

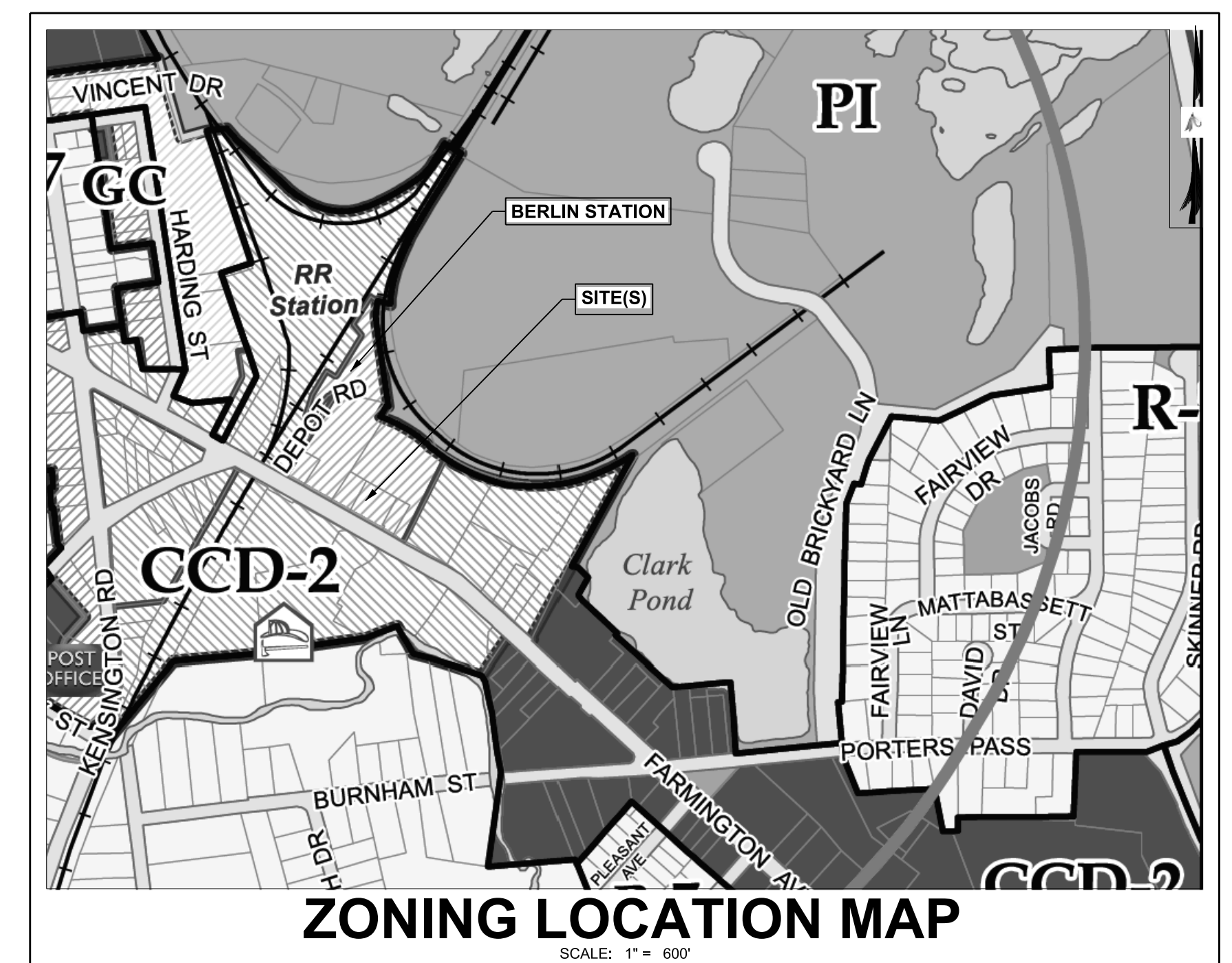
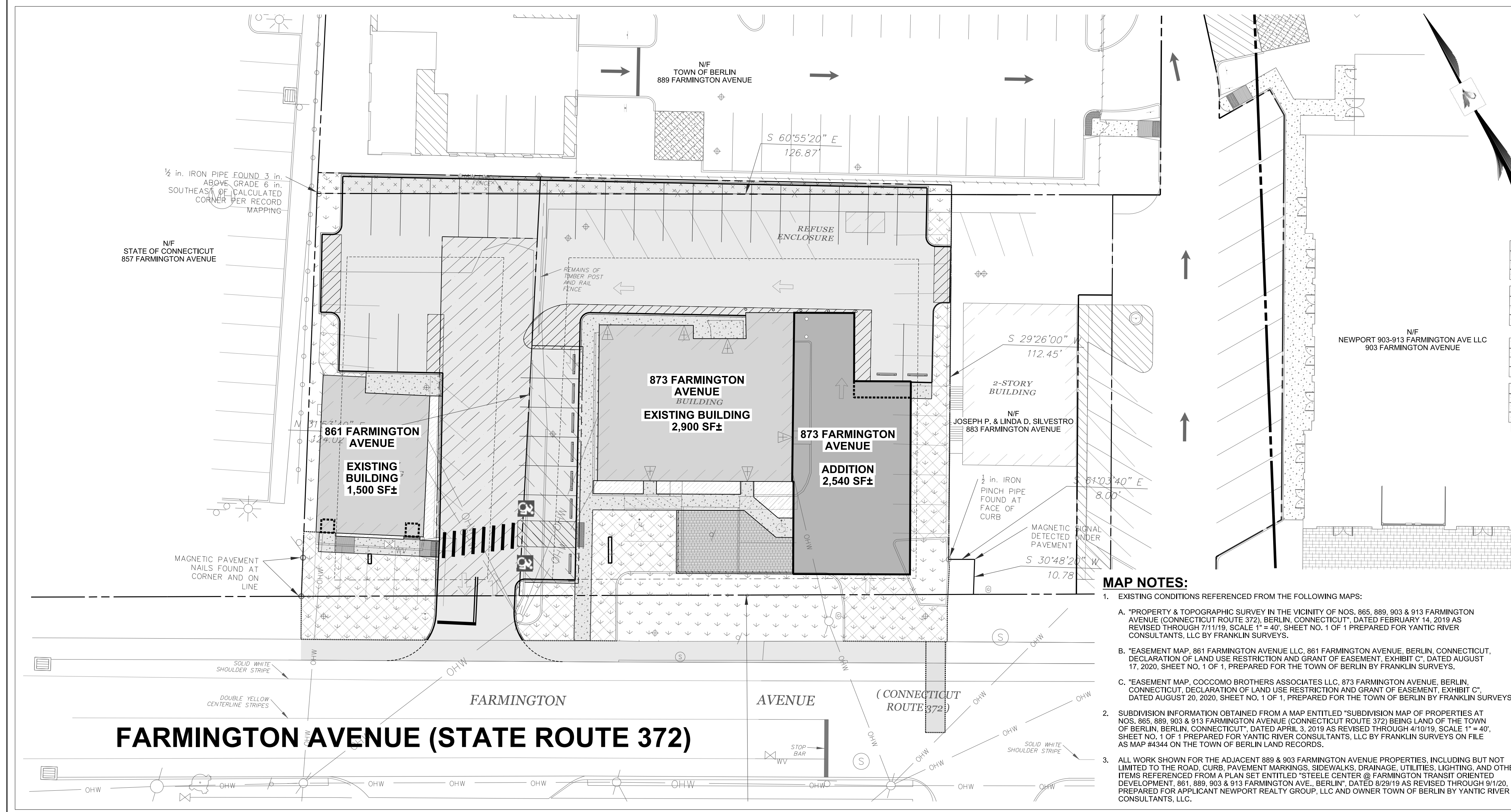
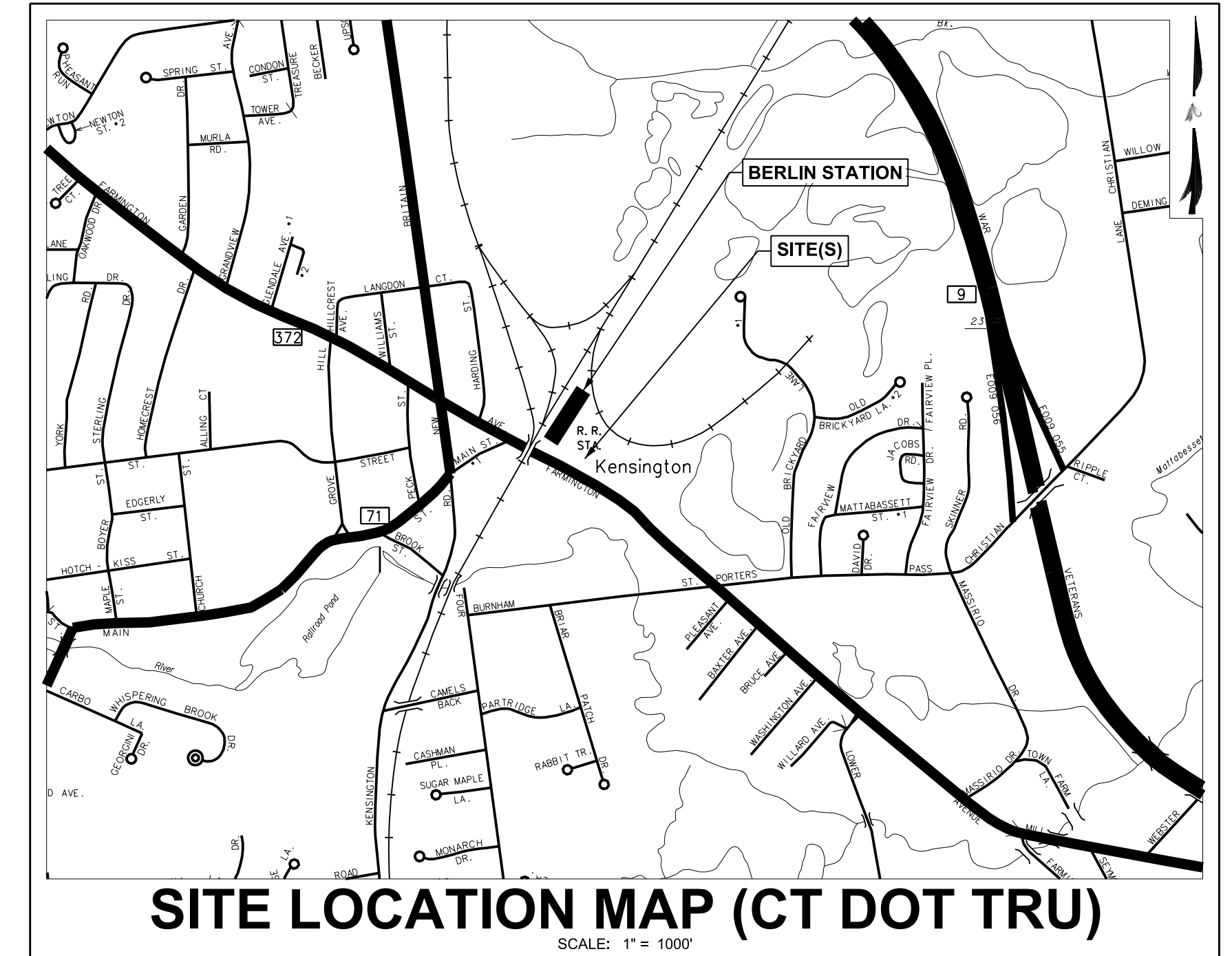
861 & 873 FARMINGTON AVENUE SITE MODIFICATION PLANS

