

CONSERVATION COMMISSION
TUESDAY APRIL 9, 2021 6:30 P.M.

The Conservation Commission will be meeting remotely by video conference call on Tuesday April 9, 2021 at 6:30 p.m. for the purposes of holding a regular meeting on the following matters.

Town of Berlin invited the public to join this WebEx meeting by video or phone dial-in.

Join from the meeting link

<https://townofberlin.my.webex.com/townofberlin.my/j.php?MTID=md37fe725c27cabb3f471ac4e90329d17>

Join by meeting number

Meeting number (access code): 132 796 7165

Meeting password: CC630 (22630 from phones and video systems)

Tap to join from a mobile device (attendees only)

+1-408-418-9388, 1327967165#22630# United States Toll

Some mobile devices may ask attendees to enter a numeric password.

Join by phone

+1-408-418-9388 United States Toll

Global call-in numbers

Join by video system, application or Skype for business

Dial 1327967165@webex.com

You can also dial 173.243.2.68 and enter your meeting number.

*The WebEx call to participate in this meeting is a toll call and you may incur additional charges for placing the call by your phone service provider. The Town does not reimburse participants for any toll charges. Please check with your phone service provider before making the call."

1. CALL TO ORDER

2. AUDIENCE OF CITIZENS

3. APPROVAL OF MINUTES: March 9, 2021

4. NEW BUSINESS

I. Proposed Amendment of Timothy Sullivan, Esq. to amend Section VIC2
(Special Design District Special Permit Uses)
Suggested Public Hearing
May 6, 2021

II. Site Plan Amendment Application of Gary Jacobs, Berlin Auction Group,
shed at 1660-1662 Berlin Turnpike
May 6, 2021 Agenda

III. Kev-Kai Properties, LLC
239 Christian Lane
10,000 s.f. office/warehouse building

IV. 224-256 Berlin Turnpike
224 Berlin Turnpike, LLC
10,000 s.f. office/warehouse building

V. Tasca Ford – 250 Webster Square & 73 Woodlawn Road

32,495 s.f. building – truck repair facility, parking, display areas and related improvements

VI. Italian Political Independent Club – 16 Harding Street – Special Event Craft Fair – August

VII. Special Permit Application for an Accessory Dwelling Unit

168 Blue Ridge Road

William Watson III, Applicant

April 15, 2021

VIII. Special Event Application of Keystone Novelties

Temporary Tent for the Sale of CT State Legal Sparkler Products

April 15, 2021

IX. Berlin Lions Agricultural Fair, Inc. 2021 Fairground Events

Joseph Dornfried, Esq., Applicant

April 15, 2021

7. OLD BUSINESS

6. USE OF TOWN LANDS

A. Community Garden:

- Opening and Closing Dates
- Garden Coordinator Opening.
- Well capacity discussion & other details of operation

B. Open Space discussion

- Woodlawn Parcel for Open Space use
- Relocation of access through nursery property, Chamberlain Highway

7. COMMISSIONER COMMENTS

8. CORRESPONDANCE

9. ADJOURNMENT

PLEASE EMAIL, MARLO MATASSA, MMATASSA@TOWN.BERLIN.CT.US - IF YOU ARE UNABLE TO ATTEND THE MEETING.

March 31, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Proposed Amendment to amend Section VIC2
(Special Design District Special Permit Uses)

APPLICANT: Timothy Sullivan, Esq.

PUBLIC HEARING: May 6, 2021

Department/District:

<input checked="" type="checkbox"/> Town Planner	<input type="checkbox"/> Building Official
<input type="checkbox"/> Assistant Town Planner/ZEO	<input type="checkbox"/> Berlin Water Control
<input type="checkbox"/> Engineering	<input type="checkbox"/> Health District
<input type="checkbox"/> Kensington Fire District	<input type="checkbox"/> Fire Marshal
<input type="checkbox"/> Worthington Fire District	<input type="checkbox"/> Board of Police Commissioners
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Inland Wetlands
<input checked="" type="checkbox"/> Conservation Commission	<input type="checkbox"/> Police Chief

☐ No Comment

☐ Comments:

Signature/Date



Wisniowski & Sullivan, LLC
Attorneys at Law

Wanda L. Wisniowski
Also admitted in New York

Timothy Sullivan

Please respond to our Southington office

March 24, 2021

Berlin Planning & Zoning Commission
c/o Maureen Giusti
240 Kensington Road
Berlin, CT 06037

**RE: Proposed Text Amendment to the Berlin Zoning Regulations
Section VI C2**

Dear Mrs. Giusti:

As we discussed, enclosed please find a proposed text amendment together with a check in the amount of Four Hundred Sixty and 00/100 (\$460.00) Dollars. Also enclosed is a narrative supporting the proposed Section VI C2.

Sincerely

Timothy Sullivan

ETS/AM
Enc.

**Town of Berlin
Received**

MAR 25 2021

**Planning & Zoning Department
Berlin, Connecticut**

\$460 paid 3/25/21

PROPOSED AMENDMENT TO SECTION VI C2 OF THE BERLIN ZONING REGULATIONS

- b. (Previously "Reserved") Stores or shops for the conduct of personal service business.
- h. (New) Schools operated for profit; studies of dance, photography, graphic design, painting or similar artistic endeavors.

