

Site Plan

Application: Site Plan
Project Name: Kev Kai Properties, LLC
Address: 239 Christian Lane Map 10-1-76A-9A
Zone: GI-2
Applicant: Sarina Griffo-Brandao, Kev Kai Properties LLC
Owner: Occhi Children's Trust
Proposal: Multi-tenant 10,000 s.f. office/warehouse building with related site improvements

PROPOSAL

Kev Kai Properties LLC is seeking site plan approval for construction of a new 10, 000 s.f. office/warehouse building to be subdivided into 2-3 units for rent with associated site improvements on the parcel at 239 Christian Lane (10-1-76A-9A) in the GI-2 Zone pursuant to Berlin Zoning Regulations §§VII.C. and XIII.

STAFF COMMENTS

1. The Commission should consider if the requested conditional approval is appropriate and require that site improvement details including utility, grading and drainage detail plans be submitted for Public Works and Planning staff review prior to applying for building permits.
2. The applicant should acknowledge for the record that the non-conforming residential use of this property would be abandoned with the industrial development.

Per Interdepartmental comments:

3. "Abtech Ultra-Urban filter with Smart Sponge" in all catch basins per information provided by Inland Wetlands Agent.
4. Complete full scale drawings with M.E.P.s for permitting and Statement of Special Inspections
5. Full Architectural Plan review by Fire Marshall.
6. (any pending staff comments be addressed)

BACKGROUND

The subject property is located in the GI-2 industrial zone. Recently, the existing, non-conforming residential structure that was located on this parcel experienced substantial fire damage and the residence was demolished. The Applicant is seeking to develop the property as a conforming industrial zoning use.

The applicant requesting an approval prior to finalizing purchase of the property. Therefore, detail plans were not developed for consideration at this time. The property is substantially flat and public utilities are available.

ANALYSIS

Interdepartmental review has resulted in submission of revised site layout plans (received 5/5/2021). Plans were originally received in April 2021; however, the applicant was able to revise the plans to address several issues identified in the department comments (e.g., the vehicle access from Christian Lane was relocated from the southern portion of the site to the northern portion of the site to address concerns by Engineering). Note, the old plans were not distributed to the PZC to avoid confusion. Engineering has provided updated comments reflecting satisfaction with the modification to the site layout.

The distributed and posted packet includes the revised plans received 5/5/2021 that reflect updates to address departmental comments and prior and updated departmental comments.

Due to the timing of the receipt of updated documents, it is anticipated that specific staff comments that might be considered in a potential PZC discussion/decision will be distributed at the 5/6/21 meeting. However, a final review of the revised plans is ongoing as of the writing of this staff report

Interdepartmental:

See attached Engineering, Building Official and Fire Marshal comments

Police Chief, Board of Police Commissioners, and Fire Marshal issued "No Comment"



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received

APR 01 2021

Planning & Zoning Department
Berlin, Connecticut

SITE PLAN APPLICATION

☒ Site Plan

☐ Site Plan Amendment

Project Name: Kev Kai Properties, LLC
Property Owner(s): Occhi Children's Trust
Project Address*: 239 Christian Lane
Map: _____ Block: _____ Lot: _____ Zone(s): G1Z Lot Area: 200 x 200

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: Sarina Bristo-Brandao Firm Name: Kev Kai Properties, LLC
Street Address: 12 West Ridge Drive City: Rocky Hill ST: CT Zip: 06067
Email: Sarina.lisa@yahoo.com Phone: 860-798-0521
Signature: [Signature] Date: April 1, 2021

Property Owner(s) Information (If Not the Applicant)

Name: Occhi Children's Trust Principal: Charles Occhi trustee
Street Address: 239 Christian Lane City: Berlin ST: CT Zip: 06037
Email: _____ Phone: 860-829-1923

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

APR 01 2021

Planning & Zoning Department
Berlin, Connecticut

This Site Plan Involves:

☐ Additions ☐ Alterations ☐ Demolition ☒ New Construction

Description of Project*: 10,000 sq. ft. office/warehouse building
to be subdivided into 2-3 units for rent.
Scheduled to close on May 30th & requesting approval of
submitted draft with PZ comments & notes for final direct
approval so we can close on property in the meantime.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)	_____	<u>office/warehouse</u>	
	_____	_____	
	_____	_____	
COMMERCIAL			
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	_____
INDUSTRIAL			
Gross Floor Area	_____	<u>10,000 sq. ft.</u>	
Parking Spaces	_____	<u>20</u>	_____
RESIDENTIAL			
Number of Units	_____	_____	
Number of Bedrooms	_____	_____	
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	_____
OTHER USES			
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	_____

