



# Town of Berlin

## Planning and Zoning Department

240 Kensington Road  
Berlin, Connecticut 06037  
www.town.berlin.ct.us

### SITE PLAN APPLICATION

☒ Site Plan

☐ Site Plan Amendment

Project Name: Proposed commercial development

Property Owner(s): Priority, LLC

Project Address\*: Orchard Road

Map: 21-4 Block: 115 Lot: 20A Zone(s): PI-2 Lot Area: 8.52 Acres

**Please select all relevant items below:**

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of \_\_\_\_\_
- ☐ Amendment to Zoning Regulations – Section(s) \_\_\_\_\_
- ☐ Amendment to Zoning Map – Zone(s) affected \_\_\_\_\_
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

### Applicant Information

Name: Priority, LLC Firm Name: N/A  
Street Address: 321 Allen Street City: New Britain ST: CT Zip: 06053  
Email: paulrpriorjr@gmail.com Phone: (860) 827-8504  
Signature: *Paul, Pri* Date: 11/16/2021

### Property Owner(s) Information (If Not the Applicant)

Name: \_\_\_\_\_ Principal: \_\_\_\_\_  
Street Address: \_\_\_\_\_ City: \_\_\_\_\_ ST: \_\_\_\_\_ Zip: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_

\*Letter of Authorization Required

\*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

Town of Berlin  
Received

MAR 16 2021

**This Site Plan Involves:**

☐ Additions      ☐ Alterations      ☐ Demolition      ☒ New Construction

**Description of Project\*:** Construction of two (2) new buildings with driveways and parking areas. buildings to be connected to public water and sanitary sewer.

\_\_\_\_\_

\_\_\_\_\_

\*If more space is needed, then please provide separate narrative document.

**SITE PLAN ZONING STATISTICS**

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
<b>USE(S)</b>	<u>Vacant</u>	_____	_____
	_____	_____	_____
	_____	_____	_____
<b>COMMERCIAL</b>			
Gross Floor Area	_____	<u>24,400</u>	_____
Parking Spaces	_____	<u>59</u>	<u>51</u>
<b>INDUSTRIAL</b>			
Gross Floor Area	_____	_____	_____
Parking Spaces	_____	_____	_____
<b>RESIDENTIAL</b>			
Number of Units	_____	_____	_____
Number of Bedrooms	_____	_____	_____
Gross Floor Area	_____	_____	_____
Parking Spaces	_____	_____	_____
<b>OTHER USES</b>			
Gross Floor Area	_____	_____	_____
Parking Spaces	_____	_____	_____

**To be completed by P&Z staff only:**

Fee Paid \$ 2,000 (Refer to current Fee Schedule) check 1001

Received by: fms

**Town of Berlin  
Received**

**MAR 16 2021**



# Town of Berlin

## Planning and Zoning Department

240 Kensington Road  
Berlin, Connecticut 06037  
www.town.berlin.ct.us

### SPECIAL PERMIT APPLICATION

(Any Special Permit Application shall be submitted simultaneously with a Site Plan Application)

Project Name: Proposed commerical development  
Property Owner(s): Priority, LLC  
Project Address\*: Orchard Road  
Map: 21-4 Block: 115 Lot: 20A Zone(s): P1-2 Lot Area: 8.52 Acres

#### Applicant Information

Name: Priority, LLC Firm Name: N/A  
Street Address: 321 Allen Street City: New Britain ST: CT Zip: 06053  
Email: paulprior@gmail.com Phone: (860) 827-8504  
Signature: [Signature] Date: April - 13 - 21

#### Property Owner(s) Information (If Not the Applicant)

Name: \_\_\_\_\_ Principal: \_\_\_\_\_  
Street Address: \_\_\_\_\_ City: \_\_\_\_\_ ST: \_\_\_\_\_ Zip: \_\_\_\_\_  
Email: \_\_\_\_\_ Phone: \_\_\_\_\_

\*Letter of Authorization Required

Special Permit required pursuant to section(s):

Section VII.E.3.m

\*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

To be completed by P&Z staff only:

Fee Paid \$ 280.- (Refer to current Fee Schedule)

Received by: fms - check # 108

Town of Berlin  
Received

APR 13 2021

Planning & Zoning Department  
Berlin, Connecticut

## **DISCUSSION OF PROJECT**

**Site Plan Application to the Town of Berlin Planning and Zoning Commission**

***Proposed Commercial Development for  
PRIORITY, LLC***

Lot 20A / Block 115/Map 24-1  
Orchard Road, Berlin

Date: March 8, 2021

The applicant requests site plan approval to develop its property at the end of Orchard Road. The property is near the intersection with the Berlin Turnpike (State Routes 5 & 15) and is 8.52 acres in size. The property lies within a PI-2 (Planned Industrial -2) zone. And is presently vacant. Its last use of the site was the location of temporary green houses for Sunnyborder Nursery.

The site is served by public water (along Orchard Road) and sanitary sewer (through the rear of the site) supplied by the Berlin Water Control Commission. The front portion of the site along Orchard Road is cleared of trees and is relatively flat. The far rear of the site is wooded. The site does retain a 50-foot strip that fronts onto Toll Gate Road. That access strip will not be utilized in this proposal. The property does abut property that lie with the R-43 Residential zone. A 50' landscaped buffer is required within the applicant's property from this zone and will be maintained,

The application plans to construct two (2) buildings for a total of 25,400 square feet of commercial spaces. The developed will be broken into two (2) phases.

Phase 1 will consist of a 14,000 square foot building lying to the rear of the development area. This building will be the future of Priority Electric. The first phase will include the construction of the entry and circulation driveways, a parking lot, site drainage (including the stormwater management area and stormwater infiltration swale), buffer plantings, landscaping, and utility connections.

Phase 2 will finish the project with the construction of a 11,400 square foot building, an additional parking area, storm drainage connections, landscaping, and utility connections.

The proposed drainage design will replicate the pre-development conditions. With the site being relatively level, and the existing soils being sand and sandy, fine gravels, groundwater infiltration will be utilized as part of the design. A groundwater infiltration swale will be installed to minimize surface runoff at the front of the site which that flows toward the Berlin Turnpike. The remainder of the site will flow to the rear of the site. Sections of the storm drainage will be routed through infiltration trenches with perforated pipe to provide groundwater infiltration. The stormwater outlet will provide for a net zero increase in site runoff and discharge to an existing surface drainage collection path.

**Town of Berlin  
Received**

**APR 13 2021**

**Planning & Zoning Department  
Berlin, Connecticut**

The applicant has had a previous informal discussion with the Commission late last year. At the time, questions were raised regarding the location of the driveway curb-cut along Orchard Road, add its proximity to the intersection of the Berlin Turnpike. The submitted site plan addresses this question by moving the driveway curb-cut to the southwest. This will maximize the queue length distance away from the intersection light, as well as lengthen the sight distance to view vehicles exiting the Turnpike to the north.

During construction, all proper and required erosion and sedimentation control measure will be utilized.

**Town of Berlin  
Received**

**APR 13 2021**

**Planning & Zoning Department  
Berlin, Connecticut**

March 31, 2021

Updated April 14, 2021 (Conservation Commission)

**TOWN OF BERLIN  
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS**

**APPLICATION:** Site Plan – Two Buildings for a Total of 25,400 s.f. of  
Commercial Spaces  
**APPLICANT:** Priority, LLC  
**LOCATION:** Map 21-4; Block 115; Lot 20A Orchard Road  
**AGENDA:** May 6, 2021

*To the Applicant:*

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at [mgiusti@town.berlin.ct.us](mailto:mgiusti@town.berlin.ct.us) or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*
- 

Board of Police Commissioners

See Police Chief's comments

Police Chief

See attached

Health District

No comment

Fire Marshal

Fire Department access and hydrant location o.k.

Building Official

Proper permits with approval from Planning and Zoning

Berlin Water Control

- Applicant will be required to take out water and sewer permits – includes connection fees and assessments. Berlin Water Control is the water/sewer service.
- 

Conservation Commission

- No comment

*Emailed to applicant: April 14, 2021*

**NOTE: THE PLANS FOR THIS APPLICATION ARE MARKED BERLIN TURNPIKE -- TO BE CORRECTED TO ORCHARD RD.**

March 17, 2021

**PLANNING & ZONING DEPARTMENT  
PROJECT REVIEW SHEET**

**APPLICATION:** Site Plan – Two Buildings for a Total of 25,400 s.f. of Commercial Spaces

**LOCATION:** Map 21-4; Block 115; Lot 20A Orchard Road

**APPLICANT:** Priority, LLC

**AGENDA DATE:** ~~May 6, 2021~~

**Note:** If possible, please return the plans with your comments. Thank you.

Department/District:

☐ Town Planner  
☐ Assistant Town Planner/ZEO  
☐ Engineering  
☐ Kensington Fire District  
☐ Worthington Fire District  
☐ Board of Education  
☐ Conservation Commission

☐ Building Official  
☐ Berlin Water Control  
☐ Health District  
☐ Fire Marshal  
☐ Board of Police Commissioners  
☒ Inland Wetlands  
☐ Police Chief

*larger Plan Available*

☐ No Comment

☒ Comments:

*REQUEST CERTIFIED STATEMENT  
IDENTIFYING THERE WILL BE NO ACTIVITY  
WITHIN 50' OF FIELD LOCATED WETLANDS.*

*SZA*

Signature/Date

*JPH 4/26/21*

*emailed  
4/27/21*

# BERLIN POLICE DEPARTMENT

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*Officer Thomas Bobok - Traffic Bureau*  
*Email: [tbobok@Berlinpd.org](mailto:tbobok@Berlinpd.org) Phone: 860-828-7082*

3/22/2021

To: Chief Klett

From: Officer Tom Bobok

*TM #239*

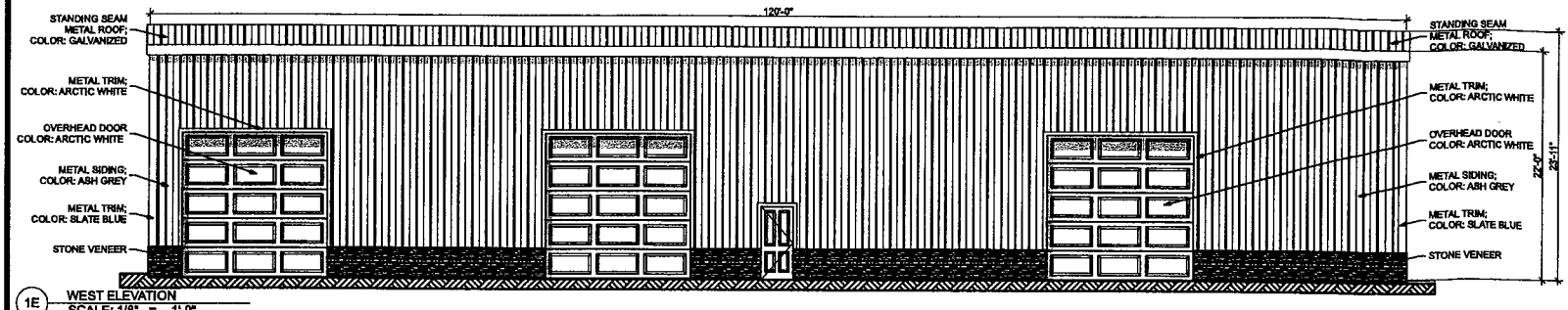
Re: Priority, LLC Proposed development

I have reviewed the information you sent regarding the proposed development on Orchard Road by Priority, LLC. The proposed number of handicapped parking spaces meets the requirements of Section 17-52 of the Town Code. The spaces should be designed, marked and signed in compliance with state laws and local ordinances.