**Town of Berlin
Received**

MAR 25 2021

**Planning & Zoning Department
Berlin, Connecticut**

NARRATIVE SUPPORTING

PROPOSED AMENDMENT TO SECTION VI C2 OF THE BERLIN ZONING REGULATIONS

The proposed amendment to the Special Design District – Regional Center (SP-DD) is supported by the Town's Plan of Conservation and Development ("POCD") in that it expands allowable uses in the SP-DD zone which targets the properties historically identified as the "Golden Triangle" along the Berlin Turnpike. The POCD emphasizes flexibility over rigidity so as not preclude opportunity that enables and grows new business.

The expansion of allowable uses in the SP-DD zone is especially critical on the Berlin Turnpike which is experiencing a transformational era. The properties within the SP-DD zone are identified in the POCD as a Targeted Economic Development Sites ("TED"). The POCD supports embracing new opportunities which, in the discretion of the Planning & Zoning Commission, accommodates economic growth enterprises.

**Town of Berlin
Received**

MAR 25 2021

**Planning & Zoning Commission
Berlin, Connecticut**

March 31, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Site Plan Amendment - Shed
APPLICANT: Gary Jacobs – Berlin Auction Group
LOCATION: 1660-1662 Berlin Turnpike
PUBLIC HEARING: May 6, 2021

Department/District:

<input type="checkbox"/> Town Planner	<input type="checkbox"/> Building Official
<input type="checkbox"/> Assistant Town Planner/ZEO	<input type="checkbox"/> Berlin Water Control
<input type="checkbox"/> Engineering	<input type="checkbox"/> Health District
<input type="checkbox"/> Kensington Fire District	<input type="checkbox"/> Fire Marshal
<input type="checkbox"/> Worthington Fire District	<input type="checkbox"/> Board of Police Commissioners
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Inland Wetlands
<input type="checkbox"/> Conservation Commission	<input type="checkbox"/> Police Chief

☐ No Comment

☐ Comments:

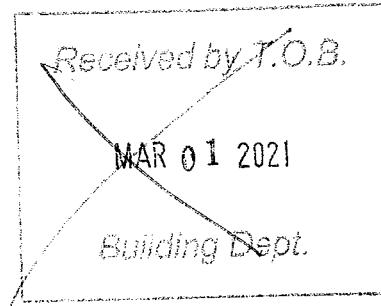
Signature/Date



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us



SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: Add 12' x 20' Kloter Farms Storage Shed
Property Owner(s): KEVIN GRAFT
Project Address*: 1660 Berlin Turnpike (1660-1662)
Map: _____ Block: _____ Lot: _____ Zone(s): _____ Lot Area: _____

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: GARY JACOB Firm Name: Berlin Auction Group
Street Address: 233 MAIN ST. City: East Berlin ST: CT Zip: 06023
Email: Rabbitone@Comcast.net Phone: 860-301-9054
Signature: Gary Jacob Date: 3/1/2021

Property Owner(s) Information (If Not the Applicant)

Name: KEVIN GRAFT Principal: Property Owner
Street Address: 50 RED HILL DR. City: Glastonbury ST: CT Zip: 06033
Email: _____ Phone: 860-988-7575

*Letter of Authorization Required

Received

MAR - 4 2021

Planning & Zoning Department
Berlin, Connecticut

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

This Site Plan Involves:

☐ Additions

☐ Alterations

☐ Demolition

☒ New Construction

Description of Project*: Add PORTABLE KLOTZ FARM STORAGE
Shed - North of EXISTING BUILDING - DETACHED. Size 12'x20'
FOR USE as STORAGE FOR Berlin Auction Group AND
TURNPIKE ANTIQUE & VINTAGE - TO ENHANCE STREET APPEAR
+ AVOID OUTSIDE CLUTTER.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)	<u>RETAIL</u>	<u>STORAGE ONLY</u>	
		<u>Shed</u>	
COMMERCIAL			
Gross Floor Area			
Parking Spaces			
INDUSTRIAL			
Gross Floor Area			
Parking Spaces			
RESIDENTIAL			
Number of Units			
Number of Bedrooms			
Gross Floor Area			
Parking Spaces			
OTHER USES			
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only: CHECK #2861

Fee Paid \$ 260.00 (Refer to current Fee Schedule)

Received by fms

**Town of Berlin
Received**

MAR - 4 2021

**Planning & Zoning Department
Berlin, Connecticut**

TO: Town of Berlin

Date: 3/1/2021 *3/24/21 - REVISED*

RE: Erecting a Storage Shed at 1660-1662 Berlin Turnpike, Turnpike Antiques & Vintage

 **FILE COPY**

We are applying for a permit to have a 12' x 20' Storage Shed added to the property at 1660-1662 Berlin Turnpike, home of Turnpike Antiques & Vintage. The property is owned by Kevin Graff, and we at Berlin Auction Group assist in operating the Antiques business. The shed is a Klotter Farms shed, and I've attached a photo of what the shed would look like. It's pre-constructed by Klotter Farms, and dropped on a crushed stone base.

The attached Site Map shows the shed as a black box where the shed would be positioned... basically it would be 20 feet behind the existing building, extending 20 ft. from that point, positioned facing northward aligned with the side of the building (shown in black square on the map). It would be utilized for storage only. There would be no access to the interior of the shop itself, only outside access for our drive-up storage needs.

As it is now, we've been storing items off-site and that option will no longer be available to us. The proposed storage building is attractive, and would not only be an upgrade to the property, but would also provide a nice street presence. We would continue to offer items we sell outside behind the existing fence, and make every effort to provide a clean and orderly look to the street. The building itself would be for storage only, not used as a selling space.