To be completed by P&Z staff only:

Fee Paid \$ _____ (Refer to current Fee Schedule)

Received by: _____

Town of Berlin

Geographic Information System (GIS)



Date Printed: 4/12/2021

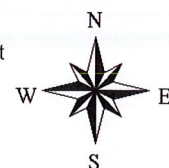


MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 150 feet

0 150
Feet



April 5, 2021

PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET

APPLICATION: Site Plan – 10,000 s.f. Office/Warehouse Building
APPLICANT: KevKai Properties LLC
LOCATION: 239 Christian Lane
AGENDA: May 6, 2021

Department/District:

☐ Town Planner
☐ Assistant Town Planner/ZEO
☒ Engineering
☐ Kensington Fire District
☐ Worthington Fire District
☐ Board of Education
☐ Conservation Commission

☐ Building Official
☐ Berlin Water Control
☐ Health District
☐ Fire Marshal
☐ Board of Police Commissioners
☐ Inland Wetlands
☐ Police Chief

☐ No Comment

☒ Comments:

full size plans available

Signature/Date

~~Southerly sight line restrictions to the south!
RELOCATE CHRISTIAN LANE ACCESS FROM
SOUTHERLY END OF FRONTAGE TO NORTHERLY END
AND REDESIGN INTERNAL TRAFFIC MOVEMENTS~~

Above Comment Addressed. No Further Comments on
Site Entry. MSA 5/5/21

April 5, 2021

PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET

APPLICATION: Site Plan – 10,000 s.f. Office/Warehouse Building
APPLICANT: KevKai Properties LLC
LOCATION: 239 Christian Lane
AGENDA: May 6, 2021

Department/District:

<input type="checkbox"/> Town Planner	<input type="checkbox"/> Building Official
<input type="checkbox"/> Assistant Town Planner/ZEO	<input type="checkbox"/> Berlin Water Control
<input type="checkbox"/> Engineering	<input type="checkbox"/> Health District
<input type="checkbox"/> Kensington Fire District	<input type="checkbox"/> Fire Marshal
<input type="checkbox"/> Worthington Fire District	<input type="checkbox"/> Board of Police Commissioners
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Inland Wetlands
<input type="checkbox"/> Conservation Commission	<input type="checkbox"/> Police Chief

☐ No Comment

☒ Comments:

Signature/Date

PH 4/29/21
INSTALL "ABTECH ULTRA-URBAN FILTER WITH
SMART SPONGE" IN ALL CATCH BASINS.

* INFO ATTACHED

April 14, 2021

**TOWN OF BERLIN
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS**

APPLICATION: Site Plan – 10,000 sq. ft. Office/Warehouse Building

APPLICANT: KevKai Properties LLC

LOCATION: 239 Christian Lane

AGENDA: May 6, 2021

To the Applicant:

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at mgiusti@town.berlin.ct.us or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*
-

Building Official

- Complete full scale drawing with M.E.P.'s for permitting
- Statement of special inspections