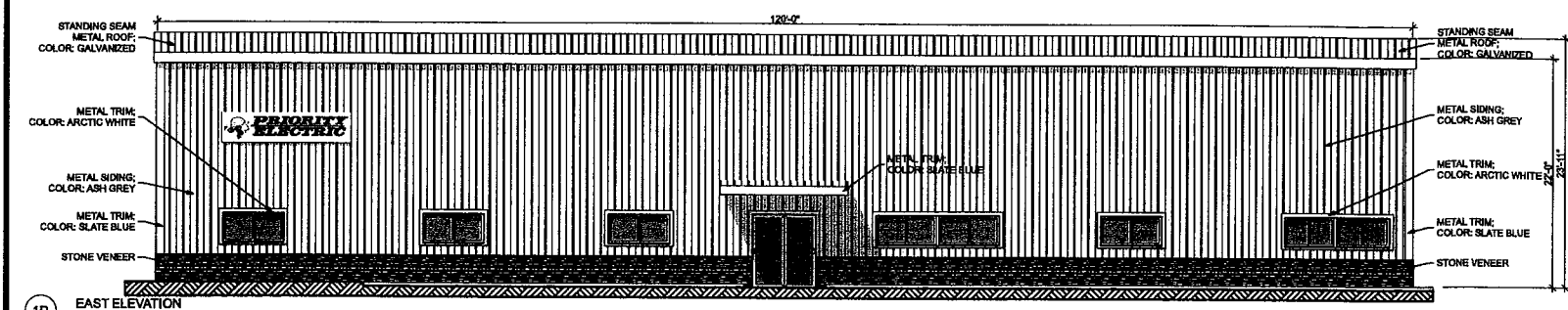
Also, the plans indicate use of a stop sign and painted stop bar at the exit of the driveway "...as may be required by Berlin Police Department." I would recommend that the sign and painted stop bar be included in the finished project.

I hope this helps and I am always available for any questions.

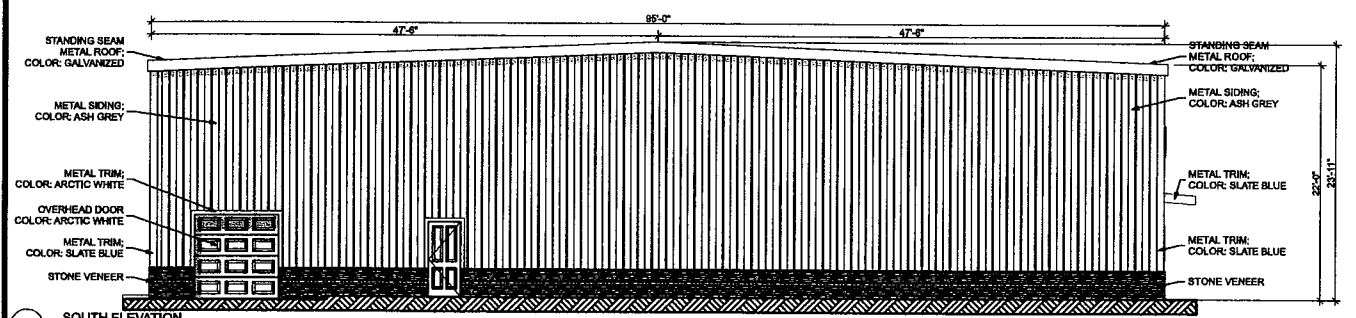




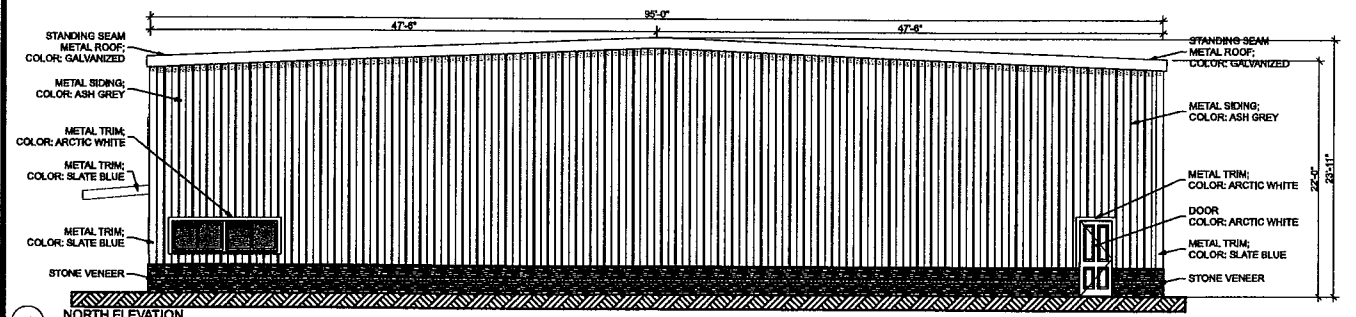
1E WEST ELEVATION  
SCALE: 1/8" = 1'-0"



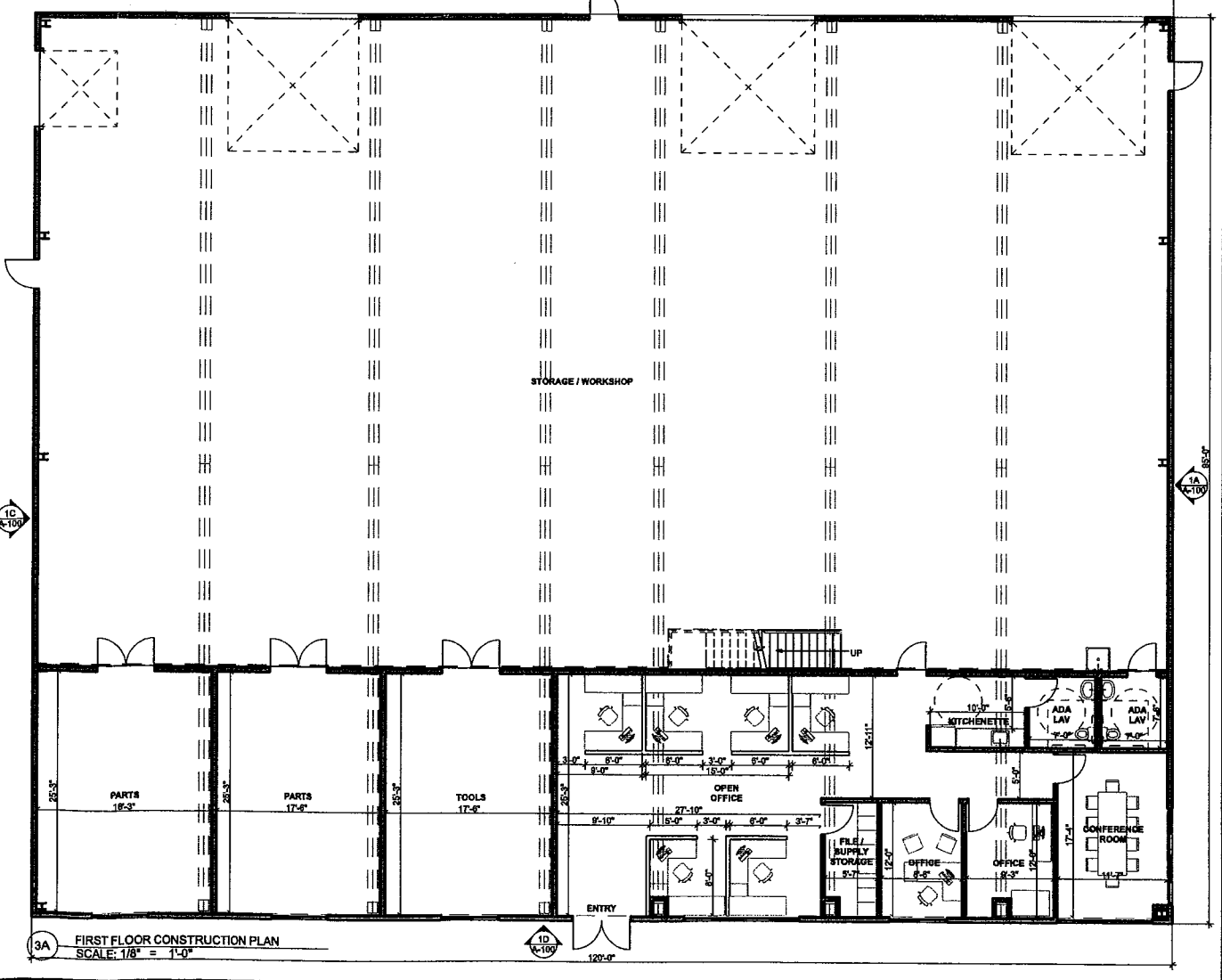
1D EAST ELEVATION  
SCALE: 1/8" = 1'-0"



1C SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



1A NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

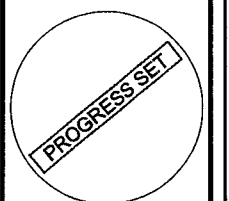


3A FIRST FLOOR CONSTRUCTION PLAN  
SCALE: 1/8" = 1'-0"

**PEGARCH**  
ARCHITECTURE & DESIGN SERVICES  
236 MAIN ST. PORTLAND, CT 06480  
860.740.5123  
PEGARCH.COM

New Construction  
Priority Electric  
Parcel 21-4-115-20A Berlin Township  
Berlin, CT 06037

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SHEET NAME  
ZBA DRAWINGS

SHEET ID

A-100

Planning & Zoning Department  
Berlin, Connecticut

RECEIVED  
MAR 30 2021

Parcel 21-4-115-20A Berlin Turnpike  
Berlin, Connecticut



S1	Property & Topographic Survey Map
C1	Overall Layout Plan
C2	Site Layout Plan
C3	Utility & Grading Plan
ES1	Soil Erosion & Sedimentation Control Plan
ES2	Soil Erosion & Sediment Control Details
D1 & D2	Construction Standards & Details
DB1	Detention Basin Details