Berlin Auction Group also runs bi-weekly estate auctions at the American Legion facility in town and would utilize the storage shed for their storage needs as well.

Berlin Auction Group, LLC

P.O. Box 213, East Berlin, CT. 06023

PH: 860-301-9054 - Gary Jacobs & Jeph Perzan - Partners, Co-Owners & Berlin Residents

**Town of Berlin
Received**

MAR 25 2021

**Planning & Zoning Department
Berlin, Connecticut**

You will have to update your plans to revise the location if you wish. However, I wanted to give you something to work with rather than have it simply be rejected by a different agency. If you revise your plan, we can slip sheet it into your PZC application (please coordinate with Fran as you have before).

I know this has been through a few iterations and is frustrating, so please let me know if we can clarify further.

Adam Levitus, P.E.
Zoning Enforcement Officer
Town of Berlin – Planning and Zoning
240 Kensington Rd
Berlin, CT 06037
alevitus@town.berlin.ct.us
860-828-7008

April 5, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Site Plan – 10,000 s.f. Office/Warehouse Building
APPLICANT: KevKai Properties LLC
LOCATION: 239 Christian Lane
AGENDA: May 6, 2021

Department/District:

<input type="checkbox"/> Town Planner	<input type="checkbox"/> Building Official
<input type="checkbox"/> Assistant Town Planner/ZEO	<input type="checkbox"/> Berlin Water Control
<input type="checkbox"/> Engineering	<input type="checkbox"/> Health District
<input type="checkbox"/> Kensington Fire District	<input type="checkbox"/> Fire Marshal
<input type="checkbox"/> Worthington Fire District	<input type="checkbox"/> Board of Police Commissioners
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Inland Wetlands
<input type="checkbox"/> Conservation Commission	<input type="checkbox"/> Police Chief

☐ No Comment

☐ Comments:

Signature/Date

Town of Berlin

Geographic Information System (GIS)



Date Printed: 4/12/2021



NEGEO, State of CT

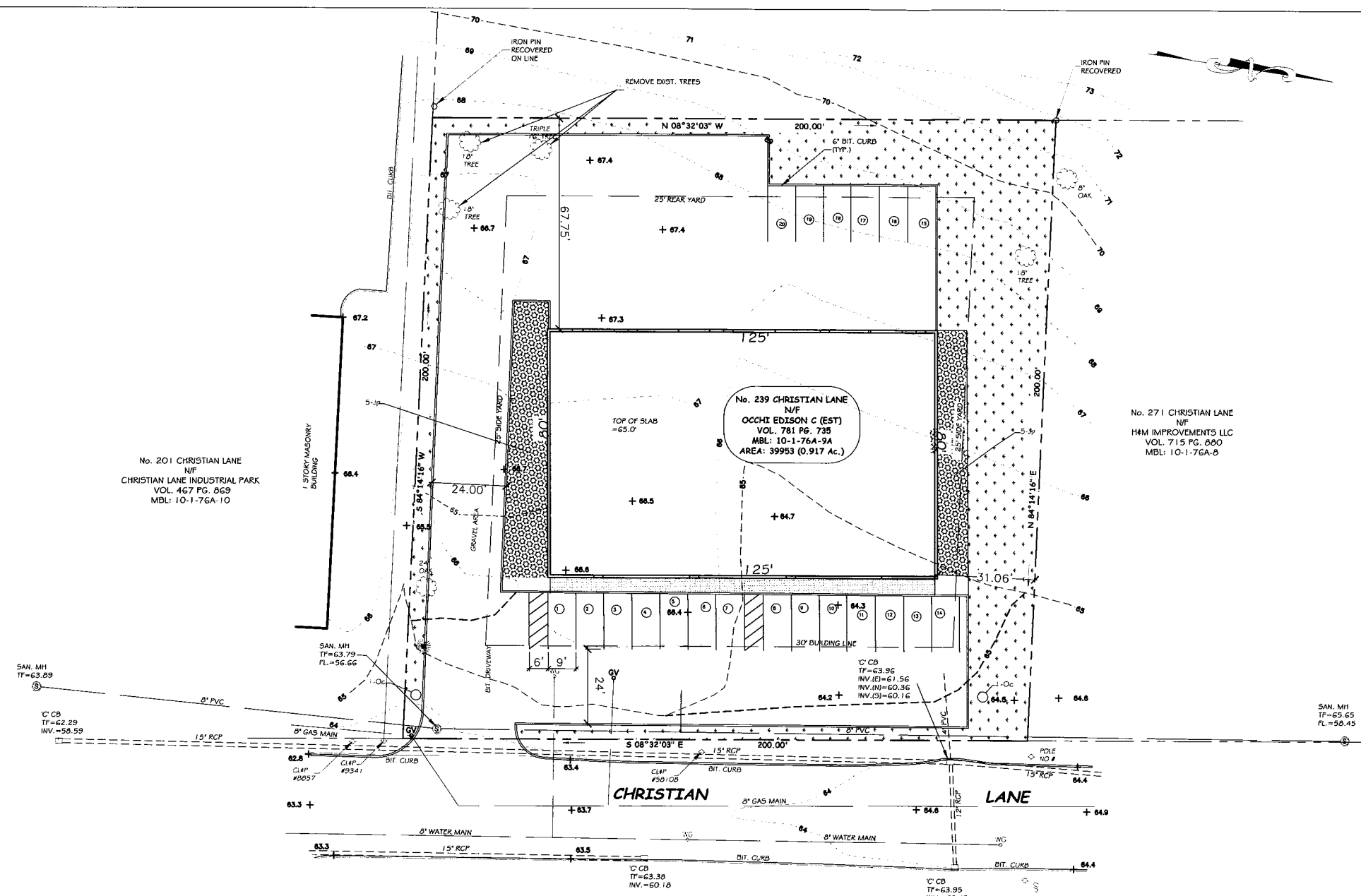
MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 150 feet

