

MEMORANDUM OF STAFF COMMENTS

TO: Zoning Board of Appeals
FROM: Adam Levitus, ZEO
DATE: June 17, 2021
RE: #2021-13 – Variance for a Freestanding Sign at a Commercial Condo Building
APPLICANT: Robert Becker (President – Towne Place Condominium Association)
ADDRESS: 211 New Britain Rd
Map 3-3 Block 28 Lot 12
ZONE: CCD-1

Proposal and Background

Robert Becker (President – Towne Place Condominium Association) is requesting a variance for a freestanding sign located 10 feet from the street line when 50 feet is required for a principal structure located greater than 75 feet from the street line in the CCD-1 zone per Berlin Zoning Regulation IX.A.6.e.iv.

Staff Comments

According to assessor’s records, the existing building was constructed approximately 1989. The building is a commercial office building structured under a condominium association agreement (per Land Record data, the Towne Place Condominium Association was originally declared in 1989).

The property does not have an existing freestanding sign. The only identifying signage for the building is located on the façade. The applicant wishes to place a freestanding sign 10ft from the front property line (street line). Although the proposed size (39sf) and design (per Farmington Avenue Design Standards) of the sign would meet the requirements for the CCD-1 zone on New Britain Avenue, the proposed location does not meet the zoning regulations, and therefore requires a variance. From BZR IX.A.6.e.iv:

- “Freestanding signs shall be located no farther than ten feet from the principal structure as measured from the closest point of the sign, nor 20 feet as measured from the farthest point of the sign.
- If, however, a principal structure is located greater than 75 feet from the street line, this location will be permitted a freestanding sign no part of which would be closer than 50 feet from the street line, thus eliminating the ten-foot/20-foot rule.”
 - 211 New Britain is eligible to utilize the second “50ft” provision

Note that current front setback requirements for new principal and accessory buildings (not signage) within the CCD-1 zone is 5 feet (per BZR VI.J). Many buildings in the CCD-1 zone are located near the front property line, so many existing freestanding signs might be located nearer to the street because they can meet the ‘10/20ft rule’ cited above.

The property is an existing nonconforming lot, with a total lot size of approximately 1.37 acres (per a 2009 survey) when a minimum of 2 acres would be required for new lots in the CCD-1 zone. A 2009 site plan amendment application to the PZC indicated that there are wetlands and flood plain constraints/considerations in the rear of the building.

Staff have provided a markup of an existing 2009 survey for ZBA consideration. This markup shows the location of the required sign setback (50’) from the front property line based on the CCD-1 zone signage regulations for a building located farther than 75 feet from the front property line.

Staff recommends discussion of:

- The hardships proposed by the applicant to justify the variance request
- The configuration of this property as compared to other lots
- The configuration/location of the proposed sign as compared to alternatives that would comply with the regulations

Zoning Requirements: §IX.A.6.e.iv

Minimum required distance from street line to freestanding sign: 50 ft

Proposed distance to front yard: 10 ft

The Town of Berlin Plan of Conservation and Development, Section II, Strategic Outline for Implementation, Strategy 1: Coordinate the Regulatory Structure to Support the Plan, 3) states: Any variance granted by the Zoning Board of Appeals should be consistent with the standards imposed by Connecticut General Statutes in which a hardship exists owing to conditions affecting a specific parcel of land, and the variance which is granted should be consistent with the goals and policies of this plan and the intent of the zoning regulations.



Town of Berlin

ZBA # 2021-0013

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received

MAY 28 2021

ZONING BOARD OF APPEALS APPLICATION

Planning & Zoning Department

- Special Permit
- Variance
- Appeal of ZBO in, Connecticut
- Motor Vehicle Location
- Alcohol Uses Location
- Other / Determination

Property Owner(s): Towne Place Condominium
 Project Address*: 211 New Britain Road, Kensington, CT 06037
 Map: 3-3 Block: 28 Lot: 12 Zone(s): _____ Lot Area: _____

Please select all relevant items below:

- Supplemental Information Is Required For:
 ZBA Special Permit / Sale of Alcoholic Beverages Location / Motor Vehicle Uses Location
- Inland Wetlands and Water Course Commission review needed
- Planning and Zoning Commission review needed
- Property is within 500 feet of a Municipal Boundary of _____
- Previous Zoning Board of Appeals actions on this property:
 Date(s) & Purpose(s): _____

Applicant Information

Name: Towne Place Condominium Firm Name: Towne Place Condominium
 Street Address: 211 New Britain Road City: Kensington ST: CT Zip: 06037
 Email: RJB2895@comcast.net Phone: 860 827-8787
 Signature: [Signature] Date: 5/28/2021
President for Towne Place Condominium

Property Owner(s) Information (If Not the Applicant)

Name: _____ Principal: _____
 Street Address: _____ City: _____ ST: _____ Zip: _____
 Email: _____ Phone: _____

*Letter of Authorization Required

ZBA action is requested pursuant to Berlin Zoning Regulations Section(s): IX.A.6.e.iv

*Any town official and/or employee who the town deems necessary may enter the property to verify information submitted with this application.

Brief description of the proposal: Front Signage to display the occupants of the building, that will be visible from the street.

VARIANCE APPLICATIONS: For relief of Signage location requirements ^{CCD} requirement.
 Requested requirement: Edge of the sign to the front line will be 10 feet.
 Reason/Description of Hardship (REQUIRED): Please refer to attachment 1.

