP) INLET PROTECTION (ALL CATCH BASINS AND YARD DRAINS)
	(TST) TEMPORARY SEDIMENT TRAP TO BE CONSTRUCTED PRIOR TO MASS EXCAVATION, CLEAN WHEN SEDIMENT DEPTH EQUALS 12"
	(WB) WATER BAR
	(DB) TEMPORARY DIVERSION BERM

<b>LEGEND</b>		
	EXISTING CONTOUR	
	EXISTING TOP OF CURB ELEVATION	
	EXISTING TOP OF CURB ELEVATION	
	EXISTING GUTTER ELEVATION	
	EXISTING TOP OF WALL ELEVATION	
	EXISTING BOTTOM OF WALL ELEVATION	
	EXISTING TOP OF ISLAND ELEVATION	
	EXISTING BOTTOM OF ISLAND ELEVATION	
	EXISTING FINISHED FLOOR ELEVATION	
	EXISTING DRAIN SILL ELEVATION	
	EXISTING LEGAL GRADE ELEVATION	
	HYDRANT	
	WATER VALVE	
	GAS METER	
	ELECTRIC METER	
	OVERHEAD WIRES	
	APPROX. LOC. UNDERGROUND GAS LINE	
	APPROX. LOC. UNDERGROUND ELECTRIC LINE	
	APPROX. LOC. UNDERGROUND TELEPHONE LINE	
	APPROX. LOC. UNDERGROUND WATER LINE	
	UTILITY POLE/LIGHT POLE	
	AREA LIGHT	
	CLEAN OUT	
	SIGN	
	BOLLARD	



LOCATED BY HP & C ENGINEERING IN FIELD  
WATER SURFACE ELEV. = 33.9

# SITE PLAN NOTES

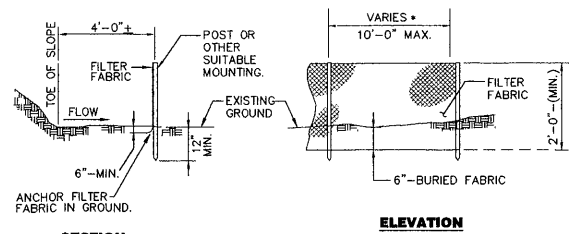
1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF BERLIN AND STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE ABOVE REFERENCED HIERARCHY. IF SPECIFICATIONS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SENIOR AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BIDDING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFORMED WITH THE CONSTRUCTION MANAGER PRIOR TO BIDDING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE EROSION CONTROL PLAN.
6. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
8. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OR PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
10. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
11. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL, STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
12. THE CONTRACTOR SHALL RESTORE ANY DRAINAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
13. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
14. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
15. THE CONTRACTOR SHALL COMPLY WITH OPR 28 PART 1026 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
16. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
17. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" 72 HOURS BEFORE COMMENCEMENT OF WORK AT "911" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
18. A TOWN OF BERLIN ROADWAY EXCAVATION PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
19. AN EROSION CONTROL BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
20. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR DEMOLITION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