0 150
Feet





LEGEND

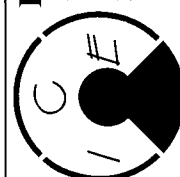
- PROPOSED CONTOUR MAJOR
- PROPOSED CONTOUR MINOR

- PROPOSED PAVEMENT
- PROPOSED GRASS AREA

ABV.	QTY.	BOTANICAL NAME	PLANTING LIST	COMMON NAME	SIZE	REMARKS
Jo	10	Juniperus horizontalis		Creeching Juniper	5' Gal.	
Oc	2	Prunus x Okame		Okame Cherry	2" Cal	

ZONE: 1 G1-2	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE - AC	0.50	0.917	0.917/197
MINIMUM LOT WIDTH - FT	100	200	200
FRONT YARD - FT	30	30	52.01
MINIMUM SIDEYARD STREET - FT	25	25	31.06'
MINIMUM REAR YARD	25'	25'	67.75'
MAXIMUM LOT COVER - %	35	0	25
MAXIMUM IMPERVIOUS COVER - %	80	5.3	71.4
MAXIMUM BUILDING HEIGHT - FT	45'	0'	18.7'
MAX. BUILDING HEIGHT - STORIES	3	0	1
MAX. FLOOR AREA RATIO	1	0	0.25
MAX. RESIDENTIAL DENSITY/ACRE	N/A	N/A	N/A
MIN. PARKING/LOADING SETBACK SIDE & REAR	5'	N/A	5'
MIN. PARKING/LOADING SETBACK FRONT YARD	5'	N/A	5'
MAX. PARKING SPACES OF GFA	N ₆₀₀	0	1000/600 = 20
* DENOTES NON CONFORMING			

INGA CONSULTING ENGINEERS
ARCHITECTURAL/CIVIL/STRUCTURAL/SURVEY CONSULTANTS
139 WHITNEY STREET, HARTFORD, CT 06105
Phone: (860) 233-4991 E-mail: T@ingaengineers.com