Police Chief

No comment

Board of Police Commissioners

No comment

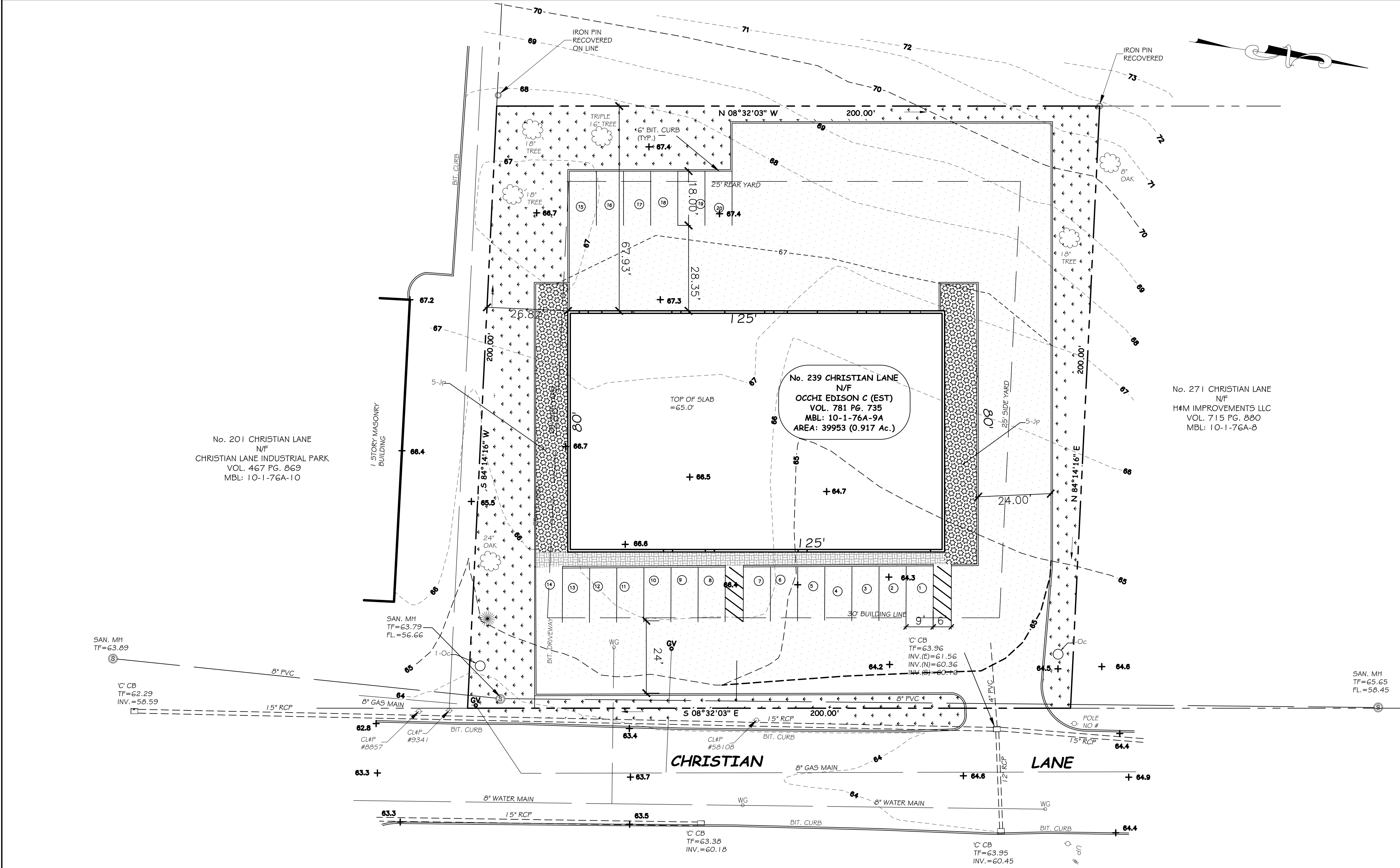
Fire Marshal

OK for site plan only. Architectural plan review will be at time of building permit application.

Conservation Commission

No comment

Emailed to Applicant: April 14, 2021



LEGEND

- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR

PROPOSED PAVEMENT

PROPOSED GRASS AREA

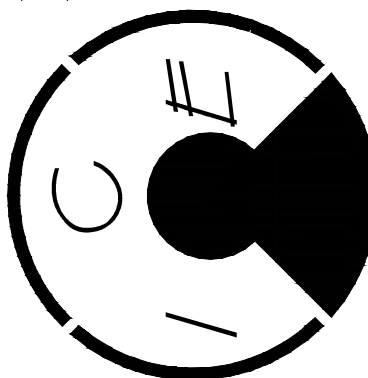
ABV.	QTY.	BOTANICAL NAME	PLANTING LIST	COMMON NAME	SIZE	REMARKS
Jp	10	Juniperus horizontalis		Creeping Juniper	5 Gal.	
Oc	2	Prunus x Okame		Okame Cherry	2" Cal	