MAP 10-1  
BLOCK 83  
LOT 20A-2  
N/F LANDS OF  
SUPER JV, LLC  
DEED BK. 566 PG. 244

1 STORY  
FRAME BUILDING  
BUILDING HEIGHT = 18.8'±  
BUILDING FOOT PRINT AREA = 24,947± SF  
#76 FULLER WAY

LEGEND	
124	EXISTING CONTOUR
125	EXISTING SPOT ELEVATION
126	EXISTING TOP OF CURB ELEVATION
127	EXISTING GUTTER ELEVATION
128	EXISTING TOP OF WALL ELEVATION
129	EXISTING BOTTOM OF WALL ELEVATION
130	EXISTING TOP OF ISLAND ELEVATION
131	EXISTING BOTTOM OF ISLAND ELEVATION
132	EXISTING FINISHED FLOOR ELEVATION
133	EXISTING DOOR SILL ELEVATION
134	EXISTING LEGAL GRADE ELEVATION
135	APPROX. LOC. UNDERGROUND GAS LINE
136	APPROX. LOC. UNDERGROUND ELECTRIC LINE
137	APPROX. LOC. UNDERGROUND TELEPHONE LINE
138	APPROX. LOC. UNDERGROUND WATER LINE
139	UTILITY POLE/JOINT POLE
140	AREA LIGHT
141	CLEAN OUT
142	SIGN
143	BOLLARD
144	PAINTED ARROWS
145	CHAIN LINK FENCE
146	EDGE OF PAVEMENT
147	TYPICAL DRAINAGE/STORM MANHOLE
148	SANITARY/SEWER MANHOLE
149	UNKNOWN MANHOLE
150	CATCH BASIN OR INLET
151	PARKING SPACE COUNT
152	SOLID YELLOW LINE
153	BUILDING
154	BUILDING FOOTPRINT AREA
155	HYDRANT
156	CORRUGATED PLASTIC PIPE
157	RECORD DIMENSION
158	MEASURED DIMENSION
159	APPROX. LOC. UNDERGROUND DRAINAGE LINE
160	APPROX. LOC. UNDERGROUND SANITARY / SEWER LINE
161	EDGE OF WATERCOURSE
162	LIMITS OF 50' UPLANDS REVIEW AREA
163	PROPOSED BIT. CURB
164	PROPOSED NEW BIT. PAVEMENT
165	PROPOSED INTERIOR PARKING ISLAND
166	PROPOSED STORM DRAINAGE SYSTEM
167	PROPOSED CONTOUR
168	PROPOSED SPOT GRADE





NOTE:  
• POST SPACING AND EMBEDMENT VARIES BASED ON THE MANUFACTURERS REQUIREMENTS.

### SILT FENCE

NO SCALE

#### MAINTENANCE OF SILT FENCE

INSPECT THE SILT FENCE AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCH OR GREATER TO DETERMINE MAINTENANCE NEEDS. WHEN USED FOR DEWATERING OPERATIONS, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR, IF ROOM ALLOWS, INSTALL A SECONDARY SEDIMENT FENCE UP SLOPE OF THE EXISTING FENCE WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE EXISTING FENCE.

REPLACE OR REPAIR THE FENCE WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE FENCE HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE FENCE BECAUSE:

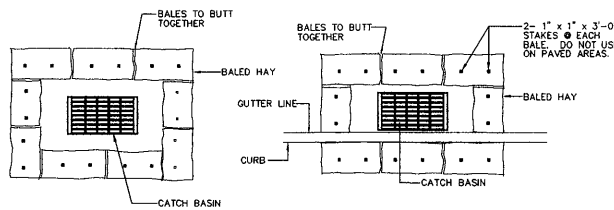
- (A) THE FENCE HAS BEEN OVER TOPPED, UNDERCUT OR BYPASSED BY RUNOFF WATER,
- (B) THE FENCE HAS BEEN MOVED OUT OF POSITION (KNOCKED OVER), OR
- (C) THE GEOTEXTILE HAS DECOMPOSED OR BEEN DAMAGED.

WHEN REPETITIVE FAILURES OCCUR AT THE SAME LOCATION, REVIEW CONDITIONS AND LIMITATION FOR USE AND DETERMINE IF ADDITIONAL CONTROLS (e.g. TEMPORARY STABILIZATION OF CONTRIBUTING AREA, DIVERSIONS, STONE BARRIERS) ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE FENCE.

MAINTAIN THE FENCE UNTIL THE CONTRIBUTING AREA IS STABILIZED.

AFTER THE CONTRIBUTING AREA IS STABILIZED DETERMINE IF SEDIMENT CONTAINED BY THE SILT FENCE REQUIRES REMOVAL OR REGRADING AND STABILIZATION. IF THE DEPTH IS GREATER THAN OR EQUAL TO 6 INCHES, REGRADING OR REMOVAL OF THE ACCUMULATED SEDIMENT IS REQUIRED. NO REMOVAL OR REGRADING IS REQUIRED IF SEDIMENT DEPTH IS LESS THAN 6 INCHES.

REMOVE THE FENCE BY PULLING UP THE SUPPORT POSTS AND CUTTING THE GEOTEXTILE AT GROUND LEVEL. REGRADE OR REMOVE SEDIMENT AS NEEDED, AND STABILIZE DISTURBED SOILS.