Priority, LLC  
381 Allen Street  
New Britain, CT 06053

Priority, LLC  
381 Allen Street  
New Britain, CT 06053

**Engineering & Surveying**  
Harry E. Cole & Son  
P.O. Box 44 - 876 South Main Street  
Plantsville, Connecticut 06489  
Tel. (860) 628-4484 Fax (860) 620-0196

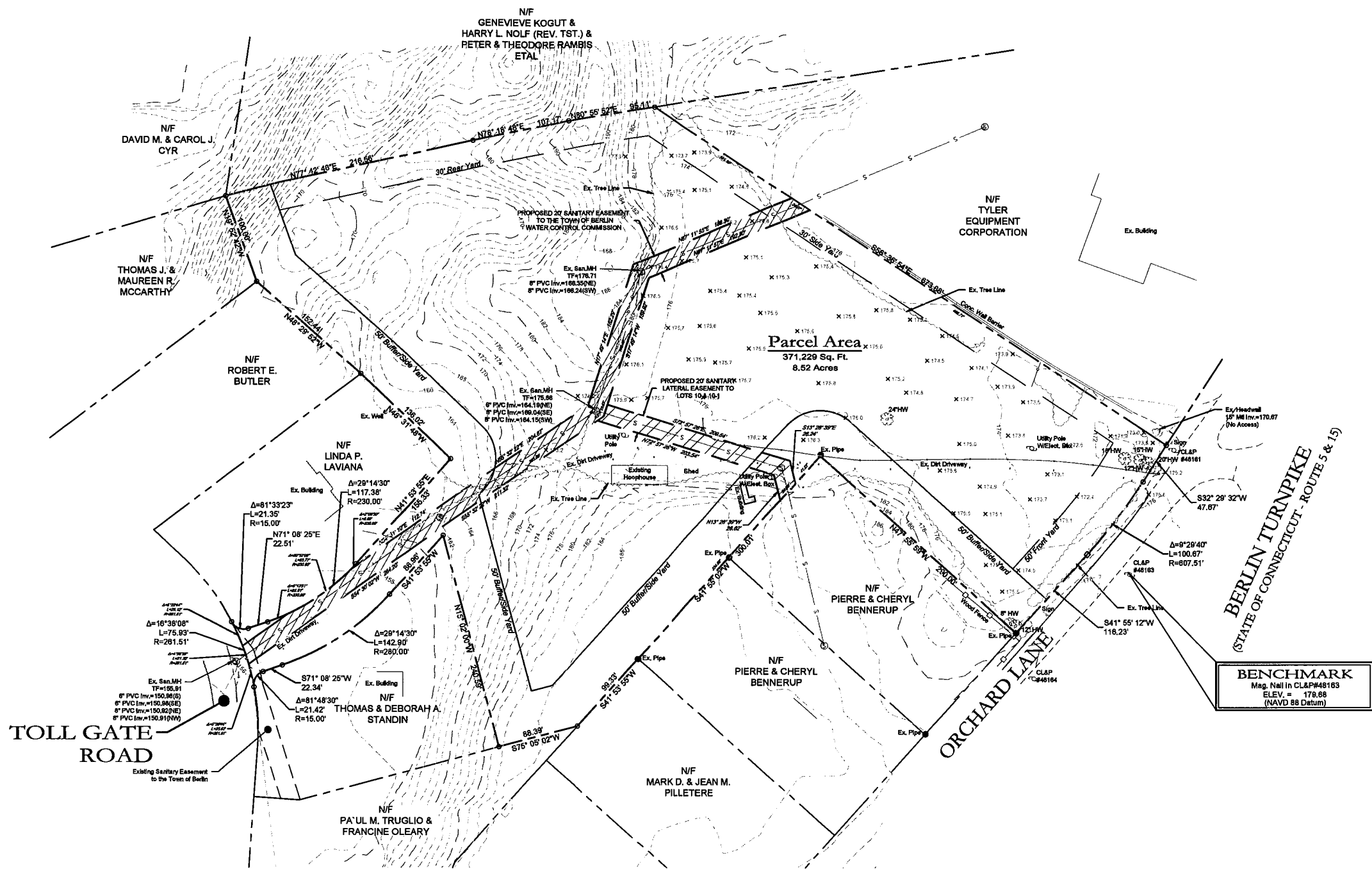
Consoil, LLC - Cynthia Rabinowitz  
P.O. Box 365  
Bethlehem, Connecticut 06751  
Tel. (203) 266-5595 Fax (203) 266-6227

March 15, 2021

Planning & Zoning Department  
Berlin, Connecticut

# LEGEND

- Existing utility pole
- Existing light pole
- Existing fire hydrant
- Existing water valve
- Existing gas valve
- Existing underground pipe
- Existing edge of pavement
- Existing bituminous concrete lip curb
- Existing well
- Existing catch basin
- Existing drainage manhole
- Existing sanitary manhole
- Existing utility box
- Existing contour
- Existing spot elevation
- Existing iron pin
- Existing drill hole
- Existing monument



## SURVEY NOTES:

- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type of survey performed: Property & Topographic Survey
- Boundary determination category: Resurvey
- Class of accuracy:  
Horizontal: A-2  
Vertical: T-2 & D
- The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an interval not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
- Map References:  
a) "Proposed Subdivision Section II, Map Showing Property of Pierre Bennerup, Toll Gate Road - Berlin, Connecticut; Scale: 1"=50'; Dated: Oct. 7, 1988; Last Revised: 10/23/88 by Hewitt Engineering P.C., Filed As Map 2075 at the B.L.R."
- Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
- Zone: PI - 2 (Planned Industrial - 2)
- Total area: 371,229 Sq. Ft. - 8.52 Acres
- Owner: Priority, LLC
- Town of Berlin, Assessors Map #21-4 Block #115 Lot #20A
- Filed in Volume 781, Page 38 of the Town Clerk's office.
- Contour interval is two(2) foot.
- Existing contours generated from supplemental field topography and existing mapping.
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-922-4455 prior to any excavation operations.





DATE		REVISION	
To the best of my knowledge and belief, this map is substantially correct as noted hereon.			
Stephen M. Giudice, L.S.		Reg. No. #70145	
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO		F.B. #:	

PROPERTY & TOPOGRAPHIC SURVEY MAP	
Prepared For / Owner <b>PRIORITY ELECTRIC</b>	
Parcel 21-4-115-20A Berlin Turnpike Berlin, Connecticut	
February 4, 2021	Scale: 1" = 40'
40' 20' 0 20' 40'	
PROJECT #: 2051	

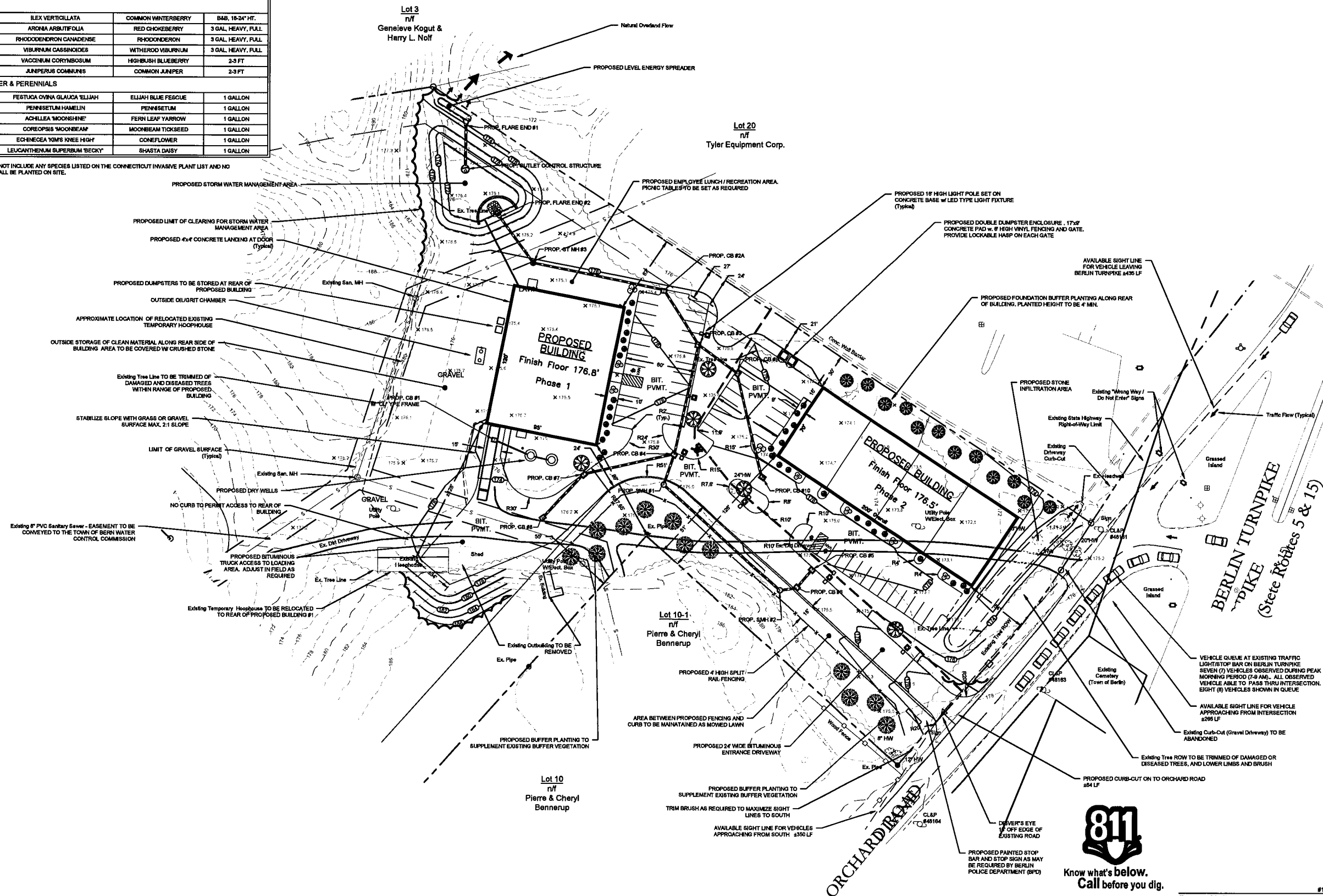
**cole**  
HARRY E. COLE & SON  
engineering, surveying, planning.  
878 South Main Street  
P.O. Box 44  
Plainville, CT 06061-0044  
Tel: (860) 922-4454  
Fax: (860) 922-0198  
www.hccole.com



DATE: 03/15/2021  
DRAWN BY: BNB  
PROJECT: 2051  
SHEET: C2  
TITLE: SITE LAYOUT PLAN  
SCALE: 1"=40'