861 FARMINGTON AVE., BERLIN (MAP 9-1 / BLOCK 76 / LOT 79)
873 FARMINGTON AVE., BERLIN (MAP 9-1 / BLOCK 76 / LOT 78)

PREPARED FOR

861 FARMINGTON AVENUE - OWNER / APPLICANT
861 FARMINGTON AVENUE LLC / NEWPORT REALTY GROUP,
710 MAIN STREET, SUITE 11
PLANTSVILLE, CT 06479

873 FARMINGTON AVENUE - OWNER / APPLICANT
COCCOMO BROTHERS ASSOCIATES LLC
365 NEW BRITAIN ROAD
BERLIN, CT 06037



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SCALE: 1" = 20'

PROJECT NUMBER:
00105 - 001



CONTACT INFORMATION
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**861 & 873 FARMINGTON AVENUE
SITE MODIFICATION PLANS**
PREPARED FOR
NEWPORT REALTY GROUP & COCCOMO BROTHERS ASSOCIATES
TITLE SHEET / SITE LOCATION
861 & 873 FARMINGTON AVENUE
BERLIN, CT

REVISION SUMMARY		SHEET
DATE	DESCRIPTION	1 OF 6
		DATE
		3/17/21
		REVISED

ZONING TABLE					
ZONING DISTRICT: SPECIAL USE ZONE:		COMMERCIAL CORE DESIGN DISTRICT CCD-2 (SECTION V.I) KENSINGTON OVERLAY ZONE - VILLAGE CORE AREA 1 (SECTION VIII.F)			
USE:		MIXED-USE DEVELOPMENT CONTAINING RETAIL, PERSONAL SERVICE, RESTAURANTS, BUSINESS & PROFESSIONAL OFFICES & MULTI-FAMILY APARTMENTS			
LOT AREA CALCULATIONS					
LOT (ADDRESS)	REQUIREMENT	AREA (SF)	AREA (ACRE)	NOTES	
861 FARMINGTON	2.0 AC. MIN.	8,400	0.19	PRE-EXISTING NON-CONFORMING LOT	
873 FARMINGTON	2.0 AC. MIN.	16,100	0.37	PRE-EXISTING NON-CONFORMING LOT	
MULTI-FAMILY DENSITY CALCULATIONS					
LOT (ADDRESS)	REQUIRED	AREA (4 X AC)	MAX. UNITS	PROP. UNITS	NOTES
861 FARMINGTON	4 UNITS / AC.	0.19 AC	0.8 UNITS	1	APPROVED WITH UNIFIED SITE PLAN [1] ZONING SETTLEMENT AGREEMENT [2]
873 FARMINGTON	4 UNITS / AC.	0.37 AC	1.5 UNITS	8	
AREA & BULK TABLE					
ITEM	REQUIREMENT	861	873	NOTES	
FRONT YARD	5 FT	18.18 FT	6.19 FT	COMPLIES	
SIDE YARD	10 FT	3.73 FT	11.16 FT	EX. NONCONFORMING [3]	
REAR YARD	20 FT	55.97 FT	36.50 FT	COMPLIES [4 & 5]	
PARKING SIDE/REAR	0 FT	0 FT	0 FT	COMPLIES [5]	
PARKING FRONT	10 FT	4.8 FT	4.8 FT	WAIVER REQUESTED [5]	
BLDG. COVERAGE	50%	18% (1,500 SF)	34% (5,420 SF)	COMPLIES	
IMP. COVERAGE	90%	86% (7,200 SF)	83% (13,330 SF)	COMPLIES	
BUILDING STORIES	4	3	3	COMPLIES	
BUILDING HEIGHT	60 FT	<60 FT	<60 FT	SEE ARCH.	

- ZONING TABLE NOTES:**
- THE MULTI-FAMILY UNIT FOR 861 FARMINGTON AVENUE WAS APPROVED BY THE BERLIN PLANNING & ZONING COMMISSION ON 9/19/19 AS PART OF A UNIFIED SITE PLAN WITH THE PROPERTIES LOCATED AT 889, 903 & 913 FARMINGTON AVENUE.
 - THE QUANTITY OF MULTI-FAMILY UNITS FOR 873 FARMINGTON AVENUE IS BASED UPON A ZONING SETTLEMENT AGREEMENT. ZONING COMPLIANCE NOT APPLICABLE.
 - THE EXISTING BUILDING LOCATED AT 861 FARMINGTON IS A PRE-EXISTING NON-CONFORMING STRUCTURE.
 - THE PARKING SPACES ALONG THE REAR YARD ENCRoACH ONTO THE PARCEL LOCATED AT 889 FARMINGTON AVE. PARKING & MAINTENANCE EASEMENTS WILL BE GRANTED IN FAVOR OF 861 & 873 FARMINGTON AVENUE.
 - THE PARKING SPACES ALONG THE SIDE YARD ENCRoACH OVER THE 861 & 873 PROPERTY LINES. ACCESS AND PARKING EASEMENTS WILL BE GRANTED IN FAVOR OF EACH PROPERTY FOR SHARED USE.
 - EXISTING PARKING SPACES ALONG THE SOUTHERN PROPERTY LINE OF 861 AND/OR 873 FARMINGTON AVENUE ARE WITHIN 10' OF THE FRONT PROPERTY LINE, OR ENCRoACH INTO THE FARMINGTON AVENUE ROW. THE PROPOSED PLAN REMOVES ENCRoACHMENT INTO THE ROW AND GENERALLY MATCHES EXISTING PARKING CONDITIONS. PARKING SETBACK WAIVER REQUESTED.

BUILDING & PARKING TABLE									
	USE	FLOOR	AREA (SF)	GFA (SF)	MF	OCC. (PPL)	MAX. SPACES	80% SPACES	PROPOSED SPACES
861	SERVICE	1	1,500	1,200			4.8 @ 1/250 GFA	3.8	
873 [1]	MF	2	1,500	1,200	1	120	2 @ 2/UNIT	1.6	
	REST	1[2]	2,900	2,320			40 @ 1/3 OCC	32	
	MF	2(EX)	2,900	2,320	2		4 @ 2/UNIT	3.2	
	ACCESS	1(NEW)	310	248				0	
	BUSINESS	1[2]	1,200	960			3.8 @ 1/250 GFA	3.0	
	MF ADA	1(NEW)	1,030	1,030	1		2 @ 2/UNIT	1.6	
	MF	2(NEW)	2,380	2,380	4		8 @ 2/UNIT	6.4	
	MF	3(NEW)	1,200	1,200	1		2 @ 2/UNIT	1.6	
	TOTALS		14,920	12,858	9		66.6 SPACES	53.3	32 [3]

- BUILDING & PARKING TABLE NOTES:**
- 873 EXISTING AND PROPOSED USES BASED ON ZONING SETTLEMENT AGREEMENT. FINAL FLOOR PLANS REQUIRED FOR CONFIRMATION.
 - RESTAURANT AND BUSINESS USES ON THE FIRST FLOOR OF THE 873 BUILDING MAY BE LOCATED IN EITHER THE EXISTING (EX) OR ADDITION (NEW) AND SHALL NOT EXCEED THE SQUARE FOOTAGES SHOWN.
 - THE NUMBER OF PARKING SPACES DO NOT COMPLY WITH THE MINIMUM REQUIREMENT IN THE ZONING REGULATIONS. THE NUMBER OF SPACES PROPOSED IS BASED ON A ZONING SETTLEMENT AGREEMENT.

GENERAL SITE NOTES

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817 AS APPLICABLE.
- ALL DIMENSIONS ARE TO THE EDGE OF PAVEMENT, FACE OF CURBS, OUTSIDE FACE OF THE BUILDING OR OTHER LIMITS AS DEPICTED ON THE PLAN.
- THE PROPOSED PARKING FACILITIES ARE GENERALLY PERPENDICULAR TO OR PARALLEL WITH THE PROPOSED BUILDING(S), OR AS DEPICTED ON THE PLAN.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL CONDITIONS TO OWNER.
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS FROM PROPOSED FEATURES TO EXISTING FEATURES AS NECESSARY.
- ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED AFTER FINISH GRADING IS COMPLETED UNLESS OTHERWISE NOTED. ALL NEW SEEDED OR SODDED AREAS SHALL HAVE A TOPSOIL LAYER OF 4" MINIMUM OR AS DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT. TOP OF TOPSOIL LAYER SHALL BE PLACED 1" BELOW TOPS OF CURBS, WALKS, OR PAVEMENT ELEVATIONS WHERE TOPSOIL ADJUTS THOSE AREAS.
- CONTRACTOR SHALL SUPPLY AND PLACE STRAW MULCH WHEREVER GRASS SEED HAS BEEN PLACED. SEED SHALL BE APPLIED AT THE MINIMUM RATE RECOMMENDED BY THE MANUFACTURER OR THE PROJECT LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL SEAL THE EDGE OF EXISTING ASPHALT PAVEMENT WITH TACK COAT IN ACCORDANCE WITH FORM 817 OR THE TOWN OF BERLIN STANDARDS WHERE NEW ASPHALT JOINS EXISTING ASPHALT.
- CONTRACTOR SHALL REPAIR, RESURFACE, RECONSTRUCT OR REFURBISH ANY AREAS DAMAGED DURING CONSTRUCTION BY THE CONTRACTOR, HIS SUBCONTRACTORS OR SUPPLIERS AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL COMPLETELY FILL ALL TRENCHES WITHIN 5 FEET OF PAVEMENT EDGES WITH GRANULAR BACKFILL. REFER TO GEOTECHNICAL REPORT FOR TYPE OF FILL TO ACHIEVE DESIRED COMPACTION.
- ALL PAINT STRIPING SHALL BE 4" TRAFFIC PAINT IN ACCORDANCE WITH FORM 817 AND SHALL BE WHITE OR YELLOW.
- CONTRACTOR TO CONFIRM WITH LOCAL CODES AND BUILDING INSPECTOR FOR SPECIFIC HANDICAPPED ACCESSIBLE PARKING SPACE DIMENSIONS, STRIPING, PAVEMENT MARKING, AND SIGNAGE REQUIREMENTS.
- GENERAL CONTRACTOR TO INSTALL & LOCATE CLEANOUTS PER PLUMBING PLANS AND SPECIFICATIONS.