### SEDIMENTATION CONTROL BALES

NO SCALE

#### MAINTENANCE OF HAY BALE CHECK DAM

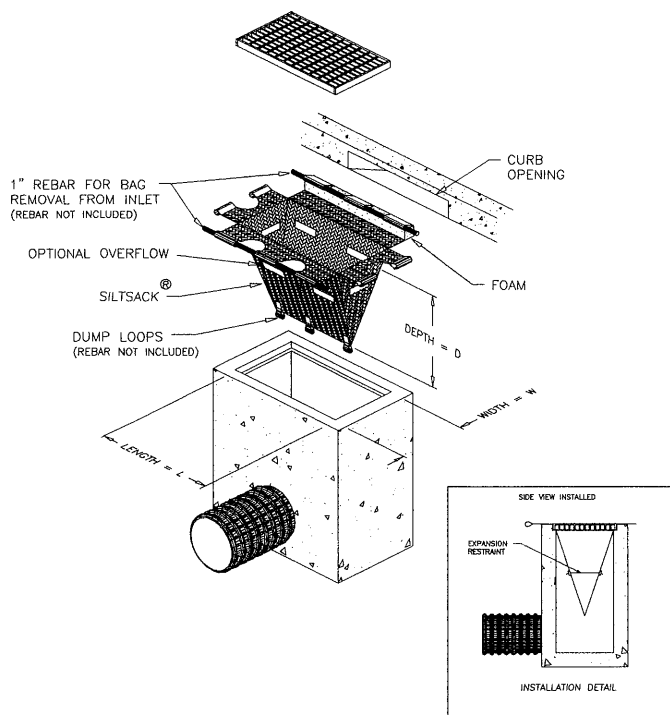
INSPECT THE HAY BALE CHECK DAM AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.5 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS. FOR DE WATERING OPERATIONS AND, INSPECT FREQUENTLY BEFORE, DURING AND AFTER PUMPING OPERATIONS.

REMOVE THE SEDIMENT DEPOSITS OR INSTALL A SECONDARY BARRIER WHEN SEDIMENT DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. REPLACE OR REPAIR THE BARRIER WITHIN 24 HOURS OF OBSERVED FAILURE. FAILURE OF THE BARRIER HAS OCCURRED WHEN SEDIMENT FAILS TO BE RETAINED BY THE THE BARRIER BECAUSE:

- A) THE BARRIER HAS BEEN OVERTOPPED, UNDERCUT, OR BYPASSED BY RUNOFF WATER
- B) THE BARRIER HAS BEEN MOVED OUT OF POSITION.
- C) THE HAY BALES HAVE DETERIORATED.

WHEN REPETITIVE FAILURE OCCUR AT THE SAME LOCATION REVIEW CONDITIONS AND LIMITATIONS FOR USE AND DETERMINE IF ADDITIONAL CONTROLS ARE NEEDED TO REDUCE FAILURE RATE OR REPLACE HAY BALE BARRIER.