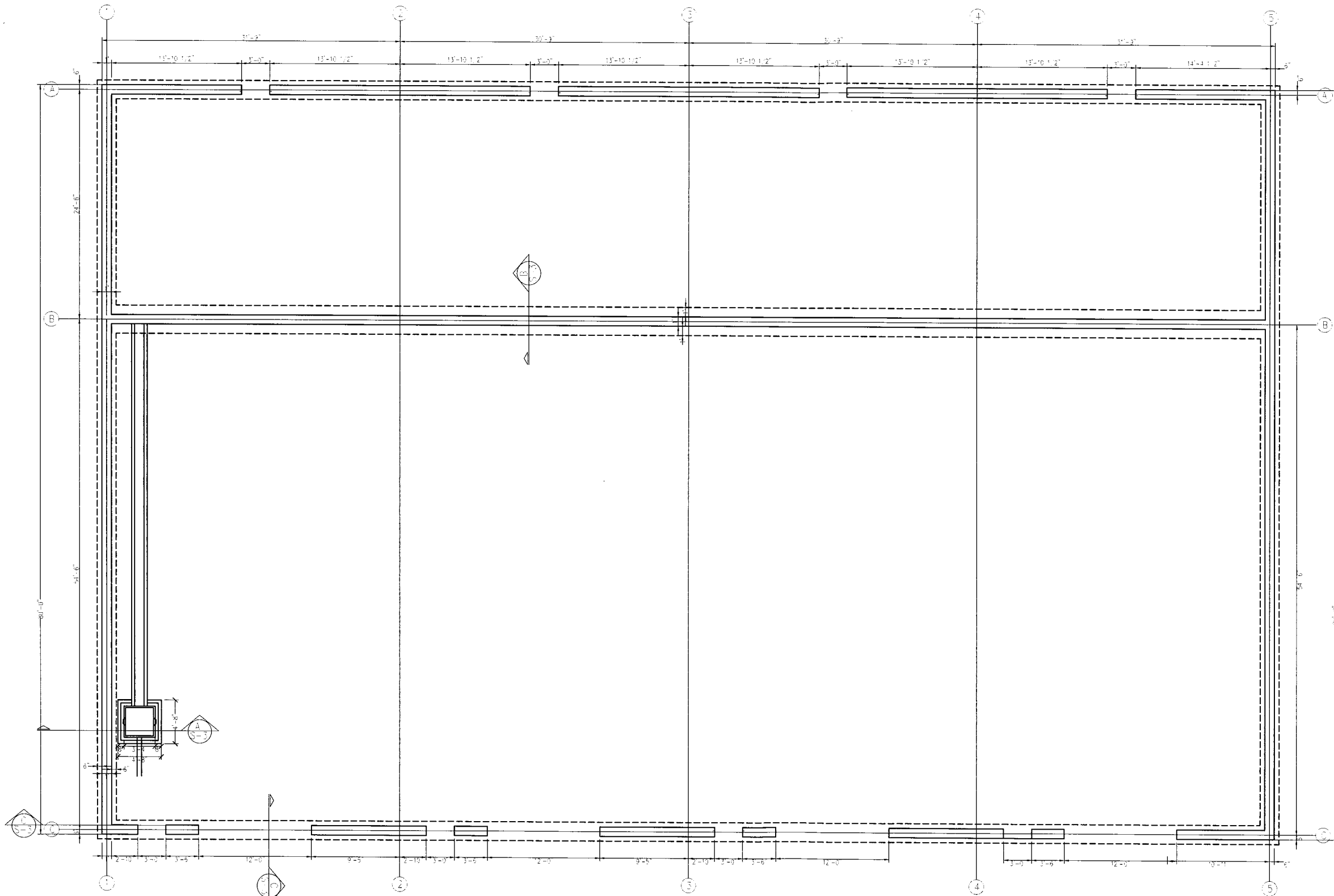


DATE 01/08/2021
CHECKED BY T.I.
JOB NO.
DRAWING NO.

C1

Town of Berlin
Received
APR 01 2021
Planning & Zoning Department
Berlin, Connecticut

ZONING LOCATION SURVEY
SHOWING PROPOSED NEW BUILDING AT
239 CHRISTIAN LANE
BERLIN, CONNECTICUT
PREPARED FOR
GRIFFO PROPERTIES



FOOTING PLAN

Scale: 3/16" = 1'-0"

- NOTES:
1. Soil Bearing Pressure = 3000PSF
 2. Where unsuitable foundation material is identified by the Owner's representative, the following shall be performed: Undisturbed soil directly under affected spread footings must be cut to a minimum depth of 4'-0" below bearing surface and 4'-0" (2'-0" each side) wider than wider than footing, and replaced with engineering controlled fill.
 3. Concrete shall be normal weight, with compressive strength of 3000psi in 28 days.
 4. Reinforcing steel shall conform to A.S.T.M. Specification A-615 Grade 60. Bars shall be deformed.
 5. All concrete and reinforcing bars shall be furnished, fabricated and erected in accordance with the latest A.C.I. Standard Building Code Requirements for Reinforced Concrete (ACI-318) and A.C.I. Specification for Structural Concrete for Buildings (ACI-308).
 6. Mortar type shall be M or S.
 7. Backfill for the walls must be accomplished such that there will be little or no rotation of the walls.

NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

FOUNDATION PLAN

INGA CONSULTING
ENGINEERS



DATE 3/3/2021

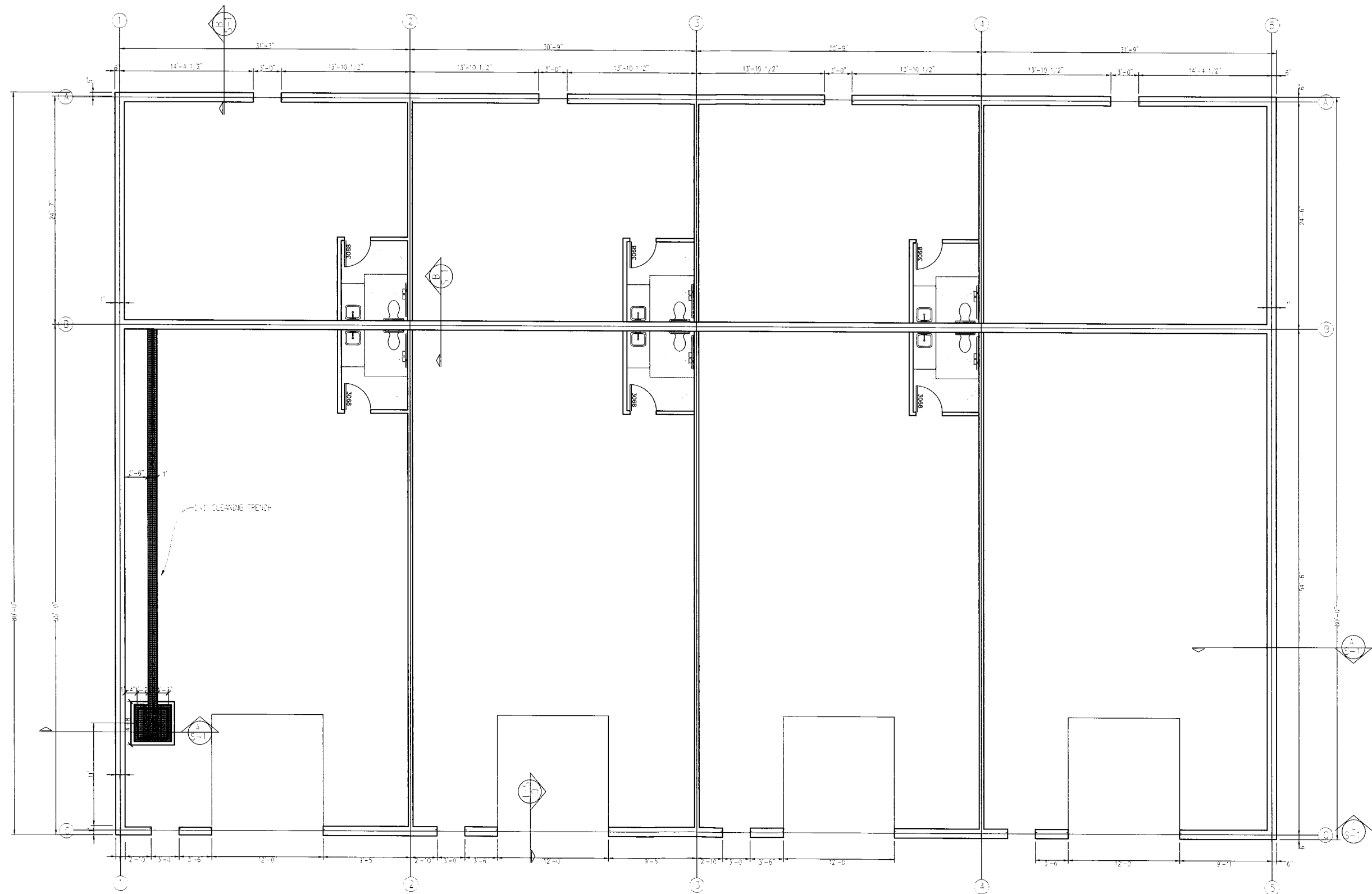
DRAWN BY T.I.