ZONE: I GI-2	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE - AC	0.50	0.917	0.917197
MINIMUM LOT WIDTH - FT	100	200	200
FRONT YARD - FT	30	30	52.01
MINIMUM SIDEYARD STREET - FT	25	25	26.82'
MINIMUM REAR YARD	25'	25'	67.75'
MAXIMUM LOT COVER - %	35	0	25
MAXIMUM IMPERVIOUS COVER - %	80	5.3	71.4
MAXIMUM BUILDING HEIGHT - FT	45'	0'	18.7'
MAX. BUILDING HEIGHT - STORIES	3	0	1
MAX. FLOOR AREA RATIO	1	0	0.25
MAX. RESIDENTIAL DENSITY/ACRE	N/A	N/A	N/A
MIN. PARKING/LOADING SETBACK SIDE & REAR	5'	N/A	5'
MIN. PARKING/LOADING SETBACK FRONT YARD	5'	N/A	5'
MAX. PARKING SPACES OF GFA	$\frac{1}{100}$	0	$\frac{1000}{100} = 20$
* DENOTES NON CONFORMING			

ZONING LOCATION SURVEY
SHOWING PROPOSED NEW BUILDING AT
239 CHRISTIAN LANE
BERLIN, CONNECTICUT
PREPARED FOR
GRIFFO PROPERTIES

INGA CONSULTING ENGINEERS

ARCHITECTURAL/CIVIL/STRUCTURAL/SURVEY CONSULTANTS
139 WHITNEY STREET, HARTFORD, CT 06105
Phone: (860) 233-4991 E-mail: T@ingaengineers.com



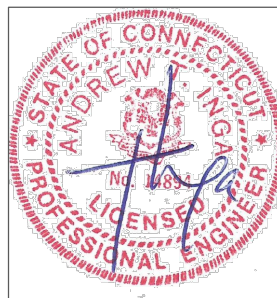
DATE 05/04/2021

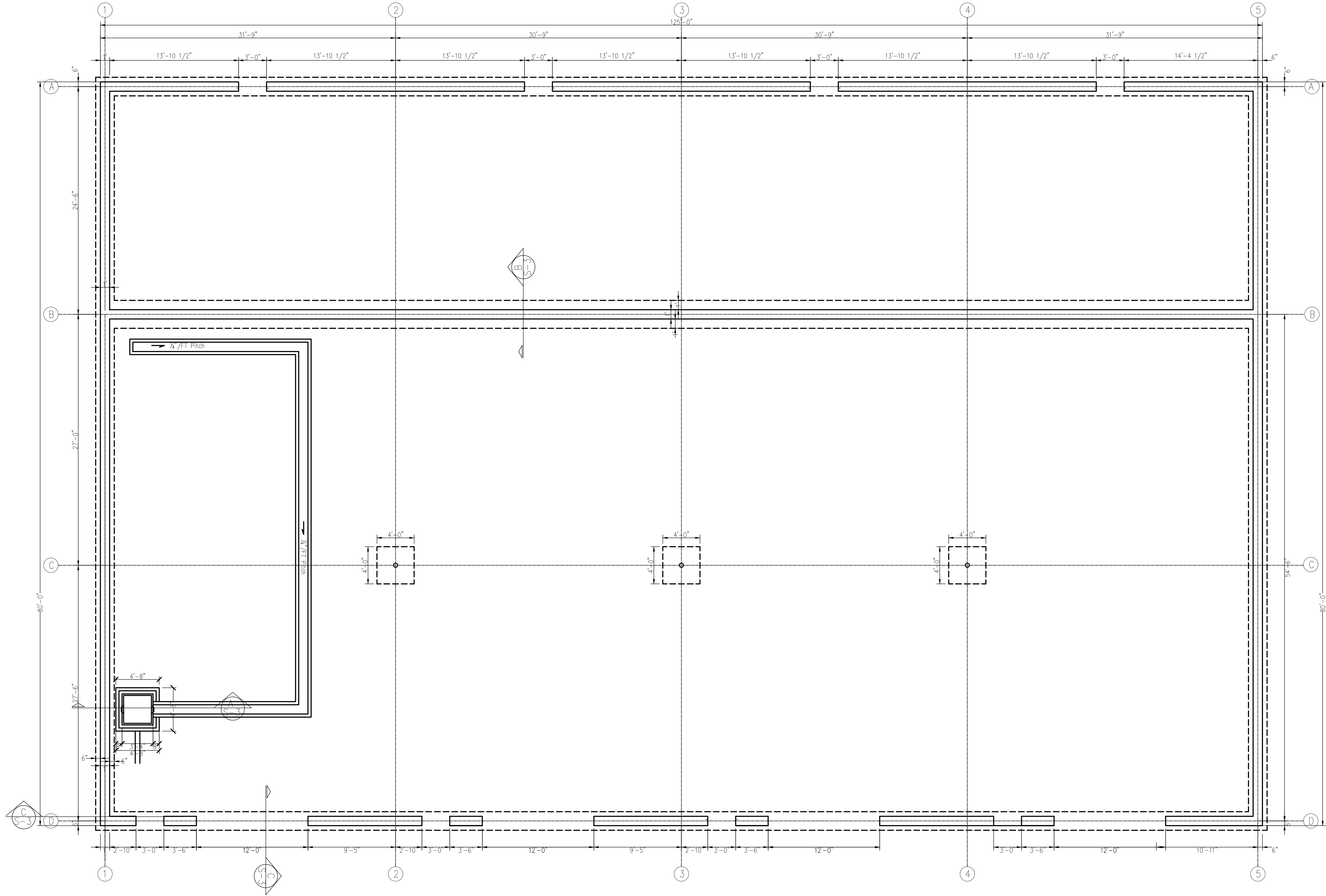
CHECKED BY T.I.