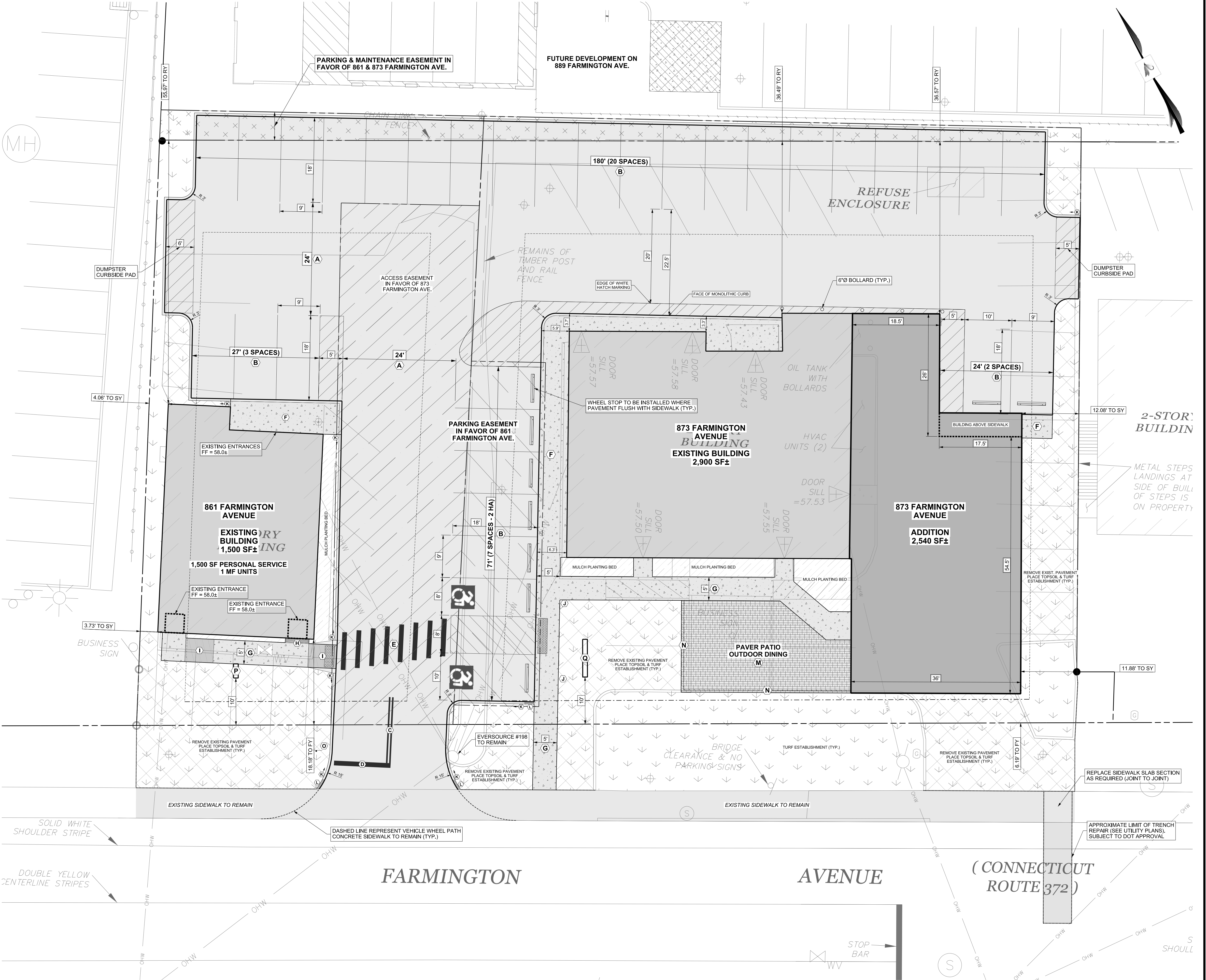
FARMINGTON AVE. R.O.W. NOTES

- ALL WORK WITHIN THE FARMINGTON AVENUE R.O.W. SUBJECT TO REVIEW AND APPROVAL BY CONNECTICUT DOT. CONTRACTOR SHALL OBTAIN ENCRoACHMENT PERMIT AS REQUIRED.

UTILITY STATEMENT

UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES, PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR AND THIS PLAN SET MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN-SERVICE OR ABANDONED. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO NOTIFY "CALL BEFORE YOU DIG" AT 1-800-922-4455, IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

LEGEND	
	EDGE OF PAVEMENT W/ CURB
	SAWCUT PAVEMENT
	CONCRETE CURB & SIDEWALK
	CONCRETE SIDEWALK
	DRAINAGE PIPE
	ROOF LEADER
	CURTAIN/SLOPE/WALL DRAIN
	SANITARY SEWER
	WATER
	GAS SERVICE
	ELECTRIC
	TELECOMMUNICATIONS
	SILT FENCE
	POLE MOUNTED LIGHT FIXTURE
	CROSSWALK
	STRIPED AISLE
	HANDICAP PARKING MARKING
	(A) BITUMINOUS CONCRETE DRIVE
	(B) PARKING PAINT STRIPING (4" WHITE)
	(C) LANE STRIPING (DOUBLE 4" YELLOW)
	(D) STOP BAR (12" WHITE)
	(E) CROSS-WALK (12" WHITE)
	(F) CONCRETE CURB & WALK MONOLITHIC
	(G) CONCRETE SIDEWALK
	(H) CONCRETE STEPS
	(I) HANDICAP RAMP (12H:1V MAX.)
	(J) HANDICAP PARKING SIGNAGE
	(K) EXTRUDED CONCRETE CURB (ECLC)
	(L) CONCRETE TRANSITION CURB
	(M) OUTDOOR PATIO
	(N) 4" BLACK PICKET FENCE
	(O) 'STOP' SIGN
	(P) 861 FREESTANDING SIGN
	(Q) 873 FREESTANDING SIGN



UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPING SUPPLIED BY THE RESPECTED UTILITY COMPANIES OR GOVERNMENT AGENCIES, PAROLE TESTIMONY, FIELD SURVEY AND OTHER SOURCES. THE SURVEYOR/AND THIS PLAN SET MAKES NO GUARANTEE THAT THE INFORMATION CONTAINED HEREON IS COMPLETE AND ACCURATE. FURTHERMORE, EITHER THE INFORMATION CONTAINED HEREON OR THE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE USER. THE USER SHALL BE RESPONSIBLE PRIOR TO ANY REACTION TO NOTIFICATION OF ANY SUCH FEATURES. YOU DIG#1 - 1-800-922-4455. IN ACCORDANCE WITH CBYD NOTIFICATION PROCEDURES PRIOR TO COMMENCING WORK.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STATE OF CONNECTICUT DOT STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, FACILITIES AND INCIDENTAL CONSTRUCTION FORM 817 AS APPLICABLE. WORK WITHIN THE ROAD RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH STATE STANDARDS. ENCROACHMENT PERMIT REQUIRED.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION AND SHALL REPORT ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS TO THE OWNER/REPRESENTATIVE IMMEDIATELY.
3. THE EXCAVATING CONTRACTOR SHALL TAKE PARTICULAR CARE WHEN EXCAVATING IN AND AROUND EXISTING UTILITY LINES AND EQUIPMENT. VERIFY COVER REQUIREMENTS BY UTILITY COMPANIES SO AS NOT TO CAUSE DAMAGE.
4. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START, OR AS REQUIRED BY THE GOVERNING UTILITY COMPANY, TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS LOCATION, SIZE AND DEPTH SHALL BE MADE BY THE CONTRACTOR OR BY THE UTILITY COMPANY. IF THE CONTRACTOR HAS OR OVER UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE IS PRESENT TO INSTRUCT AND OBSERVE.
5. TRENCHES FOR ALL STORM LINES SHALL BE BACKFILLED WITH ENGINEERED GRANULAR MATERIAL IF WITHIN 5 FT OF PAVEMENT.
6. AFTER STRIPPING TOPSOIL MATERIAL, PROOFROLL WITH A MEDIUM WEIGHT ROLLER TO DETERMINE LOCATIONS OF ANY POCKETS OF UNSUITABLE MATERIAL. THE NECESSITY FOR SUBDRAINS AND/OR REMOVAL OF ANY UNSUITABLE MATERIAL WITHIN THE PROPOSED BUILDING OR PARKING AREAS WILL BE DETERMINED AT THE TIME OF CONSTRUCTION.
7. DUE TO EXISTING SITE CONSTRAINTS, THERE ARE SECTIONS OF PAVEMENT WITH MINIMAL SLOPE (<2%) CONTRACTOR TO PROVIDE POSITIVE DRAINAGE WITHOUT PONDING AND TEST FOR AND CORRECT ANY "BIRD BATH" CONDITIONS.
8. ALL PROPOSED SPODE ELEVATIONS ARE THE FINAL PAVEMENT AND FINAL GRADE ELEVATIONS. SEE APPROPRIATE DETAILS TO DETERMINE SUBGRADE ELEVATIONS BELOW FINISH GRADE INDICATED ON THE PLANS.
9. EXTRACTION, GRADING, FILLING AND/OR PROCESSING SHALL NOT INVOLVE THE REMOVAL OR DEPOSITION OF MORE MATERIAL(S) THAN NECESSARY TO ACCOMMODATE THE PROPOSED DEVELOPMENT.

1. STORMWATER RUNOFF FROM THE 861 & 873 FARMINGTON AVENUE SITE WILL GENERALLY MATCH EXISTING DRAINAGE PATTERNS AND WILL BE COLLECTED THROUGH A SERIES OF GUTTER DOWNSPOUTS, ROOF LEADERS, SWALES, CATCH BASINS, AND DRAINAGE PIPING. DRAINAGE PIPING FROM THE 861 & 873 AVENUE DEVELOPED AREAS WILL CONTINUE TO DISCHARGE OVERLAND TOWARD FARMINGTON AVENUE. THE AREA TO THE NORTH OF THE NEW 873 BUILDING WILL DISCHARGE TO THE DRAINAGE SYSTEM ON 889 FARMINGTON AVENUE.
2. CONTRACTOR SHALL VERIFY ALL LOCATIONS, DIMENSIONS, SIZES, AND DEPTHS IN FIELD.
3. THERE WILL BE NO INCREASE IN PEAK FLOW RATES OR VOLUMES DISCHARGING OFF-SITE FOR THE 2, 5, 10, 25, 50 AND 100-YR STORMS. THE PROPOSED SITE RESULTS IN A MINOR REDUCTION IN IMPERVIOUS SURFACES.
4. ALL PRIVATE STORMWATER DRAINAGE PIPING SHALL BE ADS N-12 8" HD PE HOPE OR APPROVED EQUIV. WITH A MIN. SLOPE OF 0.5% INSTALLED IN ACCORDANCE WITH ASTM D2321 AND THE MANUFACTURER'S GUIDELINES.
5. ALL ROOF LEADERS AND FITTINGS SHALL BE 8" PVC SDR-35 (ASTM D3034) AT 0.5% MINIMUM SLOPE AND 12" MINIMUM COVER UNLESS NOTED OTHERWISE. CONTRACTOR TO CONFIRM FINAL DOWNSPOUT LOCATIONS AND PROVIDE FITTINGS/CONNECTIONS AS REQUIRED TO CONTRACTOR TO CONFIRM ALL UTILITIES, SIZES AND ADJUST ROOF LEADER SLOPE TO PROVIDE PROPER SEPARATION AND ENSURE POSITIVE DRAINAGE CAN BE PROVIDED.