PLANT LIST				
SYM.	QTY.	SCIENTIFIC NAME	COMMON NAME	CONDITION
SCREENING TREES				
	XX	CUPRESSUS X LEYLANDII	LEYLAND CYPRESS	8 & 8, 3" CAL.
		PICEA RUBENS	RED SPRUCE	8 & 8, 3" CAL.
		THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	8 & 8, 3" CAL.
SHADE TREES				
	XX	QUERCUS RUBRA	RED OAK	8 & 8, 3" CAL.
		ACER RUBRUM	RED MAPLE	8 & 8, 3" CAL.
		TILIA TOMENTOSA	SILVER LINDEN	8 & 8, 3" CAL.
		PRUNUS PENNSYLVANICA	WILD RED CHERRY	8 & 8, 3" CAL.
SHRUBS				
	XX	ILEX VERTICILLATA	COMMON WINTERBERRY	B&B, 18-24" HT.
		ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL. HEAVY, FULL
		RHODODENDRON CANADENSE	RHODODENDRON	3 GAL. HEAVY, FULL
		VIBURNUM CASSINOIDES	WITHERED VIBURNUM	3 GAL. HEAVY, FULL
		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 FT
		JUNPERUS COMMUNIS	COMMON JUNIPER	2-3 FT
GRASS, GROUND COVER & PERENNIALS				
	XX	FESTUCA OVINA GLAUCA 'ELIJAH'	ELIJAH BLUE FESCUE	1 GALLON
		PENNISETUM HAMULIN	PENNISETUM	1 GALLON
		ACHILLEA 'MOONSHINE'	FURN LEAF YARROW	1 GALLON
		COREOPSIS 'MOONBEAM'	MOONBEAM TICKSEED	1 GALLON
		ECHINECEA 'KIMS KNEE HIGH'	CONEFLOWER	1 GALLON
		LEUCANTHEMUM SUPERBUM 'BECKY'	SHASTA DAISY	1 GALLON

1. THE ABOVE LIST DOES NOT INCLUDE ANY SPECIES LISTED ON THE CONNECTICUT INVASIVE PLANT LIST AND NO PLANT ON THIS LIST SHALL BE PLANTED ON SITE.



**cole**  
HARRY E. COLE & SON  
engineering, surveying, planning.

578 South Main Street  
P.O. Box 44  
Plainville, CT 06479-0044  
Tel: (860) 628-4434  
Fax: (860) 623-0196  
www.hecole.com

PROJECT NAME:

**PROPOSED  
COMMERCIAL  
DEVELOPMENT**  
Parcel 21-4-115-20A  
Berlin Turnpike  
Berlin, Connecticut

PREPARED FOR:

**PRIORITY, LLC**

Sheet Description:

**SITE LAYOUT PLAN**

Scale:  
40' 20' 0' 20' 40'  
1"=40'

Date: March 16, 2021

Project #: 2051

F.B. #:

Drawn By: BNB

Approved By: BNB

Date:	Descriptions:

Sheet #:

**C2**



Know what's below.  
Call before you dig.

Barton N. Bovee P.E.  
Reg. No. #13653  
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO





# SOIL EROSION AND SEDIMENT CONTROL NARRATIVE:

## A. PROJECT INFORMATION

1. Project Description - The project site consists of one 8.52 acre site at Parcel 21-4-115-20A Berlin Turnpike in Berlin, Connecticut.
2. Area Proposed Disturbance Due to Construction Activities - 3.92 Acres.
3. Phases of Development - Phase 1 & 2
4. Estimated Start of Construction - Summer 2021
5. Estimated Construction Completion Date - Fall 2023 (Estimated).

## B. SEQUENCE OF CONSTRUCTION

- The tentative sequence of construction events are as follows and activities noted by a "Capital Letter" may occur concurrently.
1. Conduct a pre-construction meeting with the OWNER, Contractor, Consultant Team, and Local, County and State agencies having jurisdiction over the project.
  2. Field stakeout the limits of all activities and install, at a minimum, a snow fence along construction limit lines along environmentally sensitive and tree protection areas. Silt fencing may be substituted where it coincides with this line, but only as approved by the OWNER. (A)
  3. Install all fences along all sides contiguous to wetlands, watercourses and property owned by others affected by the work. Refer to the Soil Erosion and Sedimentation Control Plan for locations. (A)
  4. After each rain storm monitor the sedimentation and erosion control structures, which may include riprap channels, sediment basins, plunge pools, etc. Routinely remove sediment during construction when controls exceed one half (1/2) their capacity; sediment shall be disposed of in an environmentally acceptable manner at an approved location. (A)
  5. Clear vegetation within project limits, except trees designated to remain or in question, as shown on the plans. The decision of how questionable trees are to be treated shall rest with the OWNER and coordinated through the local agency having jurisdiction as construction progresses. All trees and shrubs less than 6" in diameter, and not to remain, shall be chipped and stored on site for mulch. (A)
  6. Remove stumps and dispose of at a bulky waste site approved by the ENGINEER and local official having jurisdiction. Disposal of stumps within burial pits on-site shall be prohibited. (B)
  7. Construct all temporary sedimentation and erosion control structures, including, but not limited to: all fences, stone check dams, water breaks, and sediment traps/basins. All structures and their locations shall be approved by the ENGINEER or the Inland Wetlands Enforcement Officer. Prior to the next phase of construction. (B)
  8. Install drainage outlet pipe and temporary sediment basin along with temporary drainage diversions to sediment basins. If the proposed sediment basin is to be used as a temporary sediment trap/basin and an outlet control structure is to be installed, all outfalls and weirs are to be plugged water tight during construction. (B)
  9. Strip topsoil and subsoil materials as required and stockpile them at locations that will not adversely impact any down gradient wetlands. Stockpiles may be relocated to meet job conditions but are subject to the ENGINEER'S approval. Provide temporary erosion controls on the down slope of all stockpiles. (B)
  10. Strip proposed entrance surface areas to rough subgrade.
  11. Conduct all rough cuts and fills for proposed buildings and associated parking. Making sure that all fill material is free of brush, rubbish, large boulders, logs, stumps and other objectionable materials. (C)
  12. If blasting is required for any cuts, all proposed work is to be coordinated with all local officials having jurisdiction. The contractor is required to secure all permits for blasting operations in accordance with local and state regulations and conduct a pre-blast survey of surrounding properties. Rock spoils to be disposed of in an appropriate manner as the site development plan may show or is locally permitted. (C)
  13. Provide temporary seeding measures on all exposed soil which were damaged due to construction activities, are outside of construction traffic zones, and are not to be permanently restored or for a period in excess of thirty (30) days. Seeding and seedbed preparation are as specified herein or as indicated on the landscape plan. (C)
  14. Excavate for and install storm drainage systems. Install adequate ring sediment barriers at all catch basin locations. (C)
  15. Excavate for and install utilities. (C)
  16. Building construction may begin pending building permit and run concurrently with the remaining site activities. (C)
  17. Strip proposed roadway areas to pavement subgrade with processed stone and install binder course and curbing. Refer to details. (D)
  18. Construct all driveway entrance improvements as indicated on plans. (E)
  19. Complete final subgrading for all grassed and landscaped areas. Prepare subgrades for placing a minimum of four inches of topsoil. Place topsoil only when permanent seeding and landscaping can follow within a reasonable time frame. (E)
  20. Exercise final landscaping plan and permanent seeding to provide long-term stabilization. (E)
  21. Complete final paving with top course and paint surfaces with pavement markings. (E)
  22. Clean and remove all fill from within drainage structures and dispose of materials in an environmentally acceptable manner. (F)
  23. Remove temporary measures once permanent measures have matured as approved by the Municipality's

## GENERAL NOTES:

1. Additional notes and details are located on Sheet E82.
2. At all times during construction, the Developer/Contractor shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently vegetated so as to minimize wind blown sediment. The Developer/Contractor shall also be responsible for installing and maintaining all erosion control facilities shown herein.
3. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by rippling or disking along land contours until mulch, vegetation, or other permanent erosion control (BMP's) are installed. No soils in areas outside project street rights-of-way and future pavement shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g. watering, seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Town Engineer.
4. All inlets shall be cleaned prior to occupancy.
5. All slopes greater than 3:1 shall be protected with Erosion Control Blankets (E150 by North American Green or approved equal).
6. All erosion control measures shall remain intact and operational until the site has been stabilized and vegetation is thoroughly established. This may occur after completion of construction, therefore it is critical for the Developer, Contractor and/or Owner to understand the erosion control responsibilities and maintain the erosion control measures.
7. To minimize erosion of the sandy soils, vegetation shall be established immediately following completion of grading within each area. Vegetation may consist of temporary seeding or final lawn and seed.
8. If areas of work are not addressed by this plan or sediment and erosion issues arise in areas not covered by this plan, then the plan shall be augmented in the field. Contractor shall be responsible to insure no sediment or erosion problems exist upon abutting property. This may require additional barriers, mulches and bales.
9. All erosion and sediment control measures shall conform to the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control manual.
10. All Driveways shall incorporate the use of filter bags on discharge ends.

## STORMWATER MANAGEMENT MAINTENANCE SCHEDULE

### BERLIN, CONNECTICUT

The following are the required maintenance and monitoring procedures.

**Riprap and Discharge Areas** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and before September 15.

**Outlet Control Structures** - Shall be cleaned of all sediment, trash and debris and is to be inspected for structural integrity. These procedures to be conducted yearly between May 1 and September 15. Structures shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections. Repairs shall be executed immediately.

**Emergency Sediment** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and September 15. Repairs shall be executed immediately.

**Catch Basins** - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures to be conducted yearly anytime after May 1 and before September 15.

**Oil Water Separator** - Inspect monthly and clean as needed. Remove oil, grease, floatables and sediment with vacuum truck or catch basin cleaning equipment. At a minimum inspection and cleaning, if needed, should be conducted every six months.

**Swales** - All swales be cleared of all sediment deposits, invasive plant species and debris. Any erosion shall be repaired. These procedures to be conducted annually. Swales shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections.

**Water Quality Basin** - Basin shall be cleared of all sediment deposits, invasive plant species and debris. These procedures to be conducted yearly between May 1 and September 15. Basin shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

**Slopes** - Slope erosion control blankets and vegetation shall be inspected twice a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections. Any rills or channeling shall be repaired immediately.

**Parking Lot Sweeping** - Use mechanical sweeping on paved areas where dust and fine materials accumulate. These procedures to be conducted yearly anytime after May 1 and September 15. All sediment deposits, trash and debris shall be removed to a location off-site and disposed of in an environmentally acceptable manner.

24. enforcement officer, (F)
25. Conduct final inspection with Municipality to identify deficiencies and establish punch list based on approved plans, complete to the satisfaction of the Municipality.