MOTOR VEHICLE USE LOCATION¹:
 The first page of the State DMV application is required to be submitted with this application

	<u>Number of Service Bays</u>	<u>Parking Required</u>	<u>Parking Provided</u>
<input type="checkbox"/> New Car Dealer			
<input type="checkbox"/> Used Car Dealer	_____	_____	_____
<input type="checkbox"/> General Repairer	_____	_____	_____
<input type="checkbox"/> Limited Repairer	_____	_____	_____
<input type="checkbox"/> Gasoline Station	_____	_____	_____

SALE OF ALCOHOLIC BEVERAGES LOCATION¹
 The first page of the State Liquor Permit application is required to be submitted with this application

Type of State Liquor Permit:

On -Premises Permit: Type _____

Off-Premises: Type _____

Other: Explain _____

To be completed by P&Z staff only:

Fee Paid \$ 210.00 (Refer to current Fee Schedule)

Received by: ADL CLK ZS96

Scheduled on ZBA Agenda of: 6/22/21

ZBA # 2021-0013

ZONING BOARD OF APPEALS DECISION:

Plan Title & Date: _____

ATTACHMENT 1

Towne Place Condominium is the first building that is seen as you enter Berlin. We have maintained this building to continue to look pristine to our Town of Berlin, for well over 32 years.

At this point in time, we are requesting to construct a sign, to be placed on the peninsula in front of the building. Due to the paved parking lot and the storm drain that runs from the center of the parking lot to the building, we are limited to that area of the peninsula that we can have a sign. Having only one area in the front of the building to construct a sign is truly a hardship.

Over the years, not having a sign in front of our building, has caused a safety issue, as patrons are either turning their heads to capture the building while driving or slamming on their brakes to make the turn into the entrance. In addition, all the unit owners are tired of giving the location of our building, as the building is between McDonalds and Dunkin Donuts. We should have a presence, visible to the street, on New Britain Road, as other businesses have established.

This request to have a sign displayed on the peninsula in front of our property, is not personal or financial in nature, nor is it imposed. We are going to have a sign that will be pleasing to see; it will not impede the visibility of traffic on New Britain Road and will be attractive for visitors that are entering our town for years to come.

Your approval to allow Towne Place to construct a sign on the front peninsula of our property will be gratefully appreciated.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Robert Becker', with a long horizontal flourish extending to the right.

Robert Becker
President of Towne Place Condominium

Town of Berlin

Geographic Information System (GIS)



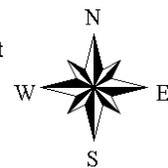
Date Printed: 6/8/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 150 feet



Letter of Authorization

Property Owner: Younge Place Condominium
Principal: Robert Becker, President
Subject Address: 211 New Britain Road, Kensington, CT
Applicant: Towne Place Condominium

I, Robert Becker hereby give consent to Towne Place Condominium, to
(Current Owner or Principal) (Applicant)

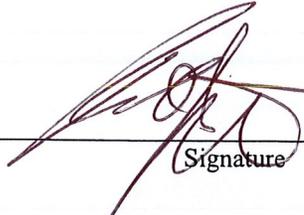
apply to all relevant Town of Berlin land use Boards and Commissions for

Signage at the property located at 211 New Britain Road, Kensington, CT
(Purpose of Application) (Address &/or Map Lot Block)

Berlin Connecticut.

In addition I consent to allow any town official and/or employee that the town deems necessary the ability to enter said property to verify any information submitted with corresponding application.

Sincerely,

 Signature
President of
Towne Place Condominium
5/26/21 Date

Towne Place Condominium Association

211 New Britain Road

Kensington, CT 06037

Town of Berlin
Received

MAY 28 2021

Planning & Zoning Department
Berlin, Connecticut

May 25, 2021

We, the undersigned, allow Robert Becker, the President of Towne Place Condominium Association, to act and sign on our behalf regarding any and all issues and documents related to our application to the Town of Berlin to erect a sign to be located at the entrance to our property as we have discussed at our Association meetings. I will be meeting with the Zoning Board of Appeals regarding this project and hereby have your permission to move forward with this sign project. Thank you.

Robert Becker

President, Towne Place Condominium Association

- Othman Elalami

- Elizabeth Solano

- John Diakun

- Janina Chorzepa

- Brendon Conry

- Ronald Helfand

- Yemace Donahue

- David Roccapriore

- Marion Sgroi-Varamo



Sign in

McDonald's
Takeout • Delivery

211 New Britain Rd,
Berlin, CT 06037

Dunkin'
Takeout • Delivery



210

212

USA Auto Repair
Car dealer

Polish Caregivers
& Homemakers

Google

230

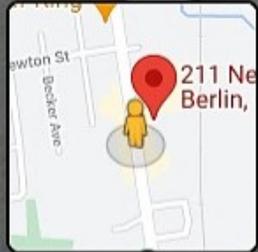
Cannot access
your location
[Learn more](#)