JOB NO.

DRAWING NO.

C1





FOOTING PLAN

Scale: 3/16" = 1'-0"

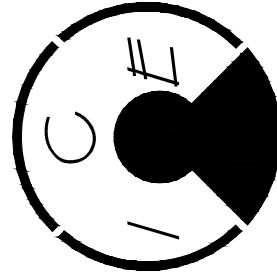


- NOTES:
1. Soil Bearing Pressure = 3000PSF
 2. Where unsuitable foundation material is identified by the Owners representative, the following shall be performed:
Undisturbed soil directly under affected spread footings must be cut to a minimum depth of 4'-0" below bearing surface and 4'-0" (2'-0" each side) wider than wider than footing, and replaced with engineering controlled fill.
 3. Concrete shall be normal weight, with compressive strength of 3000psi in 28 days.
 4. Reinforcing steel shall conform to A.S.T.M. Specification A-615 Grade 60. Bars shall be deformed.
 5. All concrete and reinforcing bars shall be furnished, fabricated and erected in accordance with the latest A.C.I. Standard Building Code Requirements for reinforced Concrete (ACI-318) and A.C.I. Specification for Structural Concrete for Buildings (ACI-301).
 6. Mortar type shall be M or S.
 7. Backfill for the walls must be accomplished such that there will be little or no rotation of the walls.

NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

FOUNDATION PLAN

INGA CONSULTING
ENGINEERS



DATE 3/3/2021

DRAWN BY T.I.

CHECKED BY T.I.

JOB NO. -----

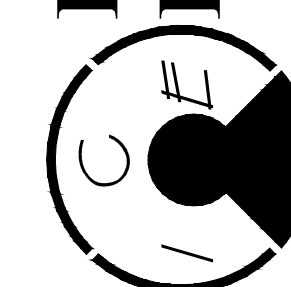
DRAWING NO.

S-1



FIRST FLOOR PLAN

INGA CONSULTING ENGINEERS



DATE	3/24/21 3/3/2021
------	---------------------

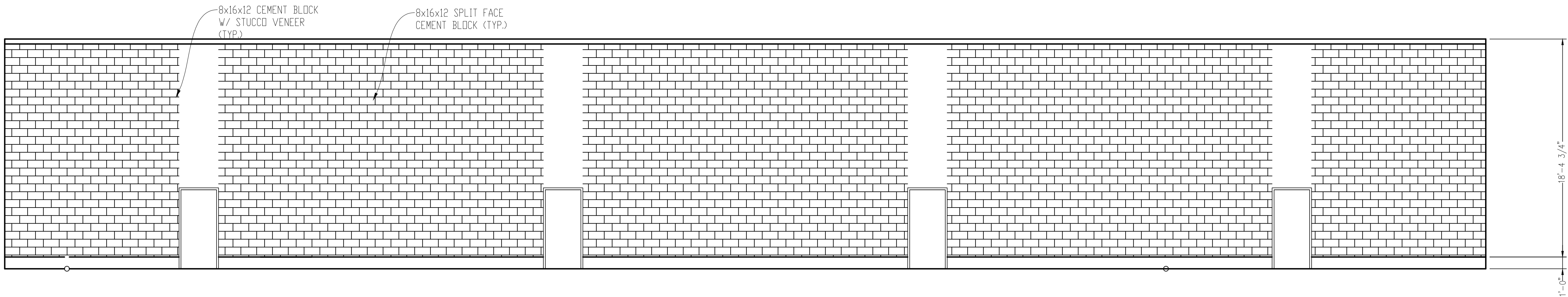
DRAWN BY T.I.