THE FOLLOWING OPERATION & MAINTENANCE PLAN SHALL BE IMPLEMENTED TO ENSURE THAT STORMWATER MANAGEMENT SYSTEMS FUNCTION AS DESIGNED.

1. OWNER & PARTY RESPONSIBLE FOR OPERATION AND MAINTENANCE: NEWPORT REALTY GROUP, LLC
861 FARMINGTON AVENUE: NEWPORT REALTY GROUP, LLC
873 FARMINGTON AVENUE: COCCOMO BROTHERS ASSOCIATES
2. THE FOLLOWING MAINTENANCE SHALL BE PERFORMED AND A SOWING LOG OR CHECKLIST COMPLETED, DATED AND SIGNED BY THE CONTRACTOR, PRIOR TO THE SOWING THE WINTER SEASON. REMOVE ALL COCTED SEDIMENT AND DEBRIS AND DISPOSE OF IN AN APPROVED MANNER.
 - A. INSPECT EACH VEGETATED/LANDSCAPED AREA TWICE ANNUALLY, ONCE IN THE FALL FOR PART OF FOLIAGE CLEANUP AND ONCE IN THE SPRING FOR THE REMOVAL OF ANY DEAD OR DAMAGED PLANTS OR TREES. THE PRODUCTS OR DEBRIS FLOW SHALL BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER.
 - B. GRASS SEEDS, PINE TREES, AND OTHER PLANTS SHALL BE SWEPT ANNUALLY EACH SPRING TO REMOVE SAND, SALT AND OTHER DEBRIS FROM THE WINTER MAINTENANCE SEASON.

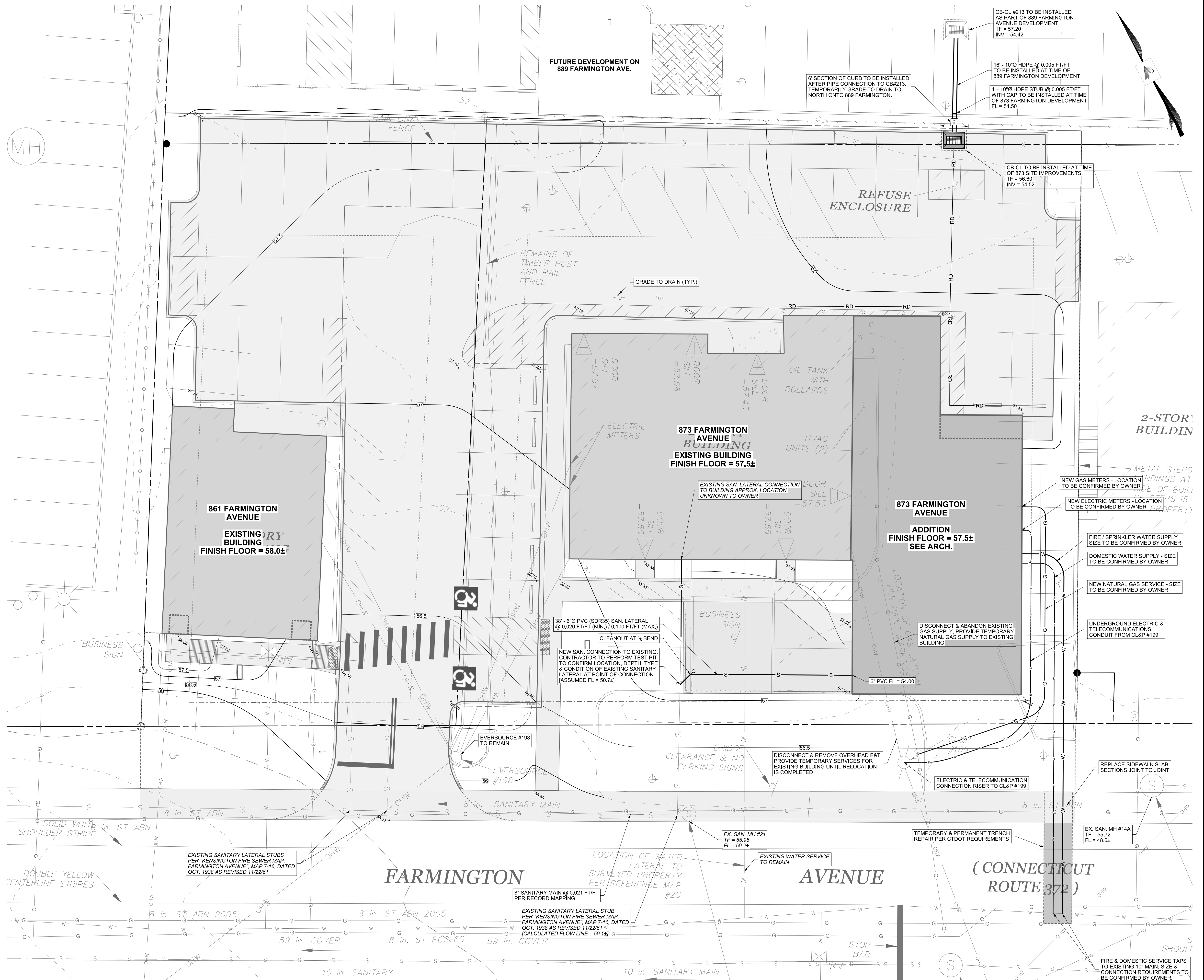
1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MATERIAL SPECIFICATIONS AND INSTALLATION STANDARDS OF THE GOVERNING PUBLIC UTILITY, ALL TOWN REGULATIONS, AND APPLICABLE CODES FOR GAS, ELECTRIC, TELECOMMUNICATIONS AND SEWER.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES, LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED ON THE DRAWINGS. ANY PIPING WHICH IS NOT SHOWN ON THE DRAWINGS AND WHICH WOULD CAUSE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
3. BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPROPRIATE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
4. WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING OR STRUCTURE OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE FIELD VERIFICATION DIFFERS FROM THE INFORMATION ON THE DRAWINGS.
5. FOR CLARITY PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE KENSINGTON FIRE DISTRICT, TOWN OF BERLIN, AND THE STATE OF CONNECTICUT, AS APPLICABLE.
2. THE EXISTING BUILDING AT 861 FARMINGTON AVENUE SHALL CONTINUE TO BE SERVED BY THE EXISTING SANITARY LATERAL SUB.
3. THE EXISTING BUILDING AT 873 FARMINGTON AVENUE SHALL CONTINUE TO BE SERVED BY THE EXISTING SANITARY LATERAL SUB.
4. THE NEW BUILDING AT 873 FARMINGTON AVENUE WILL BE SERVED BY A NEW 6" PVC (SDR35) SANITARY SEWER LATERAL CONNECTED TO THE EXISTING SUB SERVING THE EXISTING BUILDING (SEE NOTE 3). THE LOCATION AND FLOW LINE OF THE SUB IS SHOWN BASED ON THE ORIGINAL 1938 "KENSINGTON FIRE SEWER MAP". A TEST PIT SHALL BE PERFORMED BY THE CONTRACTOR TO CONFIRM THE EXISTING SUB DEPTH AND LOCATION. THE EXISTING LATERAL PIPE, IF THE PIPE IS FOUND TO BE IN POOR CONDITION OR INADEQUATE SIZE (<6") TO THE EXISTING LATERAL SHALL BE REPLACED TO THE MAIN.


1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE KENSINGTON FIRE DISTRICT TOWN OF BERLIN, AND THE STATE OF CONNECTICUT, AS APPLICABLE.
2. THE EXISTING BUILDING AT 861 FARMINGTON AVENUE SHALL CONTINUE TO BE SERVED BY THE EXISTING WATER SERVICE FROM THE MAIN IN FARMINGTON AVENUE.
3. THE EXISTING BUILDING AT 873 FARMINGTON AVENUE SHALL CONTINUE TO BE SERVED BY THE EXISTING WATER SERVICE FROM THE MAIN IN FARMINGTON AVENUE. IF ADDITIONAL DOMESTIC OR FIRE WATER SUPPLY SERVICES ARE REQUIRED, THE SERVICES SHALL BE ACCOUNTED FOR IN THE PROPOSED SERVICES TO THE NEW BUILDING ADDITION. SEE NOTE 4 BELOW.
4. THE NEW BUILDING ON 873 FARMINGTON AVENUE WILL BE SERVED BY THE FOLLOWING WATER SERVICES:
 - A. FIRE SUPPRESSION PIPE FROM THE UTILITY ROOM TO THE EXISTING 10" MAIN IN THE STREET, OWNER TO CONFIRM LOCATION OF UTILITY ROOM AND REQUIRED SIZE.
 - B. COPPER DOMESTIC CONNECTION FROM THE METER ROOM TO THE EXISTING 10" MAIN IN THE STREET. OWNER TO CONFIRM LOCATION OF METER ROOM AND REQUIRED PIPE SIZE/TYPE. THE LOCATION, SIZE, VALVE & CONNECTION REQUIREMENTS FOR THE NEW SERVICES TO THE EXISTING 10" MAIN SHALL BE CONFIRMED BY THE CONTRACTOR.
5. A MINIMUM CLEARANCE OF 10' HORIZ. AND 18" VERT. SHALL BE PROVIDED BETWEEN WATER AND SANITARY SEWER LINES.

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CONNECTICUT NATURAL GAS CORPORATION (CNG).
2. ALL GAS PIPING, UP TO AND INCLUDING THE METERS TO BE INSTALLED BY CNG, THE CONTRACTOR SHALL COORDINATE TRENCHING AND BACKFILL REQUIREMENTS, DESIGN AND SIZING OF ALL NATURAL GAS VALVES, PIPING AND OTHER ELEMENTS BY OTHERS.
3. GAS METERS SHALL BE INSTALLED IN THE GENERAL LOCATIONS SHOWN. FIELD ADJUSTMENTS MAY BE MADE DURING CONSTRUCTION AT THE DISCRETION OF CNG.
4. TEMPORARY GAS SERVICES SHALL BE PROVIDED TO THE EXISTING BUILDING AT 873 FARMINGTON AVENUE UNTIL THE NEW SERVICE ARE INSTALLED AND CONNECTED.