Map

225 CT-71
Berlin, Connecticut

Google

Street View



Google



©2019 Google

©2019 Google

New Britain

Google

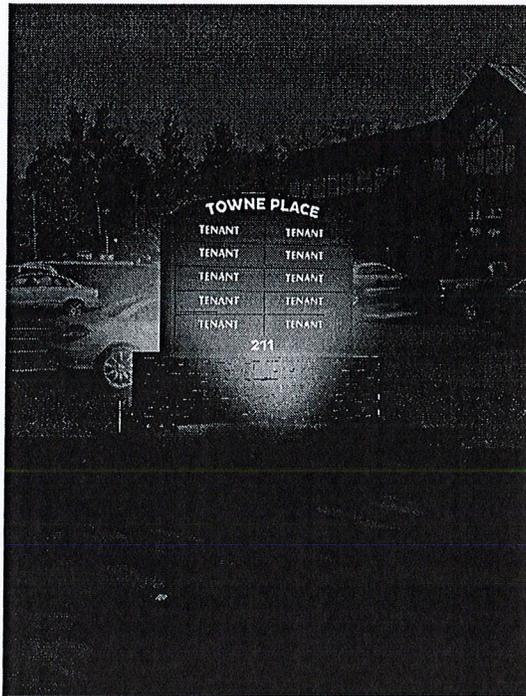
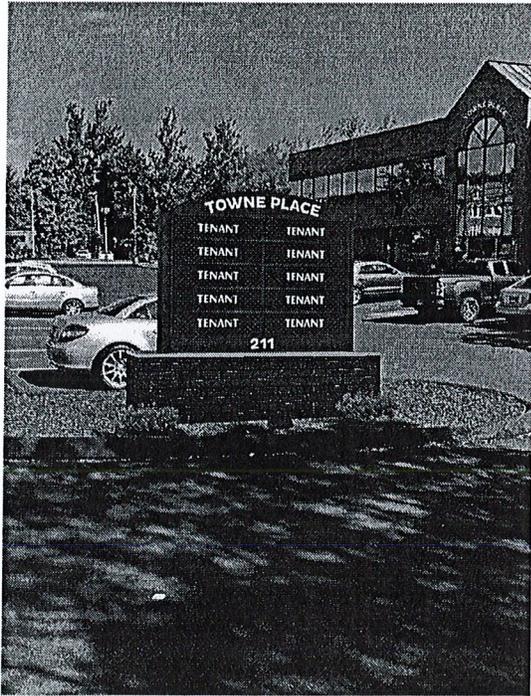


TOWNE PLACE

TENANT

211

PHOTO CONCEPTUAL ONLY



TOWNE PLACE

Project Address:
Berlin, CT

SPI WO #: 19250
Issue Date: September 30, 2019

Salesperson: Travis Mistretta
Designer: J.M.

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

Notes:

Revisions:
RV1 by JM 10/09/2020
RV2 by JM 03/05/2020
RV3 by JM 03/26/2020

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT

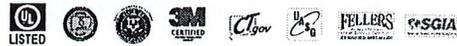
SIGN

DATE

© COPYRIGHT 2021, BY SIGN PRO INC. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF SIGN PRO INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM SIGN PRO INC.

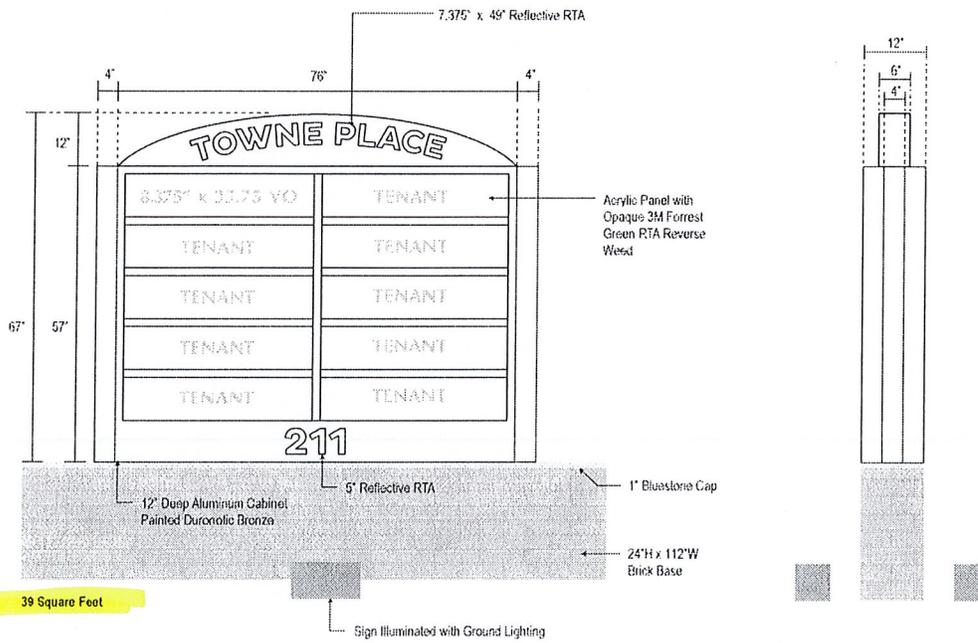
SIGN PRO
signpro-usa.com

60 Westfield Drive
Plantsville, CT 06479
860.229.1812



SIGN TYPE
Monument

PAGE
4 of 5



TOWNE PLACE

Project Address:
Berlin, CT

SPIWO #: 19250
Issue Date: September 30, 2019

Salesperson: Travis Mistretta
Designer: J.M.