## C. RESPONSIBILITY

1. The responsibility for implementing and maintaining the Soil Erosion and Sedimentation Control Plan rests with the OWNER OF RECORD where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER OF RECORD shall be held responsible for informing all concerned regarding responsibility of the SEASC plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage erosion and sedimentation control measures will therefore rest with the OWNER OF RECORD.
2. SESC Emergency contact information  
Emergency Contact Name: Priority, LLC (Paul Prior, Jr.)  
Emergency Contact Phone Number: (860) 209-6969

## EROSION CONTROL SYMBOL LEGEND

- ORANGE LIMIT OF CONSTRUCTION FENCE
- SILT FENCE
- EROSION CONTROL LOGWATTLE
- INLET PROTECTION
- STAKED BALES
- CHECK DAM WATTLESOCK or STONE
- EROSION CONTROL BLANKET
- TEMPORARY WATER BAR (WB) or DIVERSION CHANNEL (TD)

\*SYMBOLS DEPICTED IN LEGEND AND PLAN ARE NOT DRAWN TO SCALE. SEE DETAILS FOR SPECIFIC INFORMATION

- Existing utility pole
- Existing light pole
- Proposed Light
- Existing fire hydrant
- Proposed fire hydrant
- Existing water valve
- Existing gas valve
- Existing underground pipe
- Existing tree line
- Existing edge of pavement
- Proposed curbing
- Existing/Proposed well
- Existing catch basin
- Existing drainage manhole
- Existing sanitary manhole
- Proposed catch basin
- Proposed manhole
- Existing utility box
- Proposed sidewalk ramp
- Existing contour
- Existing spot elevation
- Proposed contour
- Proposed spot elevation
- Deep test location
- Percolation test location
- G.T.D.
- Proposed Riprap
- Proposed Drainage Pipe

## TEMPORARY STORMWATER MANAGEMENT MAINTENANCE SCHEDULE (DURING CONSTRUCTION)

The following are the required maintenance and monitoring procedures

**Swales** - All swales shall be mowed and be cleared of all sediment deposits, invasive plant species and debris. These procedures shall be conducted monthly. Swales shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

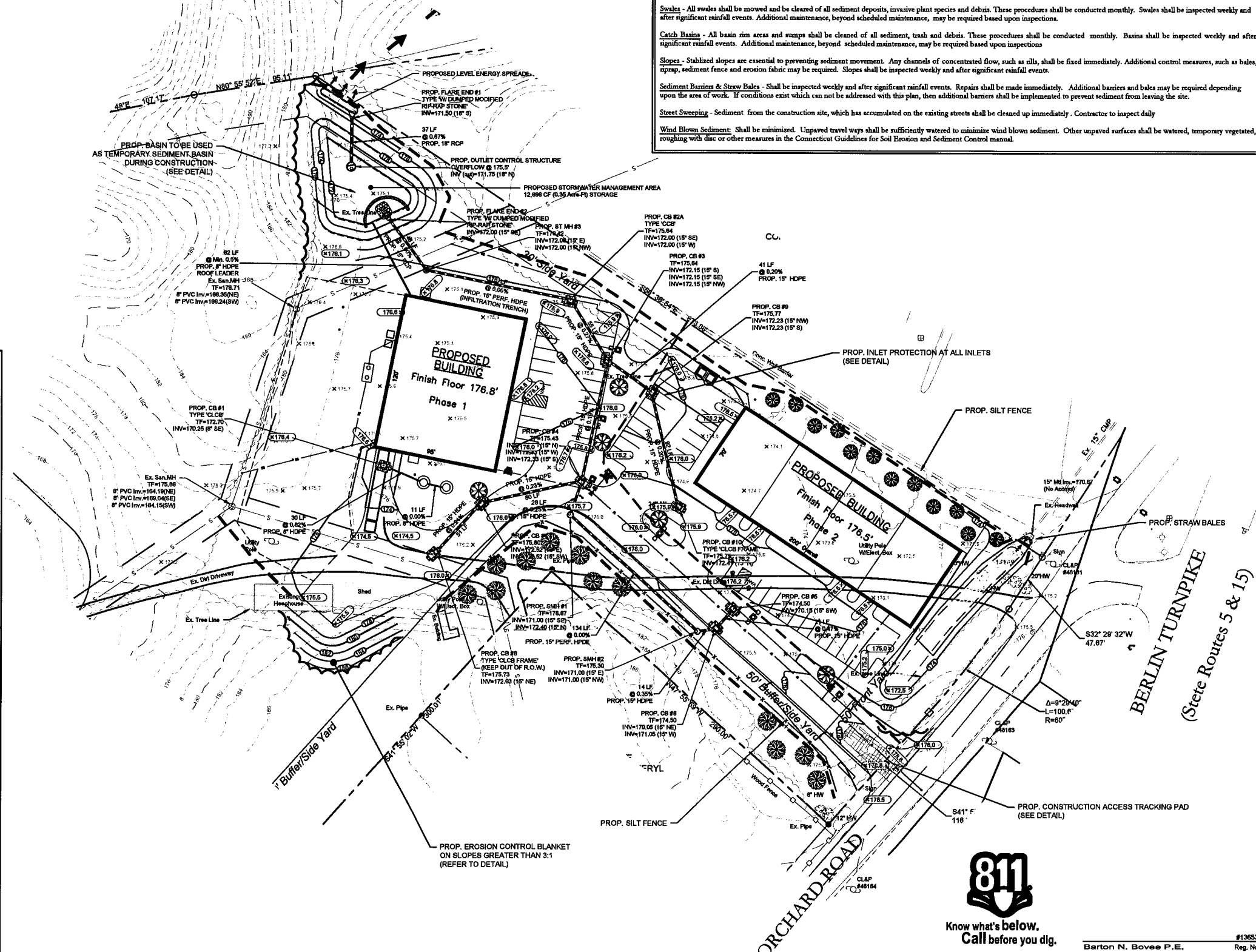
**Catch Basins** - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures shall be conducted monthly. Basins shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.

**Slopes** - Stabilized slopes are essential to preventing sediment movement. Any channels of concentrated flow, such as rills, shall be fixed immediately. Additional control measures, such as bales, riprap, sediment fence and erosion fabric may be required. Slopes shall be inspected weekly and after significant rainfall events.

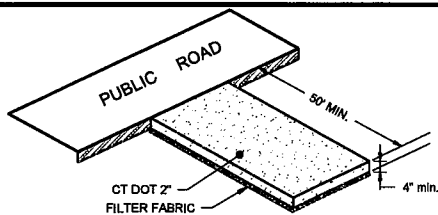
**Sediment Barriers & Street Bales** - Shall be inspected weekly and after significant rainfall events. Repairs shall be made immediately. Additional barriers and bales may be required depending upon the area of work. If conditions exist which can not be addressed with this plan, then additional barriers shall be implemented to prevent sediment from leaving the site.

**Street Sweeping** - Sediment from the construction site, which has accumulated on the existing streets shall be cleaned up immediately. Contractor to inspect daily

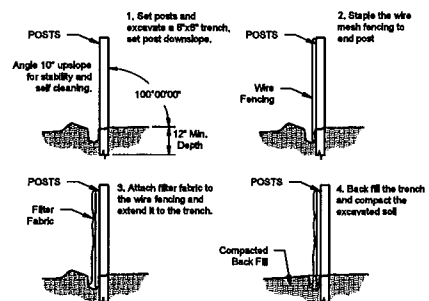
**Wind Blown Sediment** - Shall be minimized. Unpaved travel ways shall be sufficiently watered to minimize wind blown sediment. Other unpaved surfaces shall be watered, temporary vegetated, roughing with disc or other measures in the Connecticut Guidelines for Soil Erosion and Sediment Control manual.



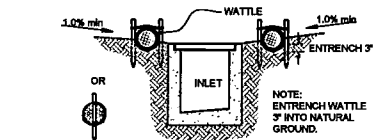
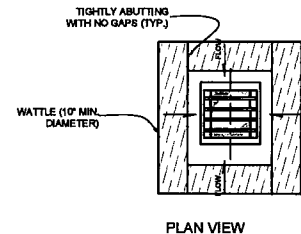
DATE: 03/15/2021  
DRAWN BY: BNG  
CHECKED BY: MSL  
PROJECT: 2051  
SHEET: ES2  
TITLE: SOIL EROSION & SEDIMENTATION DETAILS



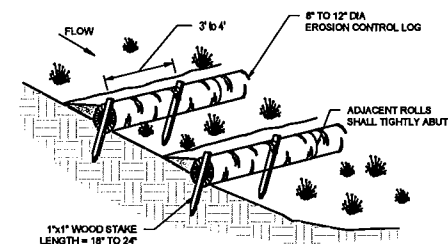
CONSTRUCTION ENTRANCE DETAIL  
N.T.S.



SEDIMENTATION BARRIER DETAIL  
N.T.S.

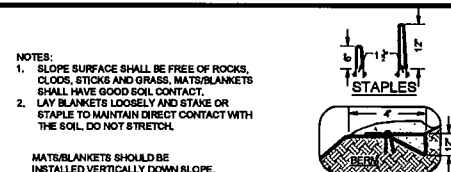


CATCH BASIN WATTLE PROTECTION  
N.T.S.



- GENERAL NOTES:
- THE WATTLES SHALL BE ENTRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
  - WATTLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
  - ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT DOWNWARD ANGLE AT THE END OF THE ROW IN ORDER TO PREVENT POINING AT THE MID SECTION.
  - RUNNING LENGTHS OF WATTLES SHOULD BE ABUTTED FIRMLY TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
  - SPACING FOR SLOPE INSTALLATIONS SHOULD BE DETERMINED BY SITE CONDITIONS. SLOPE GRADIENT AND SOIL TYPE ARE THE MAIN FACTORS. A GOOD RULE OF THUMB IS:  
1:1 SLOPES = 10 FEET APART  
2:1 SLOPES = 20 FEET APART  
3:1 SLOPES = 30 FEET APART  
4:1 SLOPES = 40 FEET APART.
  - ADJUSTMENTS MAY HAVE TO BE MADE FOR THE SOIL TYPE: FOR SOFT, LOAMY SOILS - ADJUST THE ROWS CLOSER TOGETHER; FOR HARD, ROCKY SOILS - ADJUST THE ROWS FURTHER APART.
  - USE WOOD STAKES TO SECURE THE WATTLES. 1/2" TO 5/8" REBAR IS ALSO ACCEPTABLE. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE SEVERAL INCHES ABOVE THE WATTLE. 18" IS A GOOD LENGTH FOR HARD, ROCKY SOIL. FOR SOFT LOAMY SOIL, USE A 24" STAKE. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE.

EROSION CONTROL LOG SLOPE PROTECTION  
N.T.S.