CHECKED BY T.I.

JOB NO.

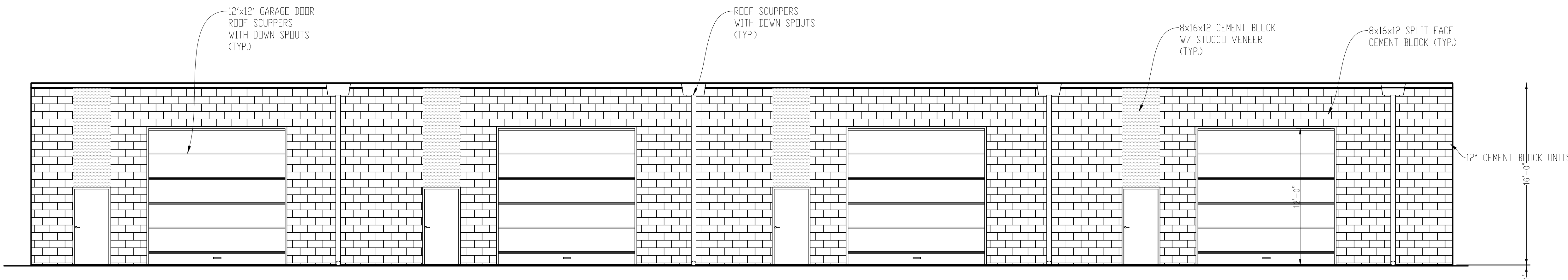
DRAWING NO.

S-2

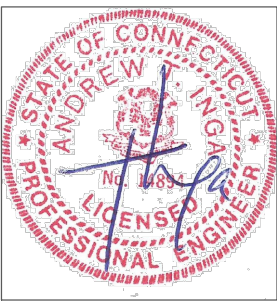


FRONT ELEVATION

Scale: 3/16" = 1'-0"



REAR ELEVATION



NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

ELEVATIONS

INGA CONSULTING
ENGINEERS

DATE 3/3/2021

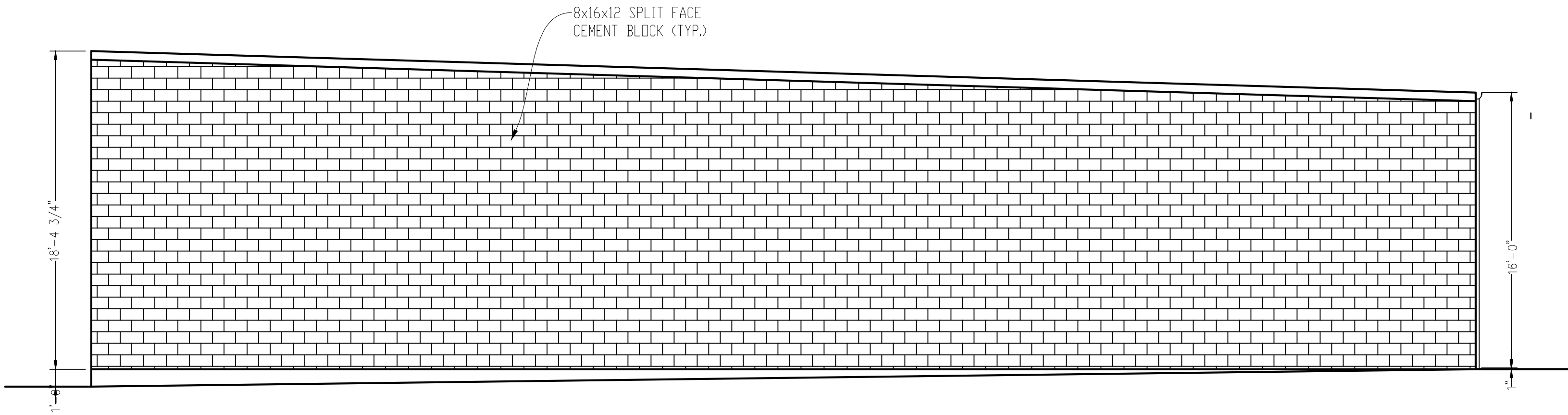
DRAWN BY T.I.