DRAWINGS ARE NOT TO SCALE
UNLESS OTHERWISE NOTED

Notes:

Revisions:
RV1 by JM 10/09/2020
RV2 by JM 03/05/2020
RV3 by JM 03/26/2020

Customer Approval: APPROVED APPROVED AS NOTED REVISE & RESUBMIT

PRINT

SIGN

DATE

© COPYRIGHT 2021, BY SIGN PRO INC. ALL DESIGNS PRESENTED ARE THE SOLE PROPERTY OF SIGN PRO INC. AND MAY NOT BE REPRODUCED IN PART OR WHOLE WITHOUT WRITTEN PERMISSION FROM SIGN PRO INC.

SIGN PRO
signpro-usa.com

60 Westfield Drive
Plantsville, CT 06479
860.229.1812

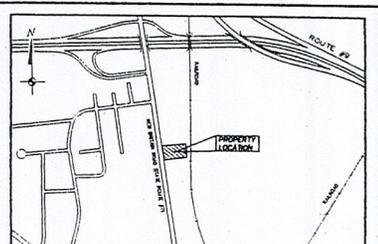
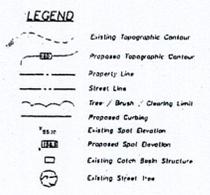
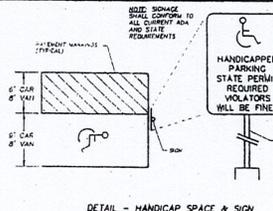
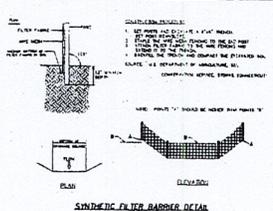


SIGN TYPE
Monument

PAGE
5 of 5

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EXHIBMENT SLOPES, DISTURBED OR REGRADED DURING CONSTRUCTION SHALL BE SOODED OR SEEDED AND MULCHED (AS REQUIRED) AS SOON AS PRACTICAL AFTER COMPLETION OF SLOPES.
2. SYNTHETIC FILTER FABRIC BARRIERS SHALL BE PLACED, ON AN AS NEEDED BASIS, TO CONTROL SEDIMENTATION AND EROSION.
3. ALL PERFORATED SYNTHETIC FILTER CHECKS OR BARRIERS SHALL BE PLACED PRIOR TO STARTING ANY SITE CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, ALL AREAS TO BE DISTURBED IN A PARTICULAR LOCATION SHALL BE STROPPED, TOPSOIL, AND STOCKPILED IN A LOCATION TO BE SELECTED BY OWNER. MAT BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF THE PILE. TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH A TEMPORARY COVER OF ANNUAL RYE GRASS.
5. MAT BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AT ENDS OF ALL SWALES, EITHER PERMANENT OR TEMPORARY, IMMEDIATELY AFTER SMALLE HAS BEEN ROUGH GRADED.
6. AREAS SHALL BE SOODED OR SEEDED IMMEDIATELY AFTER FINAL GRADING BETWEEN APRIL 1 AND JUNE 15, AND BETWEEN AUGUST 15 AND SEPTEMBER 30.
7. WHEN GRADING IS NOT COMPLETED BY SEPTEMBER 30, OR AREAS ARE TO BE EXPOSED FOR EXTENDED PERIODS OF TIME, A TEMPORARY COVER OF ANNUAL RYE GRASS, SEEDED AT THE RATE OF 1.5 POUNDS PER 1000 SQUARE FOOT, SHALL BE ESTABLISHED OR MAY SPREAD.
8. THE TOWN ENGINEER AND THE ZONING ENFORCEMENT OFFICER SHALL BE NOTIFIED BEFORE CONSTRUCTION BEGINS, AND UPON ITS COMPLETION.
9. ALL CONTROL MEASURES SHALL BE INSPECTED WEEKLY FOR EXCESSIVE ACCUMULATIONS OF SILT. THESE INSPECTIONS SHALL BE INCREASED TO DAILY DURING PERIODS OF RAIN OR WHEN EXCESSIVE EROSION WITHIN A PARTICULAR PORTION OF SITE IS OCCURRING WITH REGULARITY.
10. CONTROL MEASURES SHALL BE CLEARED OF SILT WHEN DEPTH ACCUMULATIONS REACH 1.2" OVERALL HEIGHT.
11. INSTALLATION OF ALL CONTROL MEASURES TO BE DONE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PREPARED BY THE CONNECTICUT COMMISSION ON SOIL AND WATER CONSERVATION, MAY 2002, OR AS MAY BE AMENDED.



CONTRACTOR'S NOTE: THE SITE CONTRACTOR SHALL BE ALERT TO THE POSSIBLE EXISTENCE OF A BURIED ELECTRIC CONNECTION TO THE EXISTING SITE LIGHTING. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN THE EXISTING CONNECTION, OR TO RELOCATE THE SERVICE, BY NEW CONDUIT.

CONTRACTOR'S NOTE: THE SITE CONTRACTOR SHALL BE ALERT TO THE POSSIBLE EXISTENCE OF A STORM CULVERT IN THE VICINITY OF THE NORTHEAST CORNER OF THE PROPOSED PARKING LOT EXPANSION AREA. IN THE EVENT THE CULVERT IS EXPOSED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DETERMINE POSSIBLE ADDITIONAL SITE IMPROVEMENTS.