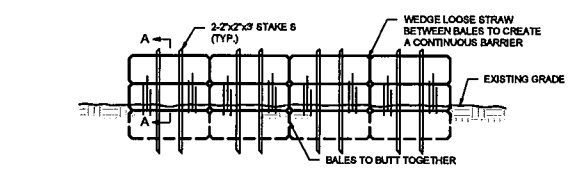
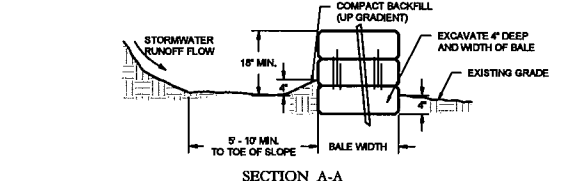


TYPICAL SLOPE SOIL STABILIZATION  
N.T.S.



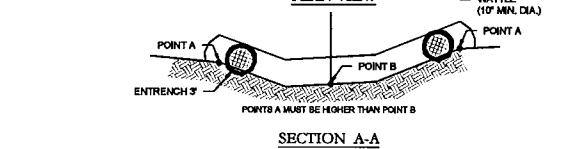
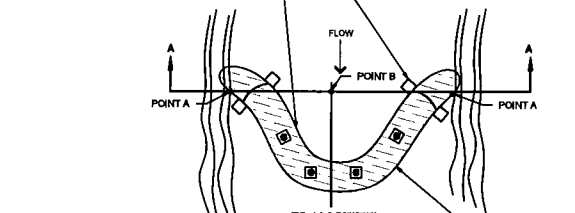
EROSION BLANKET & REINFORCEMENT MAT SLOPE INSTALLATION  
N.T.S.

- NOTES:
- BALE BARRIER INSTALLATION SHALL FOLLOW THE CONTOUR OF THE LAND. THE LAST BALES SHALL WING UPSLOPE TO ENSURE PROTECTION.
  - BALE BARRIERS SHALL BE UTILIZED TO INTERCEPT SMALL AMOUNTS OF SEDIMENT FROM DRAINAGE AREAS ONE ACRE IN SIZE OR LESS. MAX. SLOPE BEHIND A BARRIER MUST BE LIMITED TO 3:1V.
  - BALE BARRIERS SHALL BE INSPECTED PERIODICALLY, AFTER STORM EVENTS GREATER THAN 1" OF RAINFALL AND SHALL BE REMOVED AND REPLACED AFTER 3 MONTHS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER OR ENFORCEMENT OF LOCAL. BALES SHALL NOT BE REMOVED UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.



STRAW BALE BARRIER DETAIL  
N.T.S.

- STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE. A HEAVY SEDIMENT LOAD WILL TEND TO PICK THE WATTLE UP AND COULD PULL IT OFF THE STAKE IF THEY ARE DRIVEN DOWN TOO LOW. IT MAY BE NECESSARY TO MAKE A HOLE IN THE WATTLE WITH A PICK END OF YOUR MADDOX IN ORDER TO GET THE STAKE THROUGH THE STRAW. WHEN STRAW WATTLES ARE USED FOR FLAT GROUND APPLICATIONS, DRIVE THE STAKES STRAIGHT DOWN; WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.

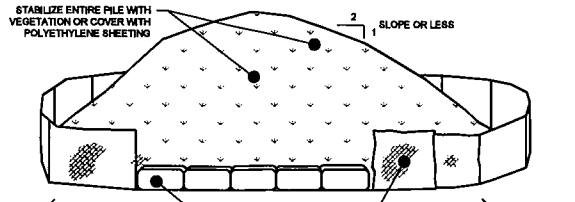


WATTLE DIKE DITCH INSTALLATION  
N.T.S.

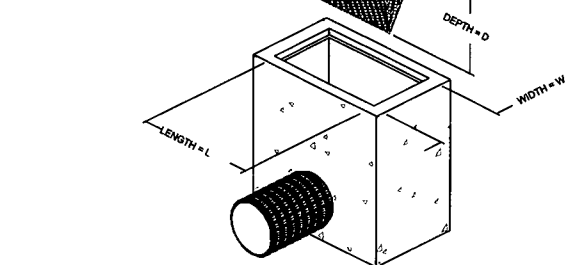
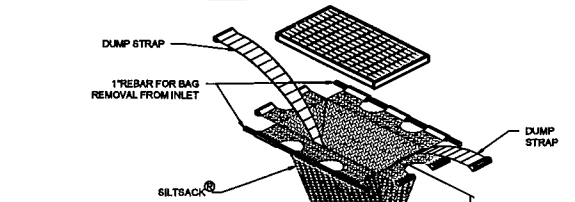
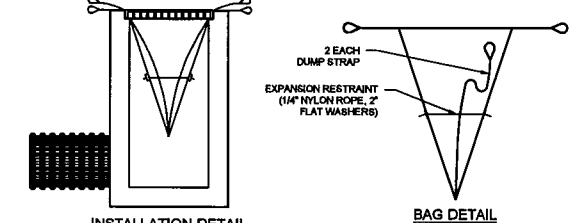
- NOTES:
- THE CONTRACTOR SHALL INSPECT DIKES EVERY TWO WEEKS AND AFTER SIGNIFICANT STORM EVENTS AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
  - DIKES ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ESTABLISHED.

WATTLE DIKE DITCH INSTALLATION  
N.T.S.

- NOTES:
- AREA CHOSE FOR STOCKPILING SHALL BE DRY AND STABLE.
  - MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  - UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED WITH POLYETHYLENE SHEETING.
  - TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS, TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DRILTY (HAVING LOW AVAILABLE NUTRIENTS FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.
  - TEMPORARY STOCKPILING STABILIZATION MEASURES INCLUDE VEGETATIVE OR NONVEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND REQUIRED PERIOD OF USE.
  - SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.

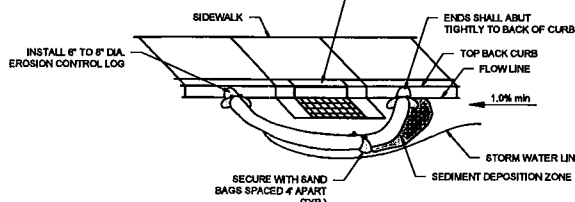


SOIL STOCKPILE DETAIL  
N.T.S.



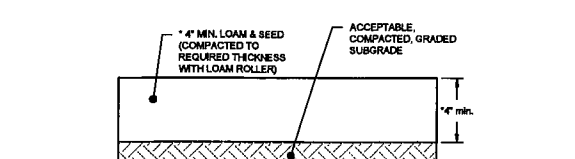
SILT SACK INLET CONTROL DEVICE  
N.T.S.

- NOTES:
- AVAILABLE FROM ACF ENVIRONMENTAL 48 OLD GRAYS BRIDGE ROAD BROOKFIELD, CT 06804, (203)313-9002



EROSION CONTROL LOG - CURB INLET PROTECTION  
N.T.S.

- GENERIC SEED MIXTURE
- 25-50% KENTUCKY BLUE GRASS
  - 50% GERMINATION
  - 30-50% RED FESCUE 80% GERMINATION
  - 30-40% PERENNIAL RYE GRASS MIXTURES
  - 80% GERMINATION
- OR
- SESC MANUAL SEED MIXTURE
- PERMANENT GRASS SEEDING
  - PER FIGURE PS-2 & PS-3 OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL MANUAL



LOAM & SEED DETAIL  
N.T.S.

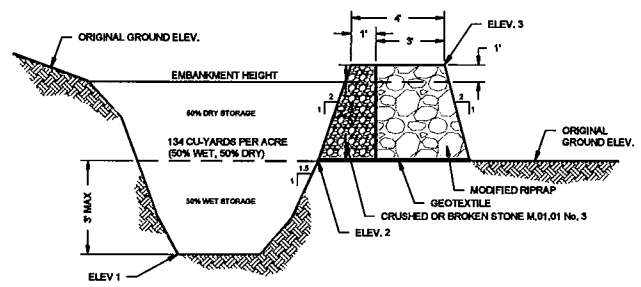
- NOTES:
- ALL LANDSCAPE/PLANTING AREAS SHALL RECEIVE LOAM AND SEED.

LOAM & SEED DETAIL  
N.T.S.

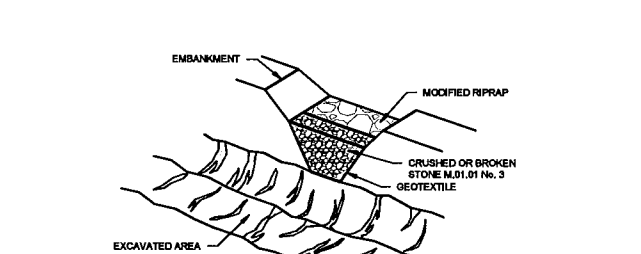
- SEDIMENT TRAP NOTES:
- ALL WORK SHALL CONFORM TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
  - VOLUME PROVIDED SHALL BE 150 CUBIC YARDS WITH 50% DRY AND 50% WET STORAGE. TYPICAL MAXIMUM DRAINAGE AREA IS 5 ACRES.
  - USE ONLY 7.5' FOR TREATMENT OF ON SITE RUNOFF.
  - NEVER CONSTRUCT A SEDIMENT TRAP ON A FLOWING STREAM OR IN WETLANDS.
  - TRAPS SHOULD NOT BE LOCATED CLOSER THAN 25 FEET FROM A PROPOSED BUILDING FOUNDATION OR EDGE OF ROAD.
  - A RECTANGULAR AND SHALLOW TRAP, WITH A LENGTH-TO-WIDTH RATIO OF 2:1 OR GREATER IS RECOMMENDED.
  - MAXIMUM EMBANKMENT HEIGHT SHALL BE 8 FEET MEASURED ON THE DOWNSTREAM SIDE. THE MINIMUM TOP EMBANKMENT WIDTH SHALL BE 4 FEET. SIDE SLOPES FOR THE EMBANKMENT AND THE EXCAVATED AREA SHALL BE 2:1 OR FLATTER.
  - FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBSTRUCTIVE MATERIAL.
  - INLETS TO SEDIMENT TRAP SHALL ENTER AT THE FURTHEST DISTANCE TO OUTLET DESIGNED 80' AS NOT TO BRIDGE SIDE SLOPES OF SEDIMENT BASIN.

- INSTALLATION NOTES:
- SEDIMENT TRAPS, ALONG WITH OTHER PERIMETER CONTROLS, SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA.
  - THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED AND FREE OF ANY VEGETATION AND ROOTS.
  - A GEOTEXTILE SHOULD BE PLACED AT THE STONE-SOIL INTERFACE TO ACT AS A REPARATOR.