CHECKED BY T.I.

JOB NO. -----

DRAWING NO.

S-1



FLOOR PLAN
Scale: 3/16" = 1'-0"

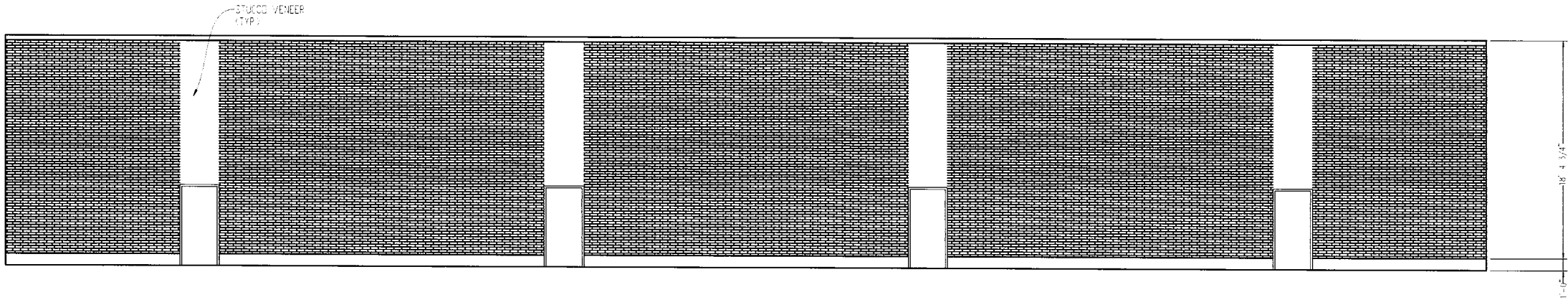
NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

FIRST FLOOR PLAN



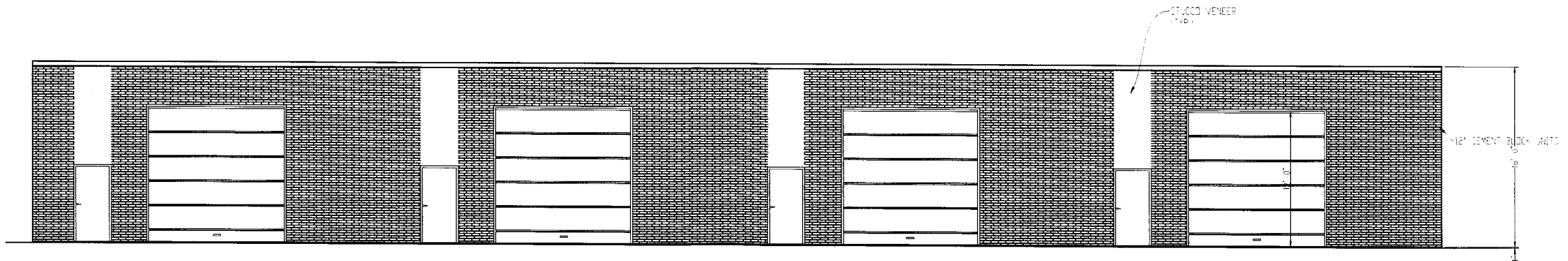
DATE 3/24/21
DRAWN BY T.I.
CHECKED BY T.I.
JOB NO. ---
DRAWING NO.

S-2



FRONT ELEVATION

Scale: 3/16" = 1'-0"