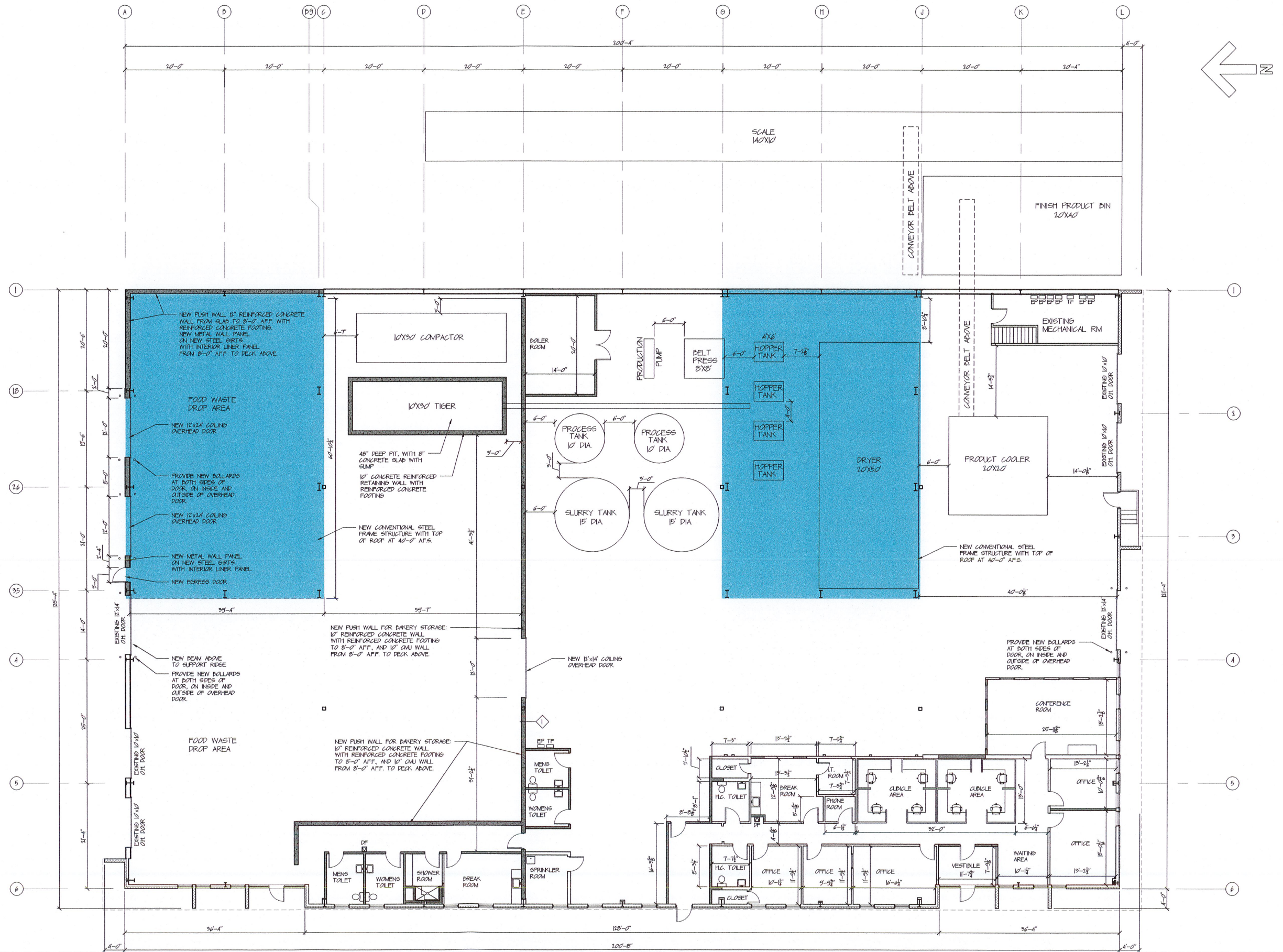
MAINTAIN HAY BALE BARRIER UNTIL CONTRIBUTING AREA IS STABILIZED. AFTER UPSLOPE AREAS HAVE BEEN STABILIZED PULL THE STAKES OUT OF THE HAYBALES. UNLESS OTHERWISE REQUIRED NO REMOVAL OF OR REGRADING OF ACCUMULATED SEDIMENT IS NECESSARY. THE HAY BALES MAY THEN BE LEFT IN PLACE OR BROKEN UP FOR GROUND COVER.





# AREA LEGEND

IN THIS AREA  
REMOVE EXISTING PRE-ENGINEERED  
STRUCTURE AND PROVIDE NEW  
CONVENTIONAL STEEL FRAME  
STRUCTURE WITH TOP OF ROOF AT  
40'-0" AFF.



# WALL LEGEND

- EXISTING CMU ON METAL STUD
- EXISTING CMU ON METAL STUD
- EXISTING METAL WALL PANEL ON  
STEEL GIRT WITH INTERIOR METAL  
LINER PANEL
- NEW REINFORCED CONCRETE WALL  
TO 8'-0" AFF. WITH REINFORCED  
CONCRETE FOOTING AND WITH 10"  
CMU FROM 8'-0" AFF. TO DECK  
ABOVE (ON TOP OF CONCRETE  
WALL)
- EXISTING WOOD OR METAL STUD  
WALL PARTITION
- NEW METAL STUD WALL PARTITION

# PROPOSED FLOOR PLAN

1/8" = 1'-0"

DATES ISSUED:

06-10-2021

COM. #

2021-10

SCALE:

1/8" = 1'-0"

SHEET:

A-3



100 RIVERVIEW CENTER  
SUITE 470  
MIDLETOWN, CT  
PHONE: (860) 346-1803  
EMAIL: hro@hroaz



PROJECT:

RENOVATIONS TO  
76 FULLER WAY  
BERLIN, CT

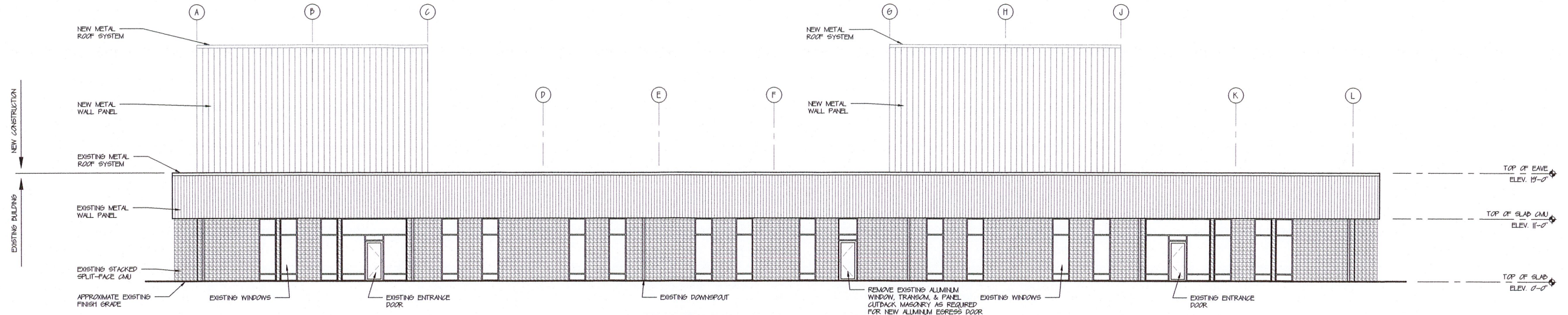
TENANT:

SMART FEED TECH

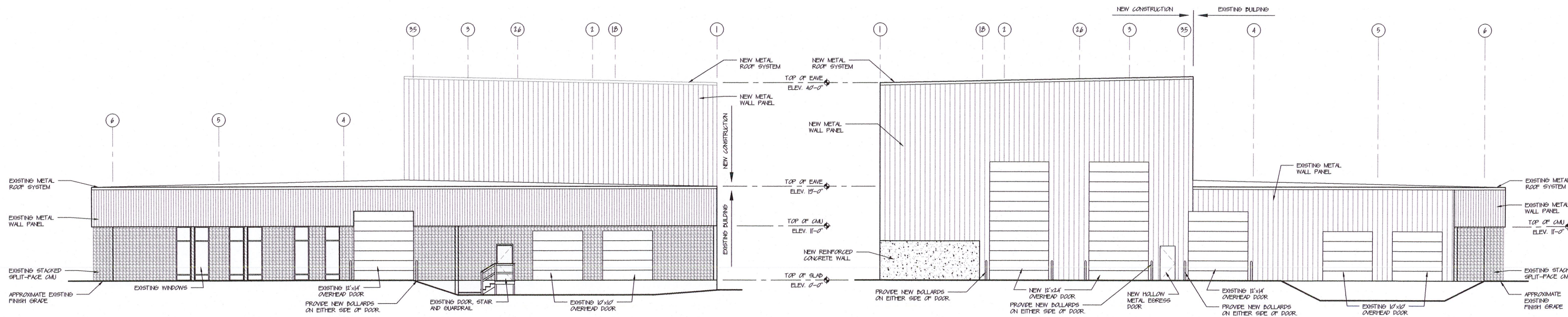
TITLE:

PROPOSED FLOOR PLAN

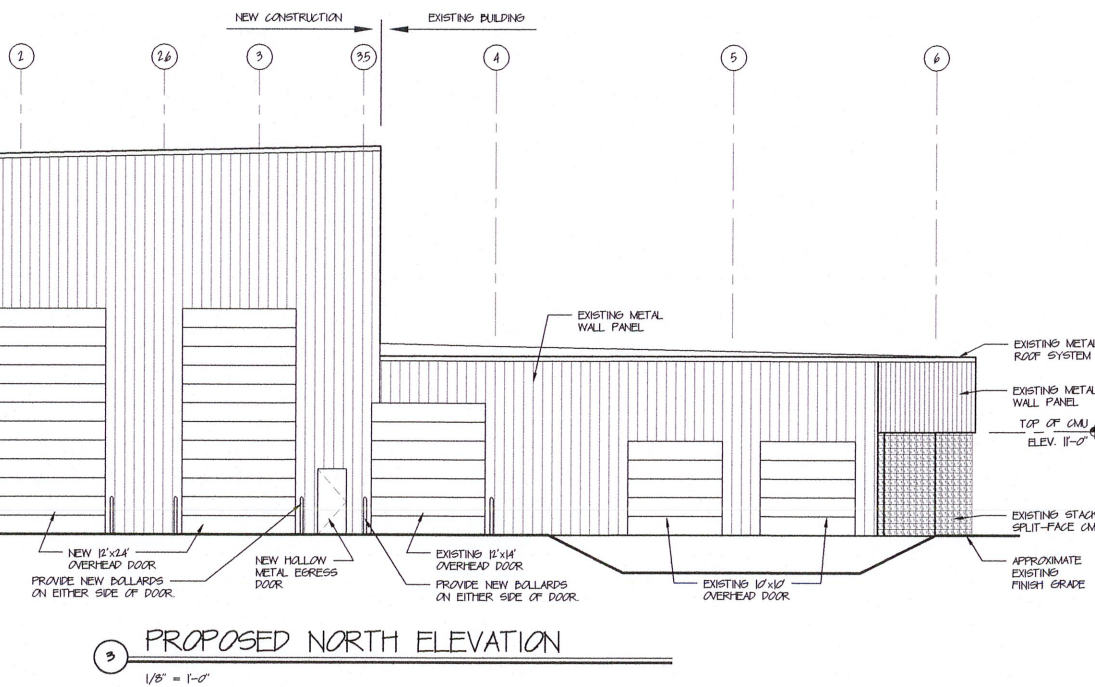




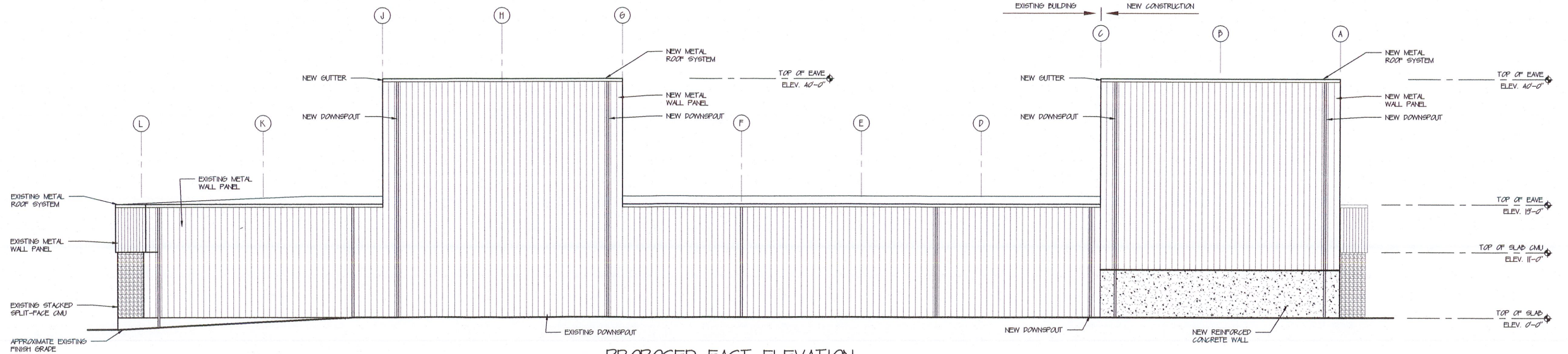
1 PROPOSED WEST ELEVATION  
1/8" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
1/8" = 1'-0"

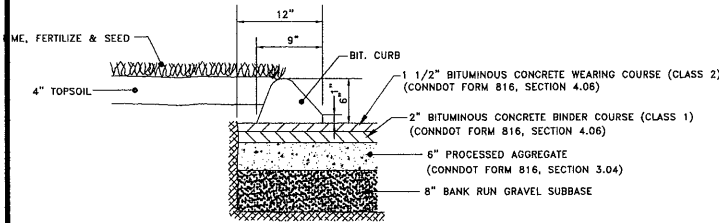


3 PROPOSED NORTH ELEVATION  
1/8" = 1'-0"

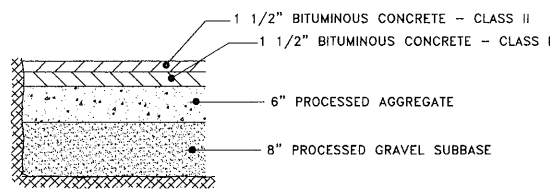


4 PROPOSED EAST ELEVATION  
1/8" = 1'-0"





BITUMINOUS CONCRETE PAVEMENT  
PARKING AREA SPACES  
(STANDARD DUTY)  
N.T.S.



BITUMINOUS CONCRETE PAVEMENT SECTION  
(NEW PARKING AREAS)  
N.T.S.



SITE DETAILS  
PREPARED FOR:

HALLISEY, PEARSON & CASSIDY