CHECKED BY T.I.

JOB NO. -----

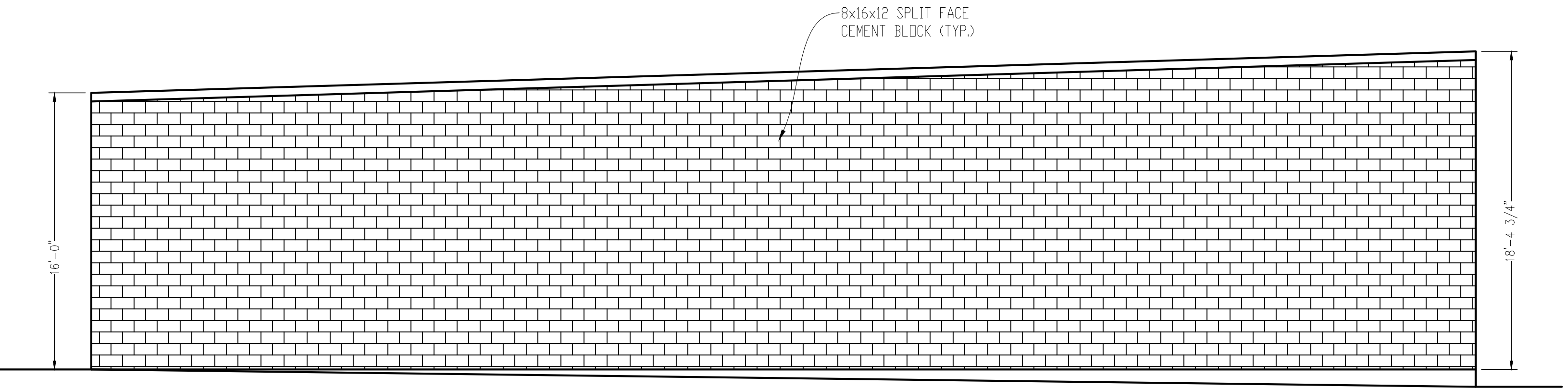
DRAWING NO.

S-3



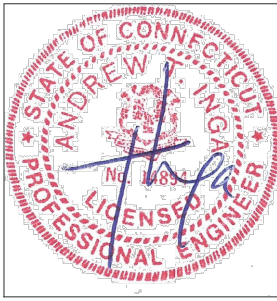
LEFT ELEVATION

Scale: 3/16" = 1'-0"



RIGHT ELEVATION

Scale: 3/16" = 1'-0"



1. Use Group Classification	IBC 306
Multiple Use	Factory (F2)
Ceramic @ Metal Products	
2. Construction Type	IBC 602.3
New Construction	Type IIIA
3. Building Height	IBC Table 503.4/503.4
Allowable Height (F2)	5 Story/65ft
Actual Height (F2)	1 Story/17ft
allow. story>actual story	-OK
4a. Gross Building Perimeter	IBC 506.2
Total Perimeter	410ft
Open Perimeter>20' three sides	330ft
If =[330/410-.25]24/30=	44%open
4b. Gross Building Area - Main Level	IBC Table 506.2
Allowable (F2)	23000 sf/floor
Actual Area (F2)	10000 sf/floor
Allowable Area = At+(NSxIf)	33120 sf/floor
5. Design Occupant Load	IBC Table 1004.1.2
Industrial (F2) 100sf gr/person	$\frac{10000}{100}/4$
Total	25 people
	100 people
6. Number of Exits	IBC Table 1006.2.1
Required (F2)	1 door
Provided	2 doors
7. Travel Distance	IBC Table 1015.1
Maximum Allowed (F2)	75ft
Actual Maximum (F2)	26ft
8. Fire Resistance Ratings	IBC Table 601
Exterior Bearing Walls	2 hr
Interior Bearing Walls	1 hr
Non Bearing Wall Construction	0 hr
Roof Construction	1 hr
9. Fire Protection Systems	IBC 903.2.4/907.2.4
Fire Suppression	N/A
Fire Detection	No