- MAINTENANCE NOTES:
- SEDIMENT SHALL BE REMOVED FROM THE TRAP WHEN THE WET STORAGE VOLUME IS REDUCED BY HALF. SEDIMENT REMOVED MUST BE PROPERLY DISPOSED.
  - THE CONTRACTOR SHALL INSPECT SEDIMENT TRAP EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT. ROCKS CLOGGED WITH SEDIMENT SHALL BE CLEARED OR REPLACED.
  - SEDIMENT TRAPS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREAS ARE STABILIZED.
  - IF SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE RESEED, GRASSED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.

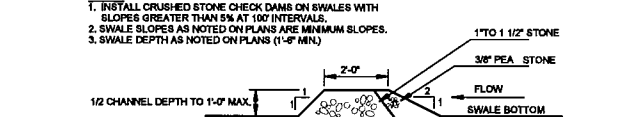


SEDIMENT TRAP - CROSS SECTION OF OUTLET  
N.T.S.

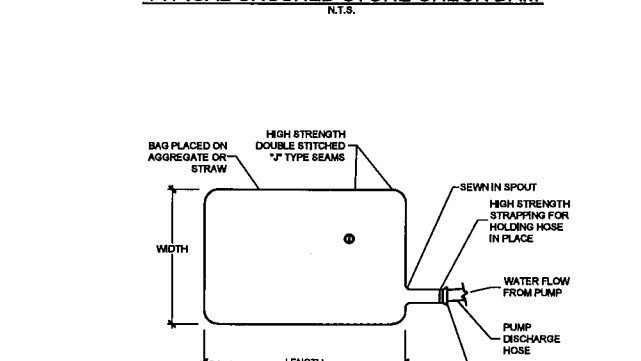


SEDIMENT TRAP - OUTLET (PERSPECTIVE VIEW)  
N.T.S.

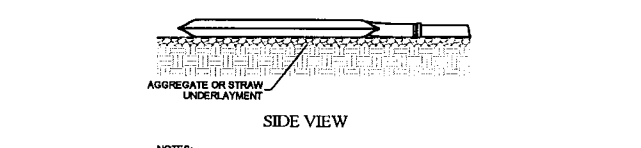
- NOTES:
- INSTALL CRUSHED STONE CHECK DAMS ON SWALES WITH SLOPES GREATER THAN 5% AT 100' INTERVALS.
  - SWALE SLOPES AS NOTED ON PLANS ARE MINIMUM SLOPES.
  - SWALE DEPTH AS NOTED ON PLANS (1'-0" MIN.)



TYPICAL CRUSHED STONE CHECK DAM  
N.T.S.



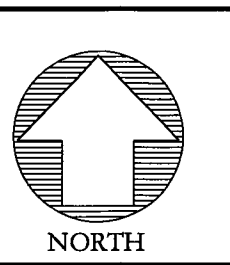
DIRT BAG SILT CONTROL SYSTEM  
N.T.S.



DIRT BAG SILT CONTROL SYSTEM  
N.T.S.

- NOTES:
- AVAILABLE FROM ACF ENVIRONMENTAL 48 OLD GRAYS BRIDGE ROAD, BROOKFIELD, CT 06804, (203)313-9002

DIRT BAG SILT CONTROL SYSTEM  
N.T.S.



**cole**  
HARRY E. COLE & SON  
engineering, surveying, planning.

876 South Main Street  
P.O. Box 44  
Plainville, CT 06479 - 0044

Tel: (860) 628-4484  
Fax: (860) 620-0196  
www.hecole.com

PROJECT NAME:  
**PROPOSED COMMERCIAL DEVELOPMENT**  
Parcel 21-4-115-20A  
Berlin Turnpike  
Berlin, Connecticut

PREPARED FOR:  
**PRIORITY, LLC**

Sheet Description:

SOIL EROSION & SEDIMENTATION DETAILS

Scale: 1"=40'