PROPOSED FLOOD HAZARD HIGHLIGHTS
THE PROPOSED SITE IMPROVEMENTS SURVEY ON THIS PLAN WILL IMPACT A DESIGNATED FLOOD HAZARD ZONE. AVAILABLE HAZARDING AND FLOOD PROFILES, REFERENCE FLOOD INSURANCE RATE MAP, TOWN OF BERLIN, CONNECTICUT, PANEL #24 OF #73; MAP NUMBER 090303049; EFFECTIVE DATE: SEPTEMBER 28, 2008.
PROPOSED PAVEMENT HAZARDING AND PARKING STRIPPING SHALL BE WHITE IN COLOR.
4" ROAD REQUIREMENTS FOR HANDICAP SPACES. ALL NEW SPACES AND REPAIRED SPACES SHALL BE STRIPPED UPON THE COMPLETION OF FINAL PAVING ACTIVITIES.
PROPOSED PAVEMENT DEPTH SHALL MATCH THE DEPTH OF THE EXISTING BIT PAVEMENT.

- NOTES**
1. THIS SURVEY (OR MAP) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 30-30b-1 THROUGH 30-30b-30 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 24, 1986. IT IS A PROPERTY/BOUNDARY SURVEY BASED ON A RESURVEY CONFORMING TO THE HORIZONTAL ACCURACY CLASS A-1 VERTICAL ACCURACY CLASS 1-2, AND INTENDED TO BE USED FOR AN IMPROVEMENT LOCATION SURVEY - PROPOSED.
 2. NORTHWEST DATUM REFERS TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM, NORTH AMERICAN DATUM OF 1927 (NAD27).
 3. VERTICAL DATUM REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD 88.
 4. PROPERTY IS LOCATED WITHIN A CEMETERY COMMERCIAL DISTRICT 1 ZONE.
 5. OVERALL EXISTING PROPERTY AREA IS 38,882 SQ. FT., 1.177 ACRES.
 6. THE EXISTING BUILDING IS SERVED BY PUBLIC WATER AND SANITARY SEWER, PROVIDED BY THE BERLIN TOWN FIRE DISTRICT.
 7. PROPOSED SITE IMPROVEMENTS SHALL CONFORM TO THE TOWN OF BERLIN STANDARDS AND SPECIFICATIONS, AS MAY BE REQUIRED.
 8. CONTRACTOR TO PROVIDE SUFFICIENT SEDIMENTATION AND EROSION CONTROL, AS REQUIRED BY THE TOWN ENGINEER, AS MAY BE REQUIRED.
 9. ALL AREAS SHOWN TO BE REGRADED ON THIS PLAN SHALL BE LOADED WITH A MINIMUM OF 6" TOPSOIL, GRASSED AND SEEDED.
 10. UNLESS OTHERWISE NOTED ON THESE PLANS, ALL CURBING SHALL BE 6" BITUMINOUS LIP CURBING.
 11. UNLESS OTHERWISE NOTED, ALL PAVED AREAS ON THIS PLAN SHALL BE BITUMINOUS PAVEMENT.
 12. ALL EXISTING UTILITY CONNECTIONS ARE UNDERGRADING TYPE.
 13. ALL WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY TO CONFORM TO THE REQUIREMENTS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ACTIVITY RESULTS SHALL BE REQUIRED PRIOR TO THE START OF SITE WORK.
 14. PUBLIC STREETS SHALL BE KEPT CLEAN, AS REQUIRED TO REMOVE ANY MUD AND SITE DEBRIS.
 15. NOTIFY THE DIRECTOR OF DEVELOPMENT SERVICES PRIOR TO ANY MODIFICATIONS OR REVISIONS TO THE APPROVED SITE PLANS.
 16. A DETECTABLE WARNING STRIP SHALL BE INSTALLED AS PART OF ALL PROPOSED HANDICAP PARKING IN CONFORMANCE WITH PRESENT ADA STANDARDS.
 17. PORTION OF THE PROPERTY LIES WITHIN A DESIGNATED 1% ANNUAL CHANCE (100 YEAR FLOOD HAZARD ZONE) AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE TOWN OF BERLIN, THE 100 YEAR FLOOD ELEVATION FOR THE PROPOSED BUILDING IS 56.0 FEET (MVD 847), BASED ON A REVIEW OF AVAILABLE HAZARDING AND FLOOD PROFILES, REFERENCE FLOOD INSURANCE RATE MAP, TOWN OF BERLIN, CONNECTICUT, PANEL #24 OF #73; MAP NUMBER 090303049; EFFECTIVE DATE: SEPTEMBER 28, 2008.
 18. PROPOSED PAVEMENT HAZARDING AND PARKING STRIPPING SHALL BE WHITE IN COLOR.
 19. 4" ROAD REQUIREMENTS FOR HANDICAP SPACES. ALL NEW SPACES AND REPAIRED SPACES SHALL BE STRIPPED UPON THE COMPLETION OF FINAL PAVING ACTIVITIES.
 20. PROPOSED PAVEMENT DEPTH SHALL MATCH THE DEPTH OF THE EXISTING BIT PAVEMENT.