LOADS

Dead Load	= 10 PSF
Live Load	= 125 PSF Light Manufacturing IBC Table 1607
Live Load	= 12 PSF Roof
Snow Load	= 30 PSF
Basic Wind Speed	= 95 MPH, Exposure B
Seismic Design Cat	= A
Site Class	= D

NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

ELEVATIONS



DATE 3/3/2021

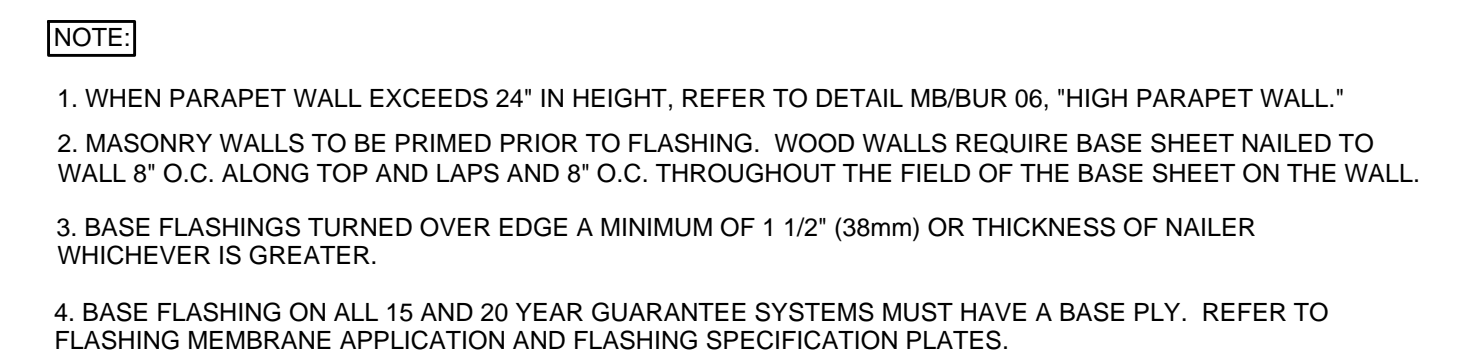
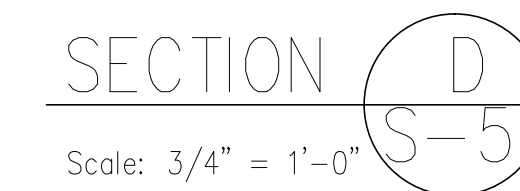
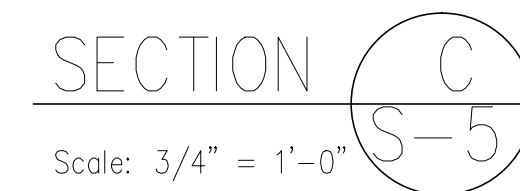
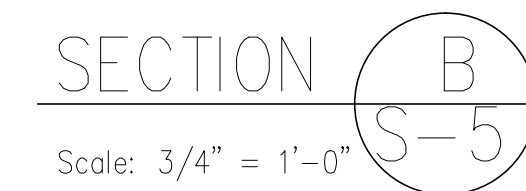
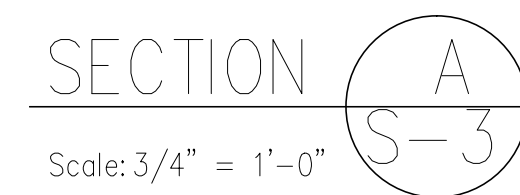
DRAWN BY T.I.

CHECKED BY T.I.

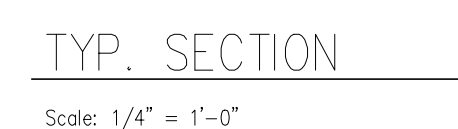
JOB NO. -----

DRAWING NO.

S-4

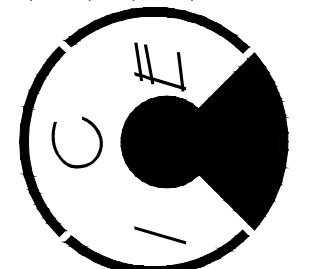


Scale: $1\frac{1}{2}'' = 1'-0''$



SECTIONS AND DETAILS

INGA CONSULTING ENGINEERS



DRAWING NO.

S-5