Date: March 15, 2021

Project #: 2051 F.B. #: —

Drawn By: BNG Approved By: MSL

Date:	Descriptions:
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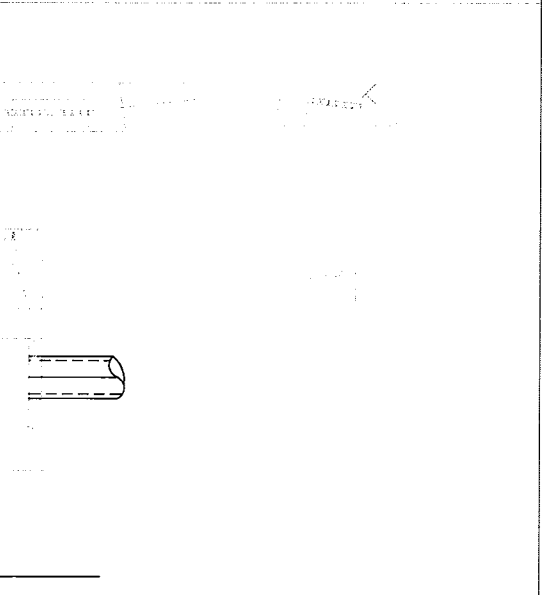
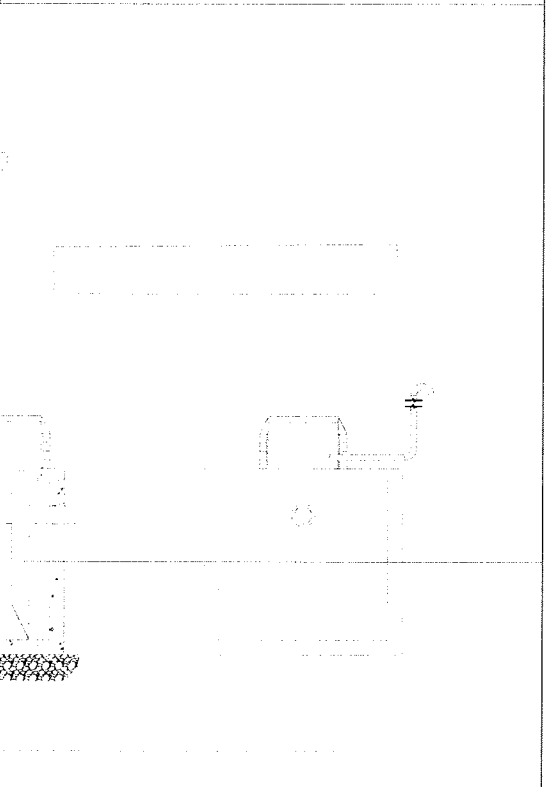
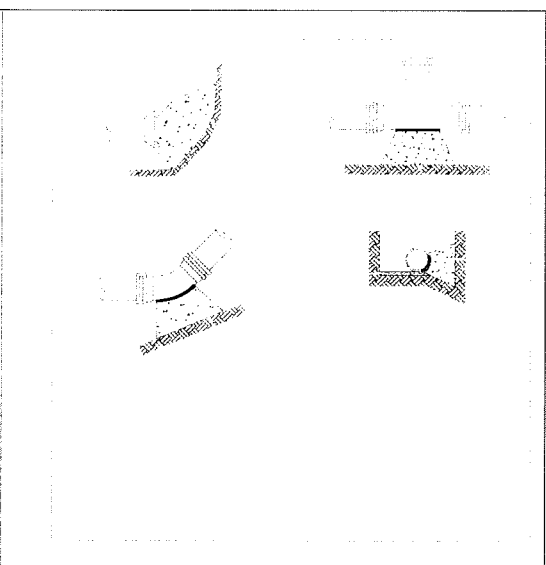
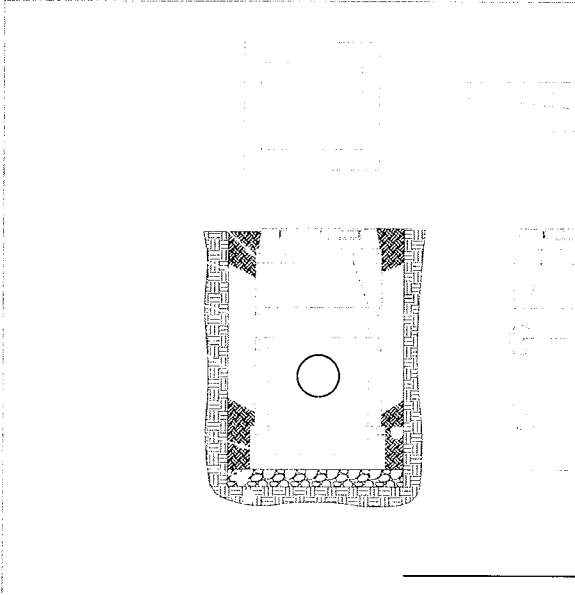
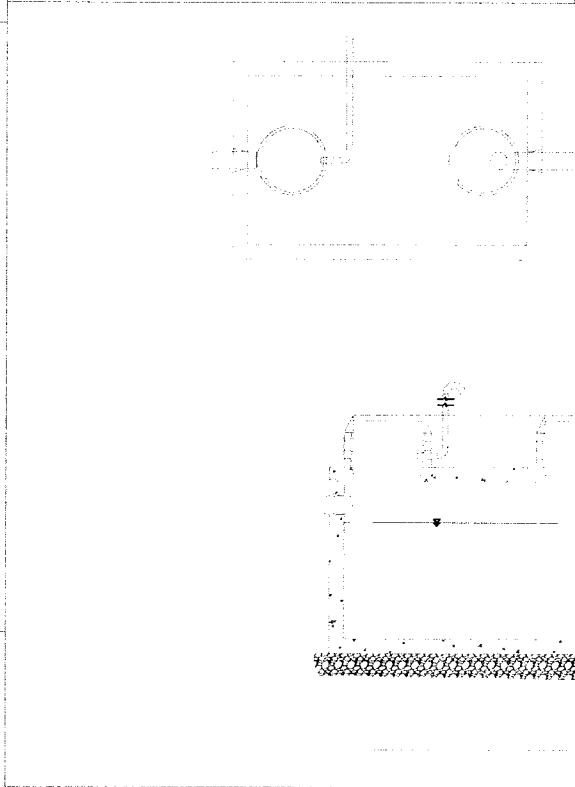
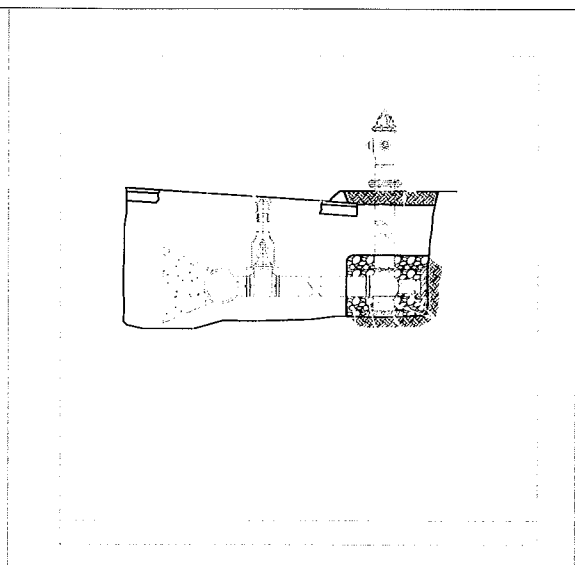
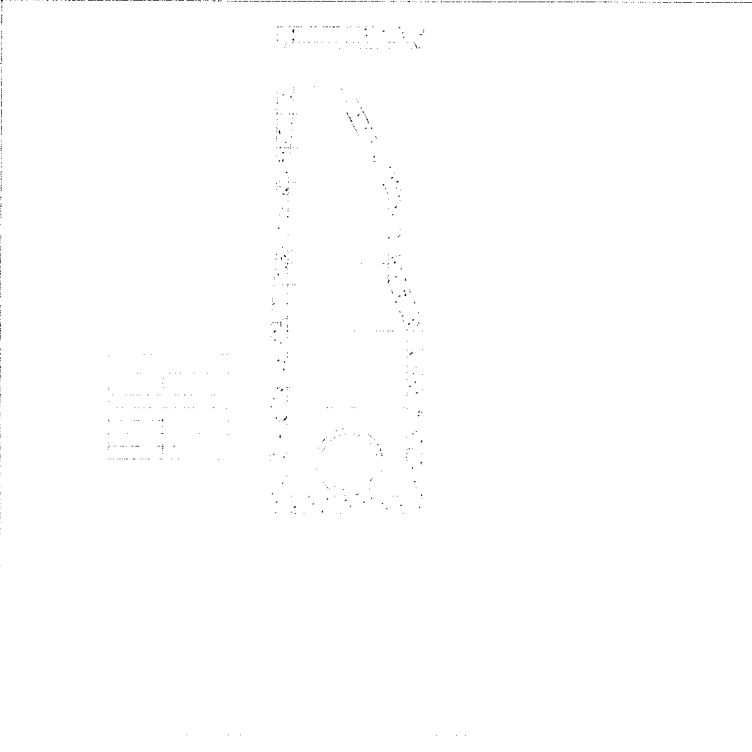
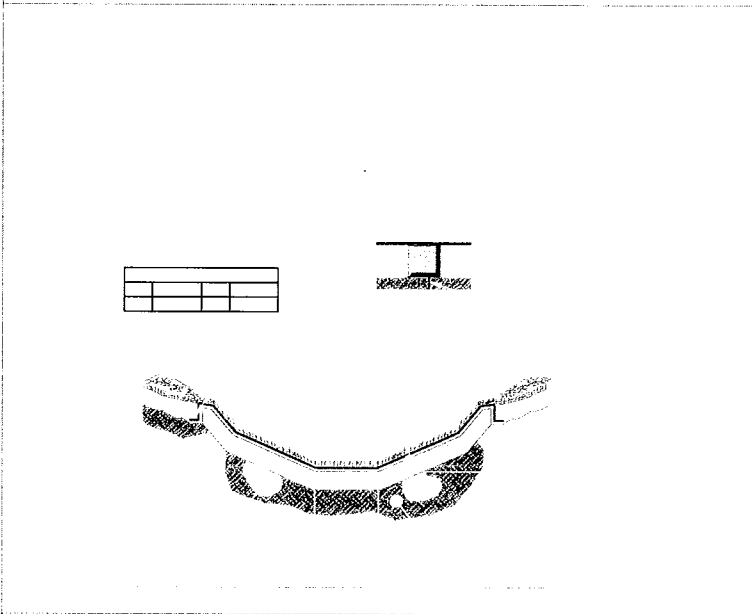
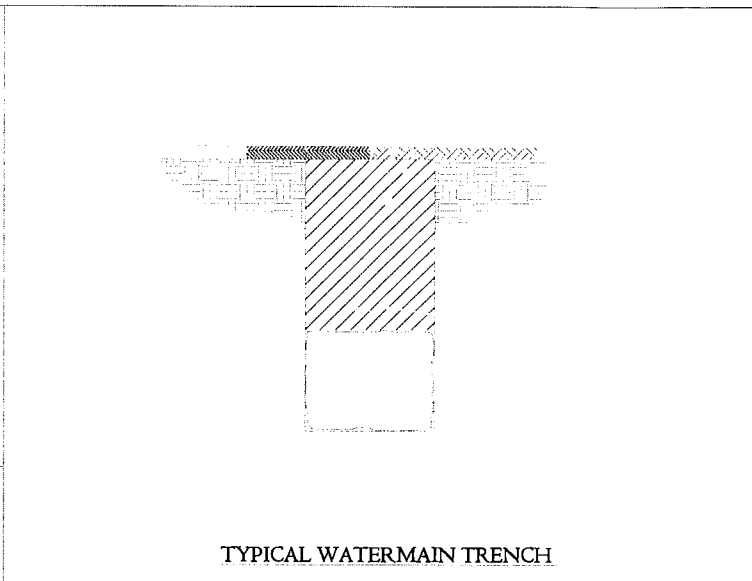
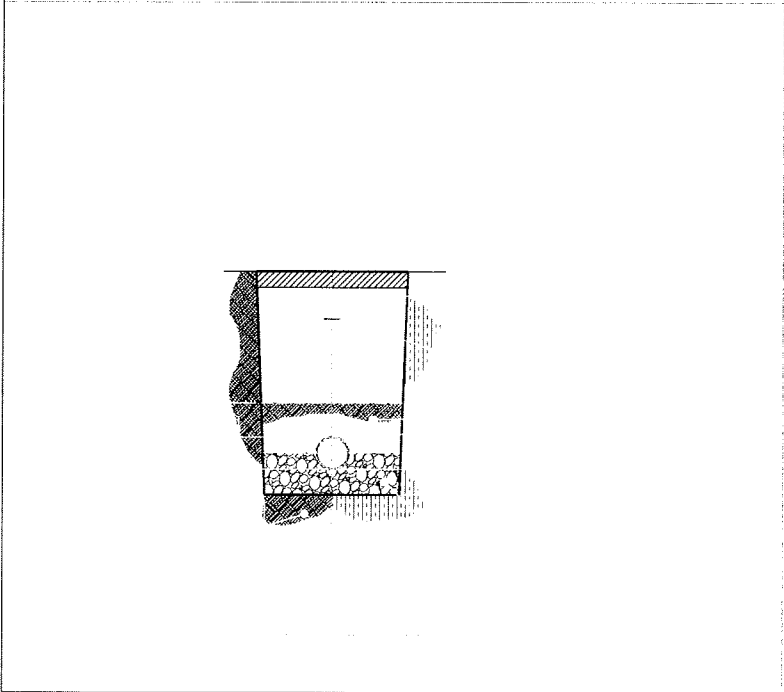
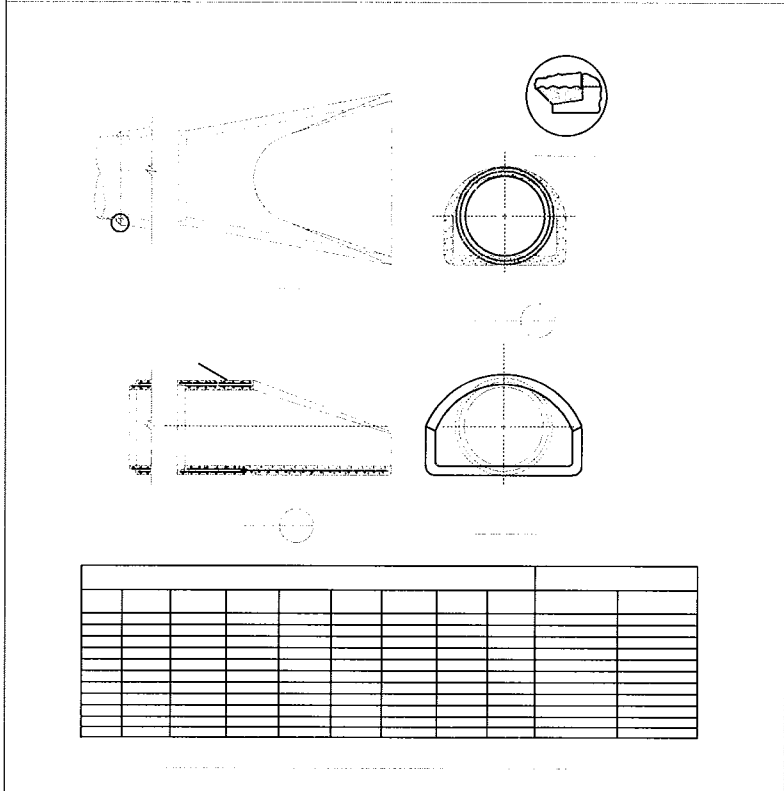
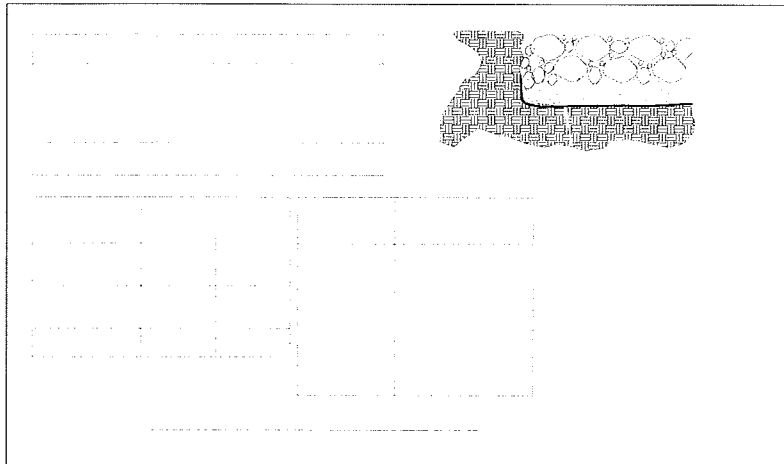
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**ES2**

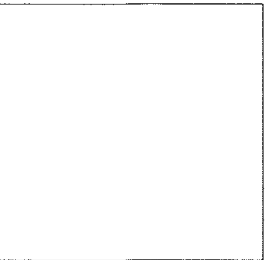




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TYPICAL WATERMAIN TRENCH



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HARRY E. COLE & SON  
engineering. surveying. planning.

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Plainville, CT 06479-0044

Tel: (860) 628-4484  
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PROJECT NAME:

**PROPOSED  
COMMERCIAL  
DEVELOPMENT**  
Parcel 21-4-115-20A Berlin  
Turnpike  
Berlin, Connecticut

PREPARED FOR:

**PRIORITY, LLC**

Sheet Description:	
DC CONSTRUCTION DETAILS	
Scale:	
Date: February 22, 2021	
Project #: 2051	F.B. #: --
Drawn By: BNB	Approved By: BNB
Revisions:	
Date:	Descriptions:

Sheet #:

**D2**