PARKING CHART		
TYPE	EXISTING	PROPOSED
STANDARD (8'x18')	71	87
HANDICAP		
CAR - 8'11" W/ 8' SIDE	3	3
VAN - 8'8" W/ 8' SIDE	0	1
TOTAL	74	91

APPROVED 11-1-2009
Town of Berlin
Planning and Zoning Commission

FILE COPY

**IMPROVEMENT LOCATION SURVEY - PROPOSED
SITE LAYOUT & GRADING PLAN**

SITE PLAN SHOWING PROPOSED PARKING IMPROVEMENTS TO BE DEVELOPED BY THE Towne Place Condominium Association ON PROPERTY KNOWN AS LOT 12 / BLOCK 28 / MAP 3-3 #211 NEW BRITAIN ROAD (STATE ROUTE 71) BERLIN, CONNECTICUT	JOB NUMBER	2009-058	
	SCALE	1" = 20'	
	DRAWN BY	BNB	
	CHECKED BY	LJM/BNB	
DATE	OCTOBER 1, 2009		
PREPARED BY: MBA Engineering, Inc. Surveying and Engineering Services Park Place, 1226 Farmington Avenue Berlin, Connecticut 06037 (800) 829-2224 Fax: (800) 829-1117	SHEET 1 OF 1		

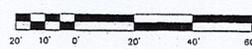
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

[Signature]
LEWIS M. BRANT, LICENSED LAND SURVEYOR #1268

THIS PLAN SHALL NOT BE CONSIDERED VALID UNLESS THE ORIGINAL, SIGNATURE OF THE SURVEYOR APPEARS HEREON, AND AN EMBOSSED SEAL IS AFFIXED OVER AN ORIGINAL SEAL.

NOTE
The contractor is hereby reminded that Title 16, Chapter 293 of the Connecticut General Statutes requires notification to utility companies of pending excavation of or near public utilities. The contractor shall telephone "CALL-BEFORE-YOU-DIG" (1-800-922-4455) at least 48 hours prior to beginning excavation.
These plans have been based, in part, on information supplied by others relating to the location of underground services and/or utilities. MBA Engineering, Inc. cannot verify the accuracy of this information and shall not be held responsible for any omissions and/or locations of said utilities and/or services, including flow lines, which may be incorporated herein as a result. All utilities, including flow lines, should be verified prior to any excavation or construction.

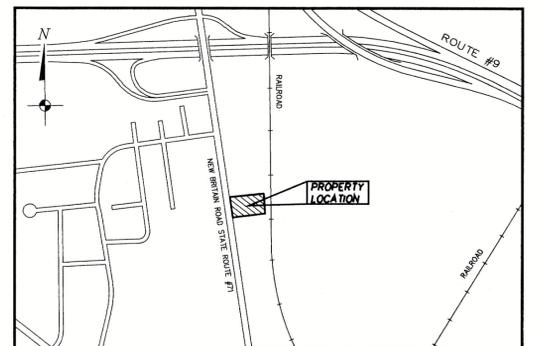
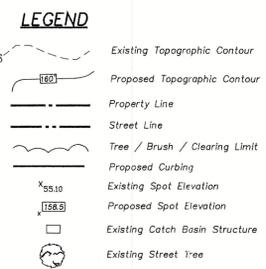
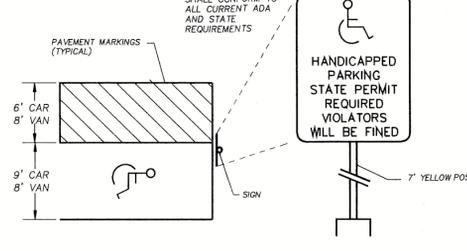
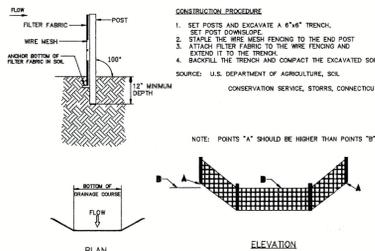
ENGINEER TO THESE PLANS BY AND/OR OTHER THAT MBA ENGINEERING, INC. SHALL HAVE NO LIABILITY FOR ANY AND ALL WORK. MBA ENGINEERING, INC. SHALL TAKE NO RESPONSIBILITY FOR SUCH NEGLIGENCE.



Ok Summary 10/1/09

EROSION AND SEDIMENTATION CONTROL NOTES:

1. ALL EMBANKMENT SLOPES, DISTURBED OR REGRADED DURING CONSTRUCTION SHALL BE SOODED OR SEEDED AND MULCHED (AS REQUIRED), AS SOON AS PRACTICAL, AFTER COMPLETION OF SLOPES.
2. SYNTHETIC FILTER FABRIC BARRIERS SHALL BE PLACED, ON AN AS NEEDED BASIS, TO CONTROL SEDIMENTATION AND EROSION.
3. ALL PERIMETER SYNTHETIC FILTER CHECKS OR BARRIERS SHALL BE PLACED PRIOR TO STARTING ANY SITE CONSTRUCTION.
4. PRIOR TO CONSTRUCTION, ALL AREAS TO BE DISTURBED IN A PARTICULAR LOCATION SHALL BE STRIPPED OF TOPSOIL AND STOCKPILED IN A LOCATION TO BE SELECTED BY OWNER. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AROUND THE PERIMETER OF THE PILE. TOPSOIL SHALL BE IMMEDIATELY SEEDED WITH A TEMPORARY COVER OF ANNUAL RYE GRASS.
5. HAY BALES OR SYNTHETIC FILTER BARRIERS SHALL BE PLACED AT ENDS OF ALL SWALES, EITHER PERMANENT OR TEMPORARY, IMMEDIATELY AFTER SWALE HAS BEEN ROUGH GRADED.
6. AREAS SHALL BE SOODED OR SEEDED IMMEDIATELY AFTER FINAL GRADING BETWEEN APRIL 1 AND JUNE 15, AND BETWEEN AUGUST 15 AND SEPTEMBER 30.
7. WHEN GRADING IS NOT COMPLETED BY SEPTEMBER 30, OR AREAS ARE TO BE EXPOSED FOR EXTENDED PERIODS OF TIME, A TEMPORARY COVER OF ANNUAL RYE GRASS, SEEDED AT THE RATE OF 1.5 POUNDS PER 1000 SQUARE FOOT, SHALL BE ESTABLISHED, OR HAY SPREAD.
8. THE TOWN ENGINEER AND THE ZONING ENFORCEMENT OFFICER SHALL BE NOTIFIED BEFORE CONSTRUCTION BEGINS, AND UPON ITS COMPLETION.
9. ALL CONTROL MEASURES SHALL BE INSPECTED WEEKLY FOR EXCESSIVE ACCUMULATIONS OF SILT. THESE INSPECTIONS SHALL BE INCREASED TO DAILY DURING PERIODS OF RAIN OR WHEN EXCESSIVE EROSION WITHIN A PARTICULAR PORTION OF SITE IS OCCURRING WITH REGULARITY.
10. CONTROL MEASURES SHALL BE CLEANED OF SILT WHEN DEPTH ACCUMULATIONS REACH 1/2 THE OVERALL HEIGHT.
11. INSTALLATION OF ALL CONTROL MEASURES TO BE DONE IN ACCORDANCE WITH THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" PREPARED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, MAY 2002, OR AS MAY BE AMENDED.



LOCATION MAP
SCALE: 1" = 800'

NOTES

1. THIS SURVEY (OR MAP) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTION 20-300b-1 THROUGH 20-300b-20 AND THE "MINIMUM STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996. IT IS A PROPERTY BOUNDARY SURVEY BASED ON A RESURVEY CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, VERTICAL ACCURACY OF CLASS T-2, AND INTENDED TO BE USED FOR AN IMPROVEMENT LOCATION SURVEY - PROPOSED.
2. HORIZONTAL DATUM REFERS TO THE CONNECTICUT STATE PLANE COORDINATE GRID SYSTEM, NORTH AMERICAN DATUM OF 1927 (NAD'27).
3. VERTICAL DATUM REFERS TO NORTH AMERICAN VERTICAL DATUM OF 1988, NAVD '88.
4. PROPERTY IS LOCATED WITHIN A CCD-1 CORE COMMERCIAL DISTRICT 1 ZONE.
5. OVERALL EXISTING PROPERTY AREA 59,992 Sq. Ft.; 1.377 Acres.
6. THE EXISTING BUILDING IS SERVED BY PUBLIC WATER AND SANITARY SEWER, PROVIDED BY THE KENSINGTON FIRE DISTRICT.
7. PROPOSED SITE IMPROVEMENTS SHALL CONFORM TO THE TOWN OF BERLIN STANDARDS AND SPECIFICATIONS, AS MAY BE REQUIRED.
8. CONTRACTOR TO PROVIDE SUFFICIENT SEDIMENTATION AND EROSION CONTROL, AS REQUIRED BY THE TOWN ENGINEER, AS MAY BE REQUIRED.
9. ALL AREAS SHOWN TO BE REGRADED ON THIS PLAN SHALL BE LOAMED WITH A MINIMUM OF 6" TOPSOIL, GRADED AND SEEDED.
10. UNLESS OTHERWISE NOTED ON THESE PLANS, ALL CURBING SHALL BE 6" BITUMINOUS LIP CURBING.
11. UNLESS OTHERWISE NOTED, ALL PAVED AREAS ON THIS PLAN SHALL BE BITUMINOUS PAVEMENT.
12. ALL EXISTING UTILITY CONNECTIONS ARE UNDERGROUND TYPE.
13. ALL WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY TO CONFORM TO THE REQUIREMENTS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION. ACTIVITY PERMITS SHALL BE REQUIRED PRIOR TO THE START OF SITE WORK.
14. PUBLIC STREETS SHALL BE KEPT CLEAN, AS REQUIRED TO REMOVE ANY MUD AND SITE DEBRIS.
15. NOTIFY THE DIRECTOR OF DEVELOPMENT SERVICES PRIOR TO ANY MODIFICATIONS OR REVISIONS TO THE APPROVED SITE PLANS.
16. A DETECTABLE WARNING STRIP SHALL BE INSTALLED AS PART OF ALL PROPOSED HANDICAP RAMPS, IN CONFORMANCE WITH PRESENT ADA STANDARDS.
17. PORTION OF THE PROPERTY LIES WITHIN A DESIGNATED 1% ANNUAL CHANCE (100 YEAR) FLOOD HAZARD ZONE, AS SHOWN ON THE FLOOD INSURANCE RATE MAP (FIRM) PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FOR THE TOWN OF BERLIN. THE 100 YEAR FLOOD ELEVATION FOR THE PROPOSED BUILDING IS 56.0 FEET (NAVD 88), BASED ON A REVIEW OF AVAILABLE MAPPING AND FLOOD PROFILES. REFERENCE: FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT, PANEL 494 OF 675; MAP NUMBER 09003C0494F; EFFECTIVE DATE: SEPTEMBER 26, 2008
18. PROPOSED PAVEMENT MARKINGS AND PARKING STRIPPING SHALL BE WHITE IN COLOR, EXCEPT FOR ADA REQUIREMENTS FOR HANDICAP SPACES. ALL NEW SPACES AND RELOCATED SPACES SHALL BE STRIPPED UPON THE COMPLETION OF FINAL PAVING ACTIVITIES.
19. PROPOSED PAVEMENT DEPTH SHALL MATCH THE DEPTH OF THE EXISTING BIT. PAVEMENT.