1. NEW ELECTRIC AND TELECOMMUNICATIONS SHALL BE CONNECTED TO THE EXISTING OVERHEAD UTILITIES IN THE NORTH SHOULDER OF FARMINGTON AVENUE GENERALLY AS SHOWN ON PLANS. BUILDING SERVICES REQUIREMENTS SHALL BE COORDINATED BETWEEN THE OWNER AND THE NORTHEAST UTILITIES SERVICE COMPANY (EVERSOURCE).
2. TEMPORARY ELECTRIC AND TELECOMMUNICATIONS SERVICES SHALL BE PROVIDED TO THE EXISTING BUILDINGS AS NECESSARY UNTIL THE NEW SERVICES ARE INSTALLED AND CONNECTED.



SCALE: 1" = 10'



A horizontal graphic scale bar with alternating black and white segments. Below the bar are numerical markings at 10, 0, 10, 20, and 30, representing feet.



CONTACT INFORMATION
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PROFESSIONAL SEAL

**861 & 873 FARMINGTON AVENUE
SITE MODIFICATION PLANS**

PREPARED FOR
NEWPORT REALTY GROUP & COCCOMO BROTHERS ASSOCIATES

GRADING, DRAINAGE & UTILITY PLAN

861 & 873 FARMINGTON AVENUE

BERLIN, C.

REVISION SUMMARY

DATE	DESCRIPTION
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SHEET

DATE:

3 OF 6

DATE _____

DATE _____

3/17/21

REVISÉ

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GENERAL CONSTRUCTION NOTES:

1. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE WORK TO BE PERFORMED.
2. THE CONTRACTOR SHALL CONFORM TO ALL REQUIREMENTS OF ALL LOCAL AGENCIES OF THE TOWN OF BERLIN AND THE STATE OF CONNECTICUT.

SEQUENCE OF CONSTRUCTION:

1. COORDINATE AND COMPLETE A MEETING WITH CITY AND OWNER, RESPONSIBLE PARTIES TO BE IDENTIFIED.
2. INSTALL EROSION CONTROL MEASURES AT THE LOCATIONS SHOWN ON THE PLANS OR AS REQUIRED FOR FIELD CONDITIONS.
3. DEMOLISH & DISPOSE OF EXISTING FOUNDATIONS AND STRUCTURES, ABANDON, REMOVE, OR RELOCATE UTILITIES AS REQUIRED.
4. CLEAR AND GRUB AREAS IF REQUIRED.
5. CONSTRUCTION ON 861 FARMINGTON AVENUE.
- A. REMOVE EXISTING PAVEMENT, EXCAVATE / PLACE FILL AND ROUGH GRADE SITE
- B. INSTALL UTILITIES.
- C. CONSTRUCT ACCESS DRIVES AND PARKING AREAS.
- D. INSTALL CONCRETE SIDEWALKS AND PADS.
- E. INSTALL BITUMINOUS CONCRETE BINDER COURSE.
- F. INSTALL CURBING AND BITUMINOUS CONCRETE FINISH COURSE
- G. FINISH GRADE, SPREAD TOPSOIL, SEED, AND COMPLETE PLANTING.
6. CONSTRUCTION ON 873 FARMINGTON AVENUE.
- A. REMOVE EXISTING PAVEMENT, EXCAVATE / PLACE FILL AND ROUGH GRADE SITE
- B. INSTALL UTILITIES AND STORM DRAINAGE.
- C. FOUNDATION & BUILDING CONSTRUCTION
- D. CONSTRUCT DRIVES AND PARKING AREAS.
- E. INSTALL CONCRETE SIDEWALKS AND PADS.
- F. INSTALL BITUMINOUS CONCRETE BINDER COURSE.
- G. INSTALL CURBING AND BITUMINOUS CONCRETE FINISH COURSE
- H. FINISH GRADE, SPREAD TOPSOIL, SEED, AND COMPLETE PLANTING.
7. REMOVE EROSION AND SEDIMENTATION CONTROLS WHEN PERMANENT VEGETATIVE COVER IS ESTABLISHED

EROSION & SEDIMENT CONTROL PLAN:

1. OWNER & PARTY RESPONSIBLE FOR E&S CONTROL PLAN:
861 FARMINGTON AVENUE: NEWPORT REALTY GROUP, LLC
873 FARMINGTON AVENUE: COCCOMO BROTHERS ASSOCIATES
EMERGENCY CONTACTS TO BE PROVIDED PRIOR TO ISSUANCE OF BUILDING PERMIT.
2. ALL EROSION AND CONTROL MEASURES SHALL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHERE POSSIBLE.
3. AN ANTI-TRACKING APRON WILL BE INSTALLED AT ALL ENTRANCES TO THE CONSTRUCTION SITE IN ORDER TO PREVENT THE TRANSPORT OF SEDIMENTS OFF THE CONSTRUCTION SITE BY TRUCK AND CONSTRUCTION EQUIPMENT TRAFFIC. THE SURROUNDING ROAD SURFACES SHALL BE SWEEPED AS REQUIRED.
4. ALL EXISTING AND PROPOSED CATCH BASINS WITHIN THE PROJECT AREA, INCLUDING WITHIN FARMINGTON AVENUE AND THE BOULEVARD, SHALL BE PROTECTED WITH INLET CONTROL FILTER SILT SACKS AS SHOWN ON THE PLAN DURING THE CONSTRUCTION PERIOD. IF REQUIRED, NEW CATCH BASINS ON SITE SHALL BE PROTECTED WITH STRAW WADDLES OR BALES.
5. AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL STOCKPILES OF SOIL.
6. DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AS REQUIRED.
7. TEMPORARY SILTATION TRAPS (TST) AND DIVERSION SWALES SHALL BE INSTALLED AS NECESSARY DURING CONSTRUCTION. ALL DEWATERING DISCHARGE AND CONSTRUCTION RUNOFF SHALL BE DIRECTED TO THE TST'S. WASTEWATERS SHALL NOT BE DIRECTLY DISCHARGED TO STORM DRAINAGE WITHIN THE SITE OR IN THE ROAD. AT ALL TIMES DURING CONSTRUCTION, THE TST'S AND SWALES SHALL BE MAINTAINED TO CONTROL RUNOFF AND PREVENT SEDIMENT DISCHARGE.

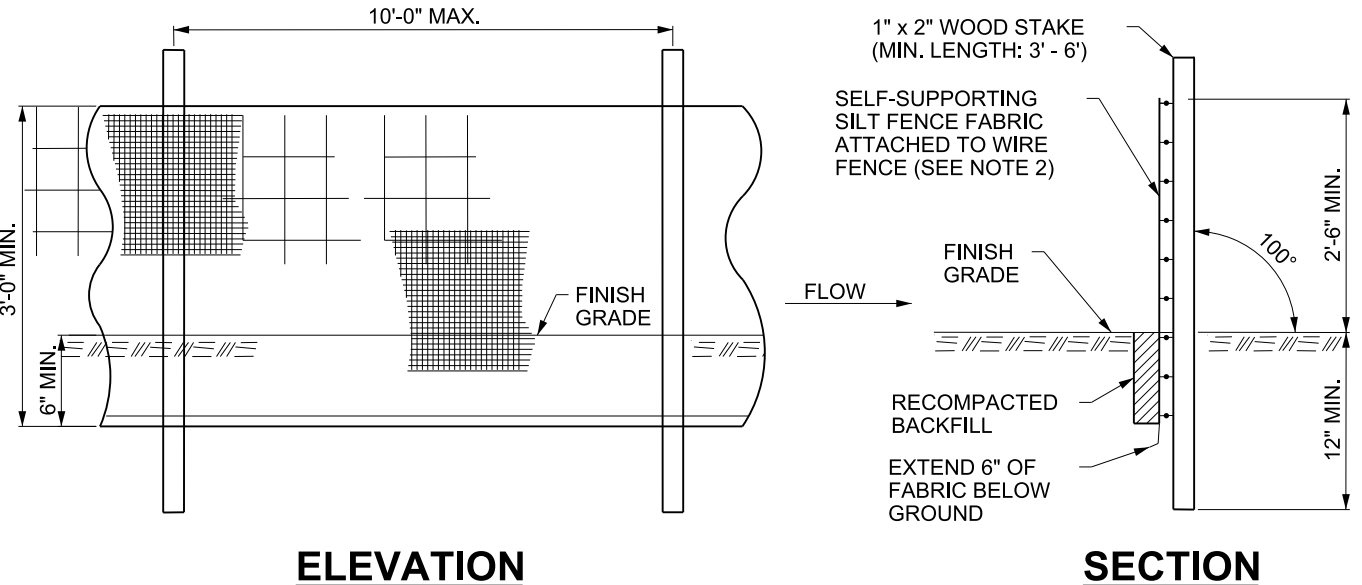
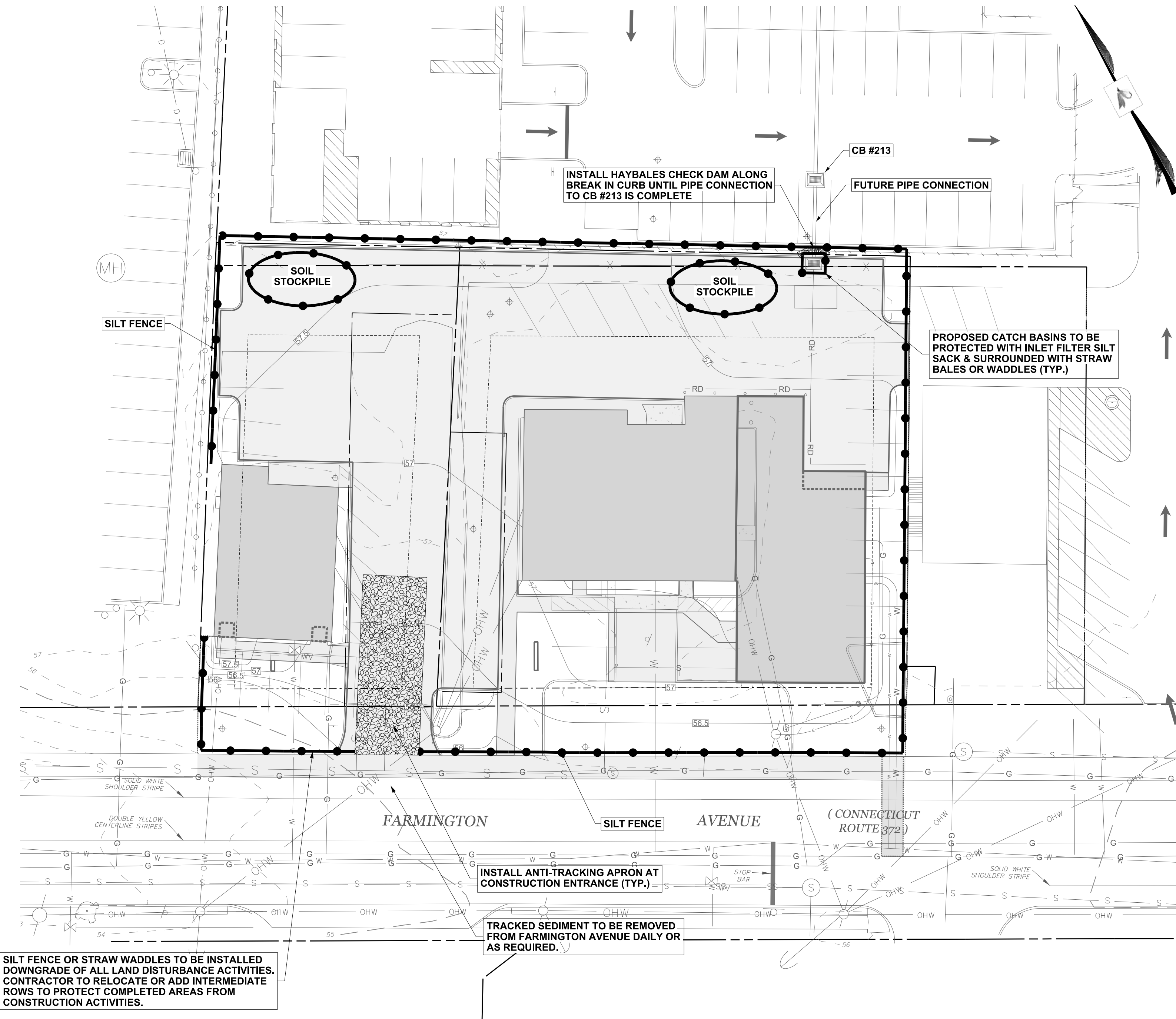
EROSION & SEDIMENT CONTROL NOTES:

1. CONSTRUCTION WILL COMMENCE IN THE SPRING 2021 AND BE COMPLETED IN 2022, WEATHER PERMITTING.
2. E&S CONTROL MEASURES SHALL BE INSTALLED AS SHOWN ON THE PLANS OR DIRECTED BY THE TOWN OR ENGINEER.
3. ALL E&S CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL", DATED 2002, AS AMENDED AND THE TOWN OF BERLIN.
4. ALL EROSION CONTROL DEVICES SHALL BE MAINTAINED OR REPLACED BY THE CONTRACTOR DURING THE CONSTRUCTION PERIOD AS NECESSARY OR AS REQUIRED BY THE ENGINEER OR THE TOWN. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF DEEMED NECESSARY OR REQUIRED BY THE ENGINEER OR THE TOWN.
5. SEDIMENT REMOVED FROM ANY CONTROL STRUCTURES SHALL BE DISPOSED OF IN A MANNER CONSISTENT WITH THE PLAN.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR IMPLEMENTING ALL E&S CONTROL DEVICES AS SHOWN ON THESE PLANS OR AS DIRECTED BY THE ENGINEER OR TOWN.
7. ALL DISTURBED AREAS ARE TO BE RAKED, SEEDED AND FERTILIZED PER "TURF ESTABLISHMENT" SPEC. IN CTDOT FORM 817.
8. AREAS OUTSIDE OF PAVED AREAS, WALKS, AND BUILDINGS ARE TO RECEIVE A MINIMUM 4" OF TOPSOIL.
9. THE FOLLOWING DATES FOR SEEDING SHALL BE USED: SPRING: APRIL 15 TO JUNE 15, FALL: AUGUST 15 TO SEPTEMBER 15
10. GRASS SEED MIXTURES SHALL BE APPLIED AT A RATE NO LESS THAN 100LBS PER ACRE OR AS RECOMMENDED BY MANUFACTURER.
11. TEMPORARY GRASS SEEDING, IF NECESSARY, SHALL BE PERENNIAL RYE GRASS APPLIED AT A RATE OF 100 LBS. PER ACRE.

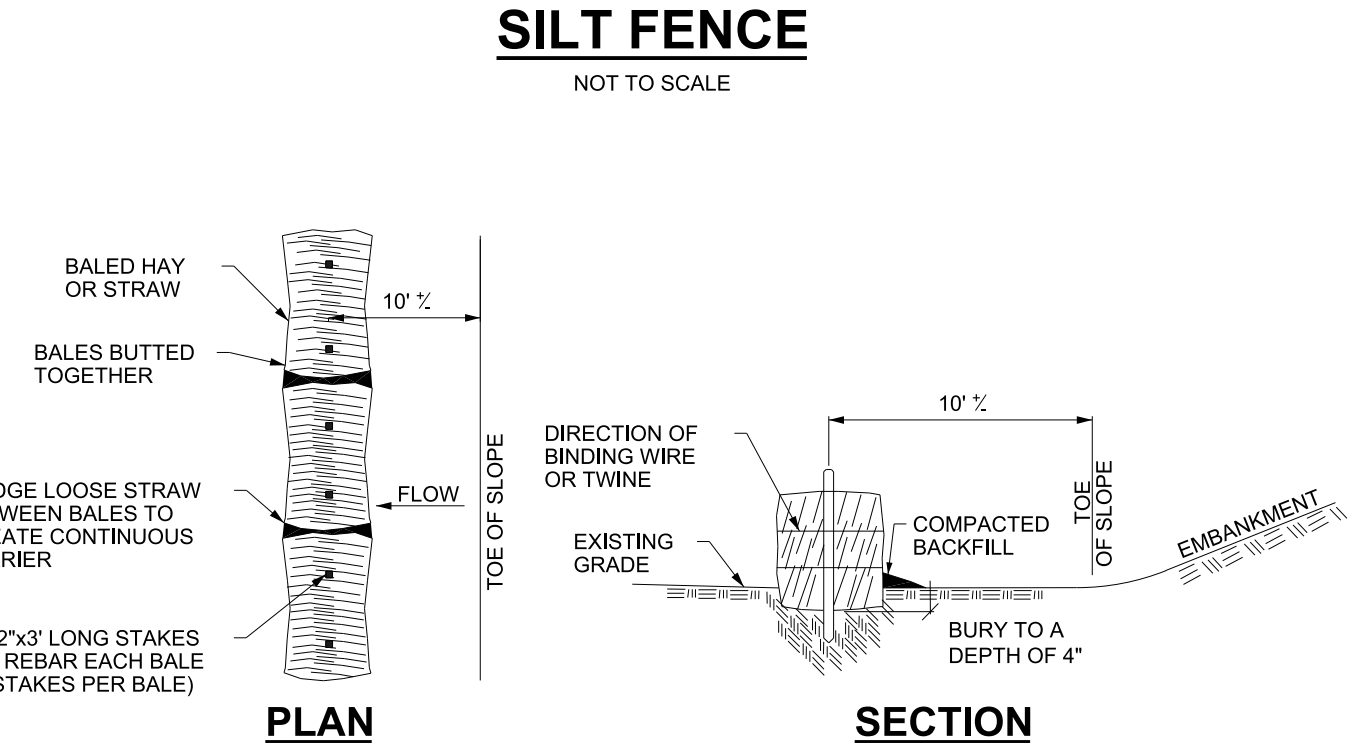
INSPECTION AND MAINTENANCE:

REGULAR INSPECTION AND MAINTENANCE IS CRITICAL FOR THE EFFECTIVENESS OF E&S CONTROLS. THE RESPONSIBLE PARTY SHALL IMPLEMENT THE FOLLOWING MEASURES THROUGHOUT THE CONSTRUCTION PERIOD UNTIL THE SITE IS STABILIZED.

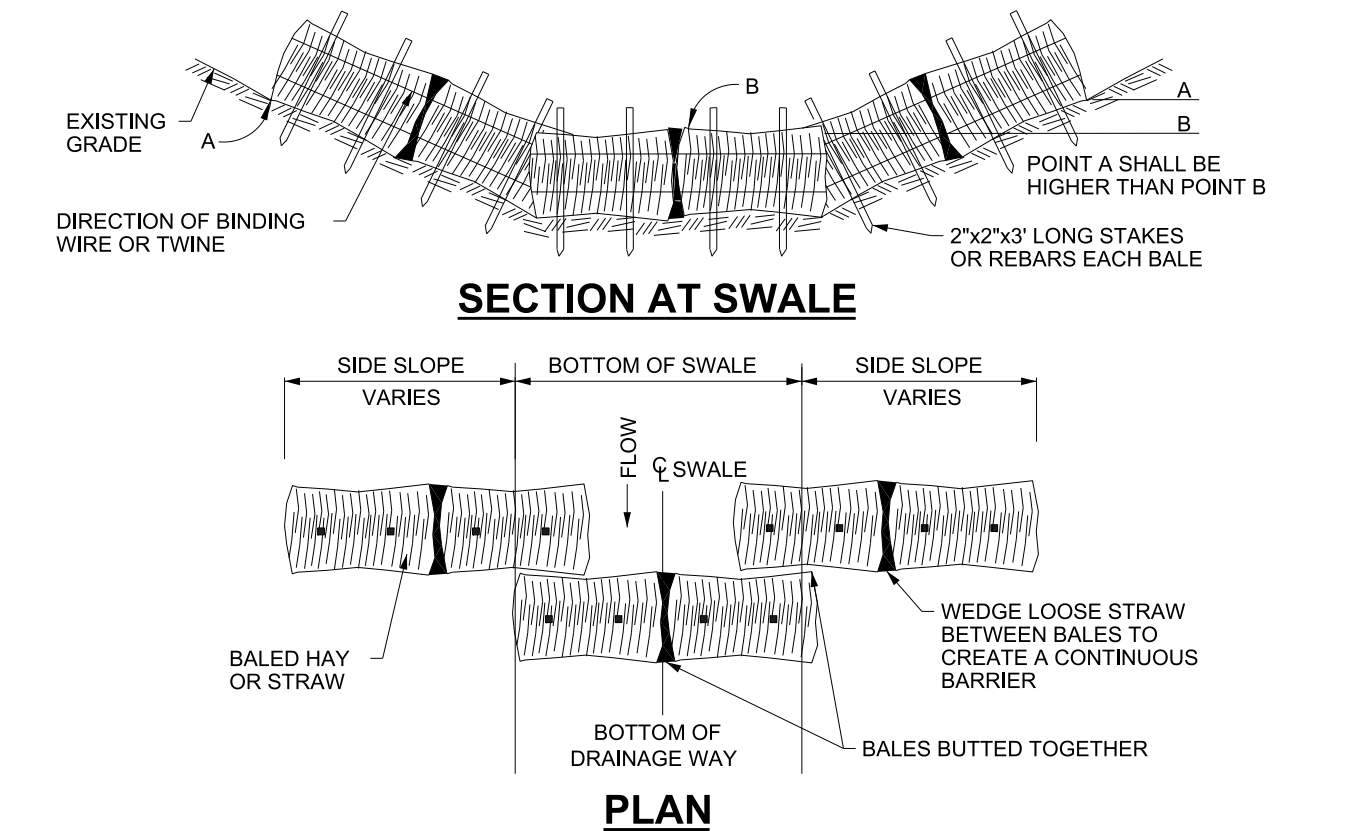
1. PRIOR TO A MAJOR STORM IN WHICH THE NOAA ISSUES WARNINGS OF FLOODING, SEVERE WEATHER CONDITIONS OR EFFECTS, ALL E&S CONTROLS SHALL BE INSPECTED, MAINTAINED, REPAIRED AND/OR CLEANED TO ENSURE THEY ARE IN PROPER WORKING ORDER.
2. ALL E&S CONTROLS SHALL BE INSPECTED, REPAIRED, AND CLEANED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES
3. ALL STORMWATER STRUCTURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAINFALL EVENTS GREATER THAN 0.1 INCHES AND CLEANED AS FOLLOWS:
- A. CATCH BASINS - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ DEPTH OF SUMP
- B. SWALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ¼ DEPTH
- C. DEWATERING BASINS / TST'S - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ CAPACITY
4. THE FOLLOWING ROUTINE INSPECTION AND MAINTENANCE SCHEDULE SHALL BE IMPLEMENTED:
- A. FARMINGTON AVENUE SHALL BE INSPECTED DAILY AND TRACKED MATERIALS SWEEPED.
- B. TEMPORARY CONTROLS, INCLUDING ANTI-TRACKING APRON, SILT FENCE, SILT SACKS, & STRAW BALES SHALL BE INSPECTED WEEKLY AND CLEANED AS FOLLOWS:
- i. ANTI-TRACKING APRON - REPLENISH OR REPLACE STONE WHEN NECESSARY TO ENSURE SUFFICIENT CAPTURE OF SEDIMENTS WITHIN VOIDS
- ii. SILT FENCE - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ THE HEIGHT (MAX.)
- iii. SILT SACKS - CLEAN PER MANUFACTURER'S RECOMMENDATIONS
- iv. STRAW BALES - REMOVE COLLECTED SEDIMENT WHEN LEVELS REACH ½ THE HEIGHT (MAX.)
5. ALL STORMWATER STRUCTURES SHALL BE CLEANED AFTER REMOVAL OF E&S CONTROLS.