CONTRACTOR'S NOTE: THE SITE CONTRACTOR SHALL BE ALERTED TO THE POSSIBLE EXISTENCE OF A BURIED ELECTRIC CONNECTION TO THE EXISTING SITE LIGHTING. IF FOUND, THE CONTRACTOR SHALL TAKE ALL NECESSARY PROVISIONS TO MAINTAIN THE EXISTING CONNECTION, OR TO RELOCATE THE SERVICE, W/ NEW CONDUIT

CONTRACTOR'S NOTE: THE SITE CONTRACTOR SHALL BE ALERTED TO THE POSSIBLE EXISTENCE OF A STORM CULVERT IN THE VICINITY OF THE NORTHEAST CORNER OF THE PROPOSED PARKING LOT EXPANSION AREA. IN THE EVENT THE CULVERT IS EXPOSED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO DETERMINE POSSIBLE ADDITIONAL SITE IMPROVEMENTS.

PROPOSED FLOOD HAZARD IMPACTS
THE PROPOSED SITE IMPROVEMENTS SHOWN ON THIS PLAN WILL IMPACT A DESIGNATED FLOOD HAZARD ZONE.
PROPOSED NET EXCAVATION BELOW THE 1% ANNUAL CHANCE (100 YEAR) FLOOD GRADE (ELEV. 56.0') IS ±40 CUBIC YARDS, RESULTING IN AN INCREASE OF POTENTIAL FLOOD STORAGE VOLUME.

PARKING CHART

TYPE	EXISTING	PROPOSED
STANDARD (9'x18')	71	87
HANDICAP		
CAR - 9'x18' w/ 6' AISLE	3	3
VAN - 8'x8' w/ 8' AISLE	0	1
TOTAL	74	91

APPROVED 11-19-2009
Town of Berlin
Planning and Zoning Commission
Sub to staff notes

IMPROVEMENT LOCATION SURVEY - PROPOSED SITE LAYOUT & GRADING PLAN

SITE PLAN SHOWING PROPOSED PARKING IMPROVEMENTS
TO BE DEVELOPED BY THE
Towne Place Condominium Association
ON PROPERTY KNOWN AS
LOT 12 / BLOCK 28 / MAP 3-3
#211 NEW BRITAIN ROAD
(STATE ROUTE 71)
BERLIN, CONNECTICUT

JOB NUMBER: 2009-058
SCALE: 1" = 20'
DRAWN BY: BNB
CHECKED BY: LJM/BNB
DATE: OCTOBER 1, 2009

MAP PREPARED BY:
MBA Engineering, Inc.
Surveying and Engineering Services
Park Place, 1225 Farmington Avenue
Berlin, Connecticut 06037
(860) 829-2224 Fax (860) 829-1117

STATE OF CONNECTICUT
LEWIS J. MIRANTE
PROFESSIONAL ENGINEER
No. 12058
LICENSED PROFESSIONAL ENGINEER

STATE OF CONNECTICUT
LEWIS J. MIRANTE
LICENSED LAND SURVEYOR
No. 12058

SHEET 1 OF 1

Approximate location of proposed sign

Freestanding sign cannot be closer than 50' from front property line per regulations in CCD-1

OK S. MIRANTE 10/5/09

REVISIONS TO THESE PLANS BY ANYONE OTHER THAN MBA ENGINEERING, INC. SHALL MAKE THESE PLANS NULL AND VOID. MBA ENGINEERING, INC. SHALL TAKE NO RESPONSIBILITY FOR SAID REVISIONS.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

LEWIS J. MIRANTE, LICENSED LAND SURVEYOR #12058

THIS PLAN SHALL NOT BE CONSIDERED VALID UNLESS THE ORIGINAL SIGNATURE OF THE SURVEYOR APPEARS HEREON, AND AN EMBOSSED SEAL IS AFFIXED OVER AN ORIGINAL SEAL.

NOTE
The contractor is hereby reminded that Title 16, Chapter 293 of the Connecticut General Statutes requires notification to utility companies of pending excavation at or near public utilities. The Contractor shall telephone "CALL-BEFORE-YOU-DIG" (1-800-922-4455) at least 48 hours prior to beginning excavation.
These plans have been based, in part, on information supplied by others relating to the location of underground services and/or utilities. MBA Engineering, Inc. cannot verify the accuracy of this information and shall not be held responsible for any omissions and/or locations of said utilities and/or services, including flow lines, which may be incorporated herein as a result. All utilities, including flow lines should be verified prior to any excavation or construction.