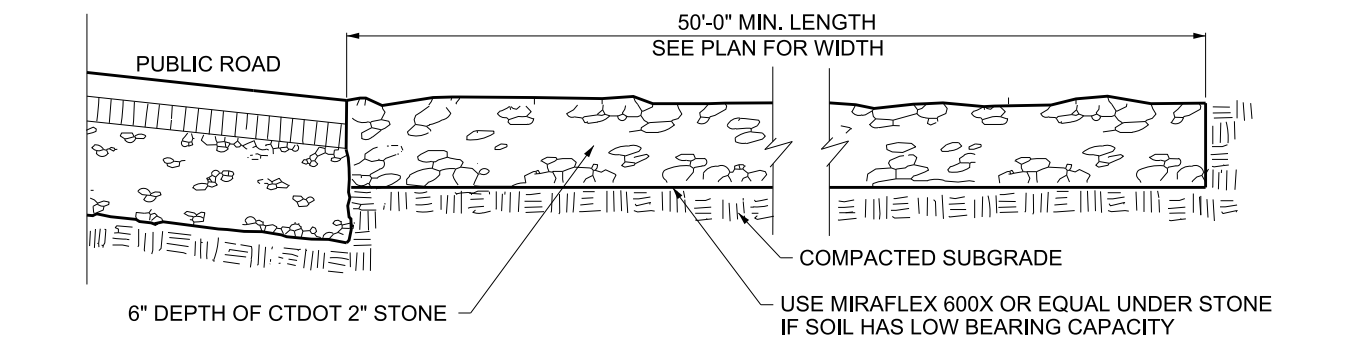
- NOTES:
1. INSTALL SILT FENCE & WOOD STAKES AS RECOMMENDED BY MANUFACTURER.
2. SILT FENCE SUBJECT TO HEAVY LOADS SHALL BE REINFORCED WITH FARM FENCING & STEEL POSTS (0.5 # STEEL L.F.). THE MINIMUM POST LENGTH SHALL BE 5'-0\"/>



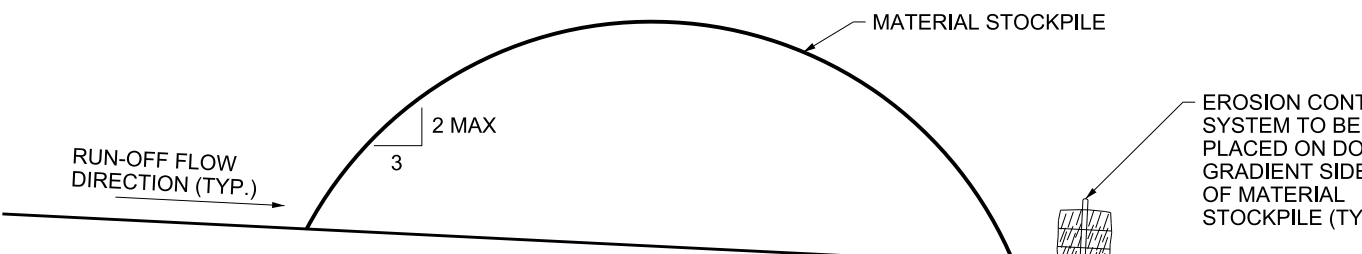
HAY BALES AT TOE OF SLOPE
NOT TO SCALE



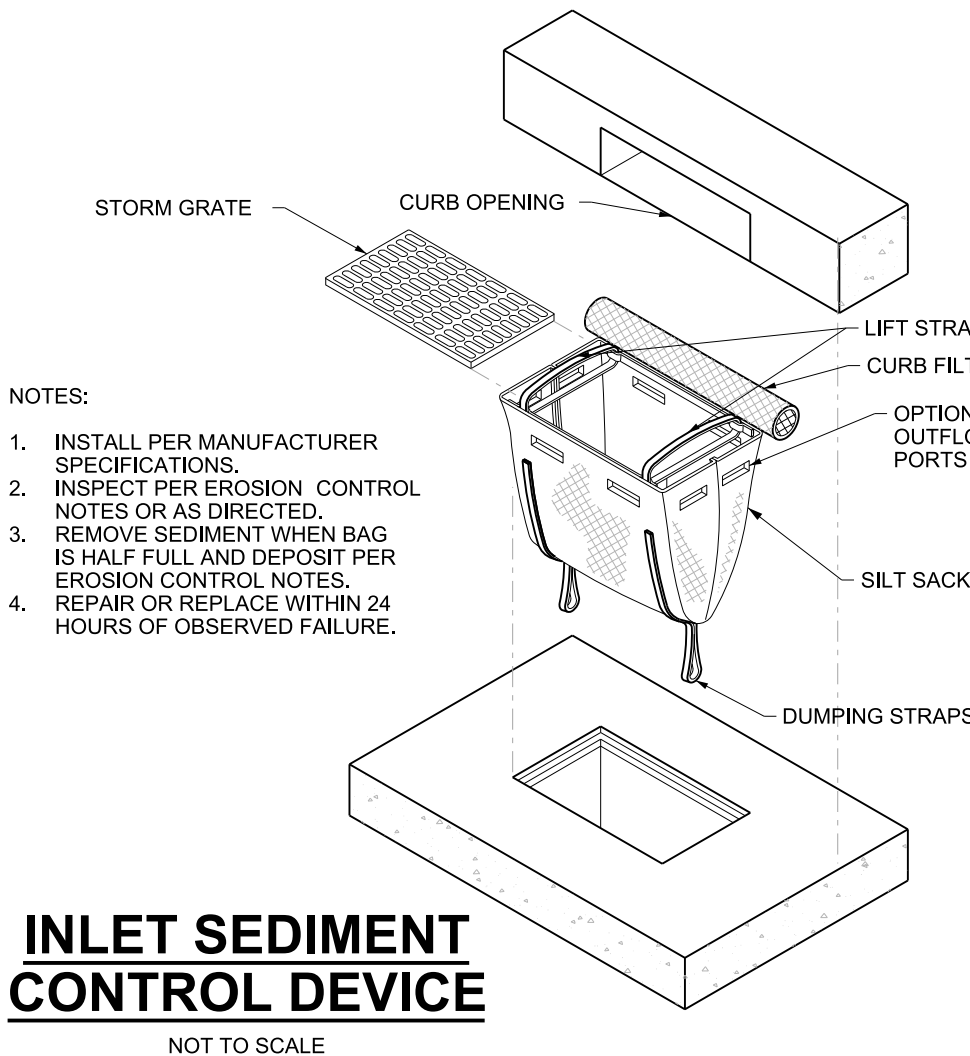
HAY BALES AT SWALE
NOT TO SCALE



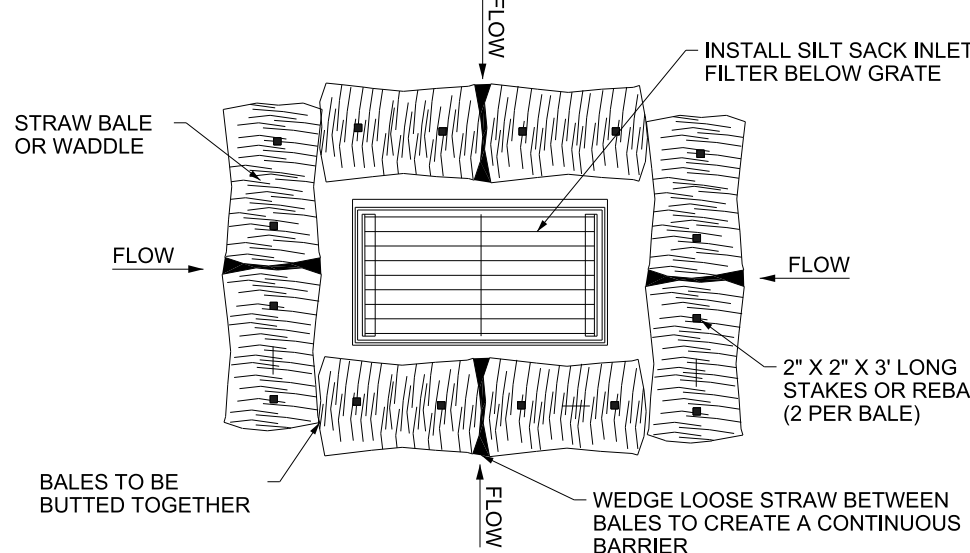
ANTI-TRACKING PAD DETAIL
NOT TO SCALE



SOIL STOCKPILE DETAIL
NOT TO SCALE



INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE



HAY BALES AROUND CATCH BASIN
NOT TO SCALE

SCALE: 1" = 20'

PROJECT NUMBER:

00105 - 001

CONTACT INFORMATION

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LEBANON, CONN 06249

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PROFESSIONAL SEAL

861 & 873 FARMINGTON AVENUE
SITE MODIFICATION PLANS

PREPARED FOR
NEWPORT REALTY GROUP & COCCOMO BROTHERS ASSOCIATES

EROSION & SEDIMENTATION CONTROL PLAN

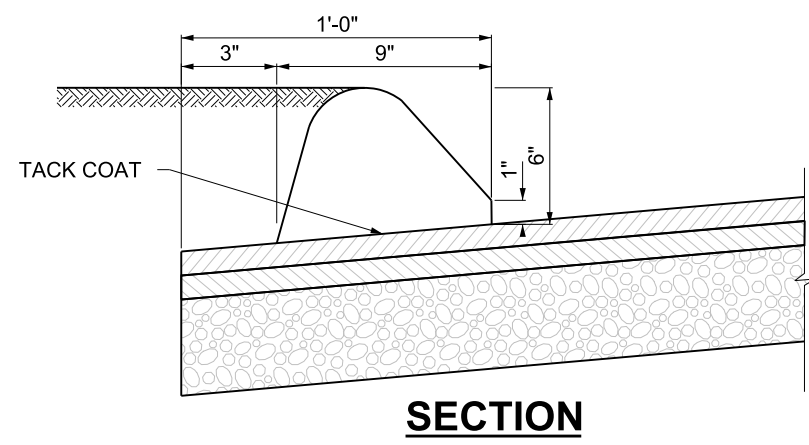
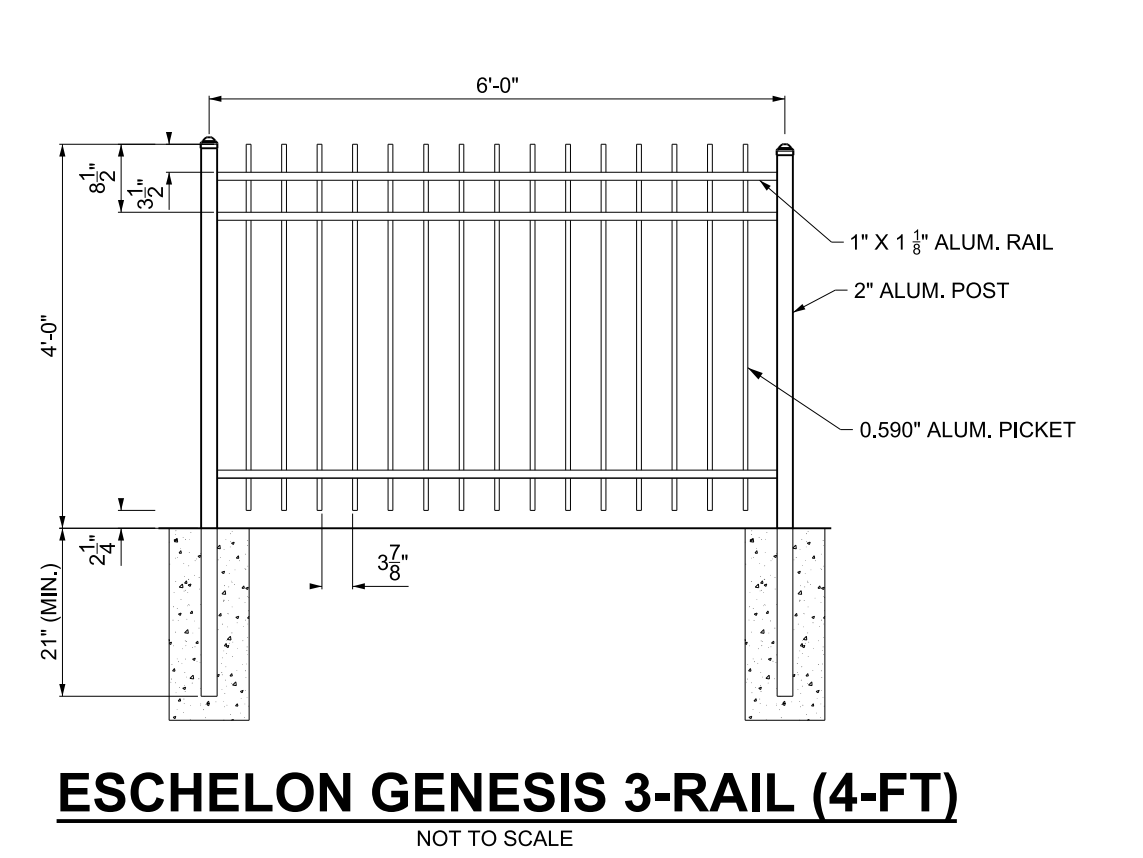
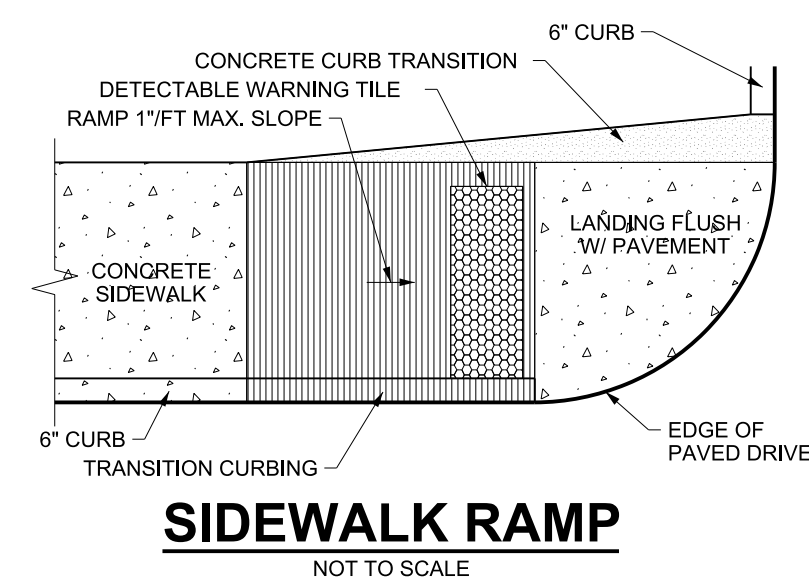
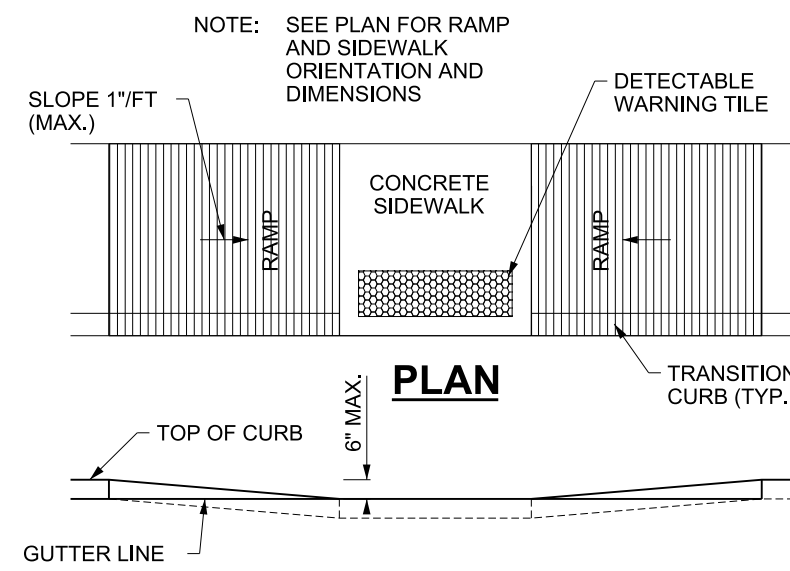
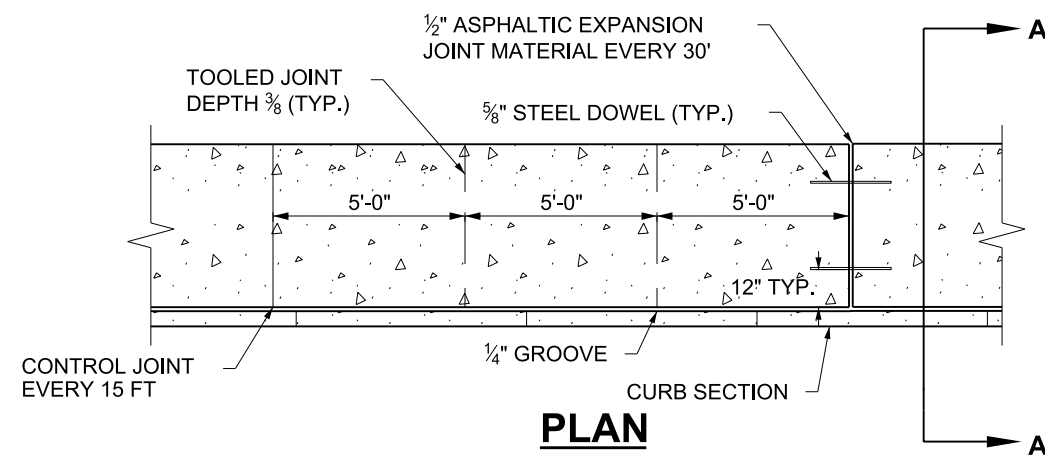
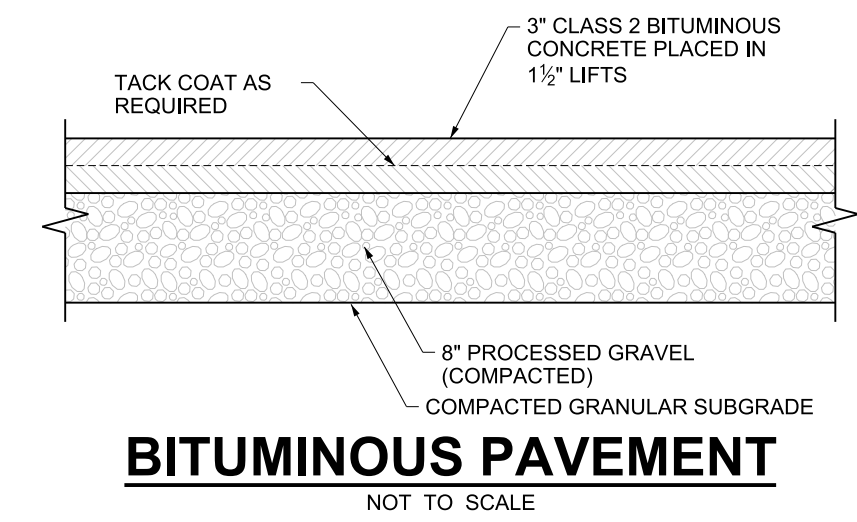
REVISION SUMMARY

DATE	DESCRIPTION

SHEET 4 OF 6

DATE 3/17/21

REVISED



NOTES:
1. CURBING SHALL BE MACHINE EXTRUDED.

BITUMINOUS CONCRETE CURB (BCLC)

NOT TO SCALE