REAR ELEVATION

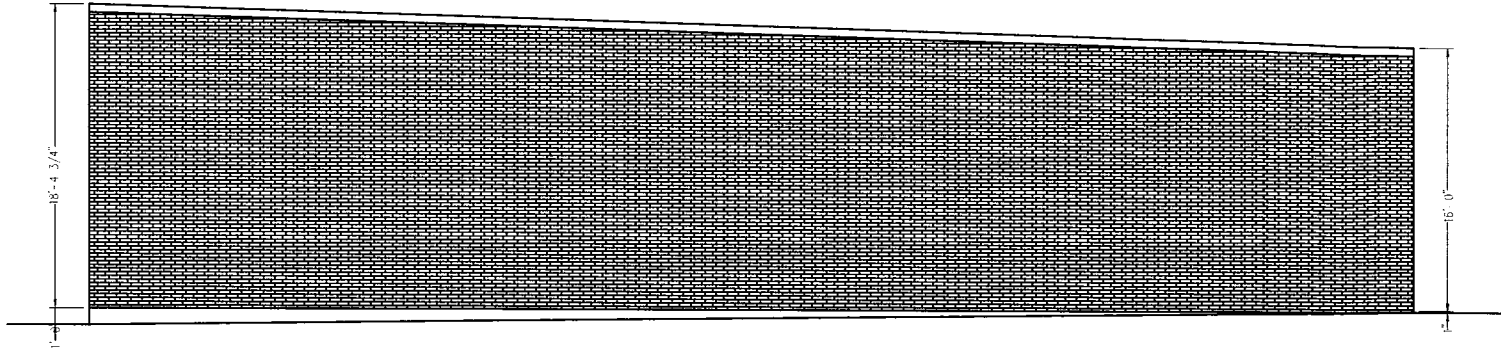
NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

SECTIONS AND DETAILS



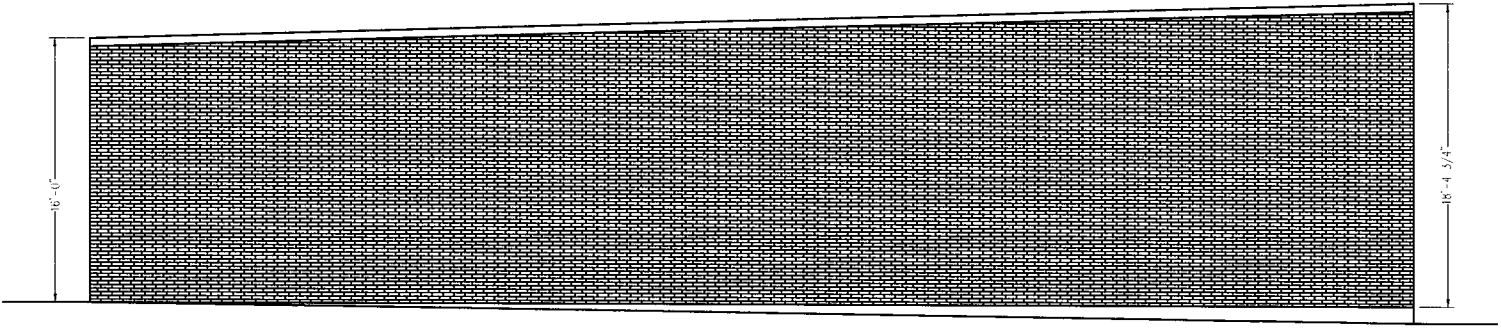
DATE 3/3/2021
DRAWN BY T.J.
CHECKED BY T.J.
JOB NO. -----
DRAWING NO.

S-3



LEFT ELEVATION

Scale: 3/16" = 1'-0"



RIGHT ELEVATION

Scale: 3/16" = 1'-0"

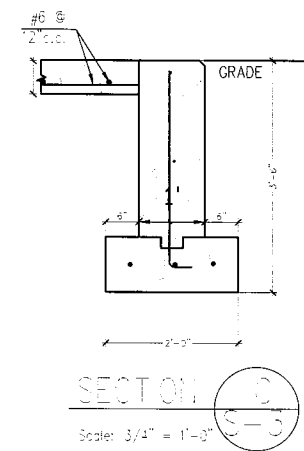
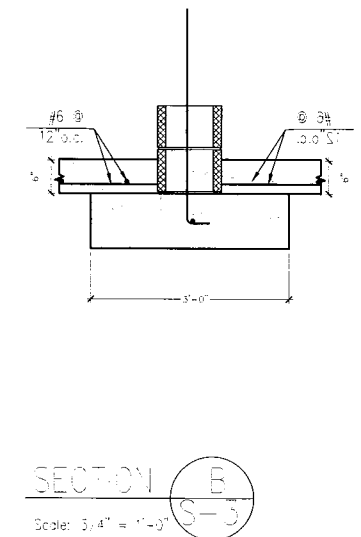
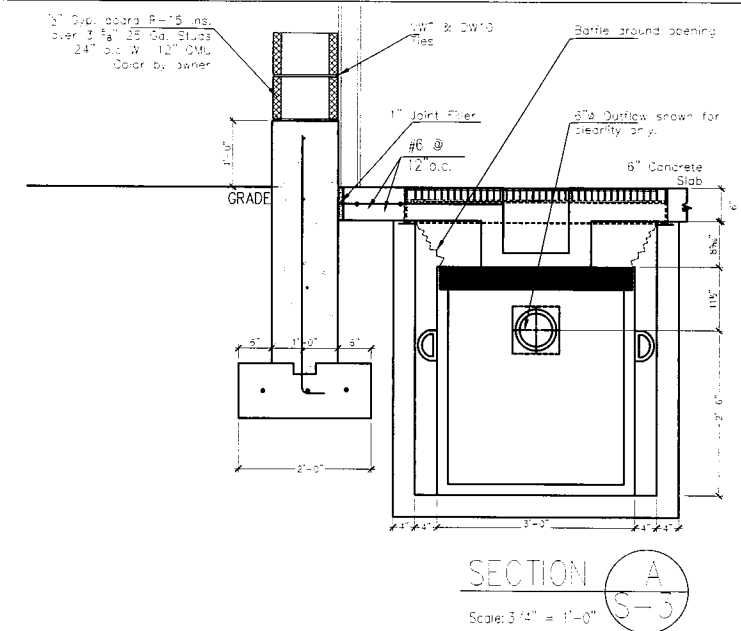
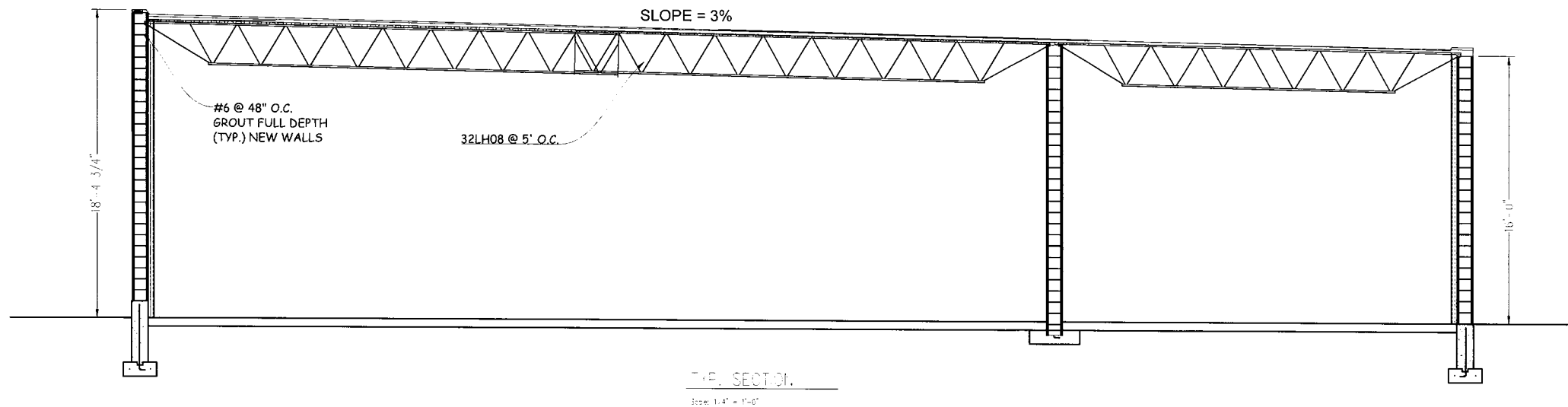


NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

SECTIONS AND DETAILS

DATE 3/3/2021
DRAWN BY T.I.
CHECKED BY T.I.
JOB NO. -----
DRAWING NO.

S-4



Town of Berlin
Received

APR 01 2021

Planning & Zoning Department
Berlin, Connecticut

NEW BUILDING
239 CHRISTIAN LANE
BERLIN, CONNECTICUT

SECTIONS AND DETAILS

INGA CONSULTING
ENGINEERS

DATE 3/3/2021
DRAWN BY T.J.
CHECKED BY T.J.
JOB NO. -----
DRAWING NO.

S-5

April 5, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Site Plan Amendment
Modification to front and rear parking areas and
rear access drive aisle

APPLICANT: 224 Berlin Turnpike, LLC (John Orsini)

LOCATION: 224-256 Berlin Turnpike

AGENDA: May 6, 2021

Department/District:

<input type="checkbox"/> Town Planner	<input type="checkbox"/> Building Official
<input type="checkbox"/> Assistant Town Planner/ZEO	<input type="checkbox"/> Berlin Water Control
<input type="checkbox"/> Engineering	<input type="checkbox"/> Health District
<input type="checkbox"/> Kensington Fire District	<input type="checkbox"/> Fire Marshal
<input type="checkbox"/> Worthington Fire District	<input type="checkbox"/> Board of Police Commissioners
<input type="checkbox"/> Board of Education	<input type="checkbox"/> Inland Wetlands
<input type="checkbox"/> Conservation Commission	<input type="checkbox"/> Police Chief

☐ No Comment

☐ Comments:

Signature/Date



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: Mixed Use Development
Property Owner(s): 224 Berlin Turnpike, LLC
Project Address*: 224-256 Berlin Turnpike, Berlin, CT
Map: 4-4 Block: 82-18 Lot: 7715 Zone(s): PS-B Lot Area: 18.53

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: 224 Berlin Turnpike, LLC Firm Name: c/o Hallisey, Pearson & Cassidy Engineering Assoc., Inc.
Street Address: 630 Main Street City: Cromwell ST: CT Zip: 06416
Email: jcassidy@hpcengr.com Phone: 860-529-6812
Signature: _____ Date: 03/31/2021

Property Owner(s) Information (If Not the Applicant)

Name: 224 Berlin Turnpike, LLC Principal: John L. Orsini, Member
Street Address: 1180 North Colony Road City: Wallingford ST: CT Zip: 06492
Email: jorsini@executiveag.com Phone: 860-949-7400

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

Received

APR 01 2021

This Site Plan Involves:

☐ Additions ☒ Alterations ☐ Demolition ☐ New Construction

Description of Project*: Modification to front and rear parking areas and rear access drive aisle.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS *

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)			
COMMERCIAL			
Gross Floor Area			
Parking Spaces			
INDUSTRIAL			
Gross Floor Area			
Parking Spaces			
RESIDENTIAL			
Number of Units			
Number of Bedrooms			
Gross Floor Area			
Parking Spaces			
OTHER USES			
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only:

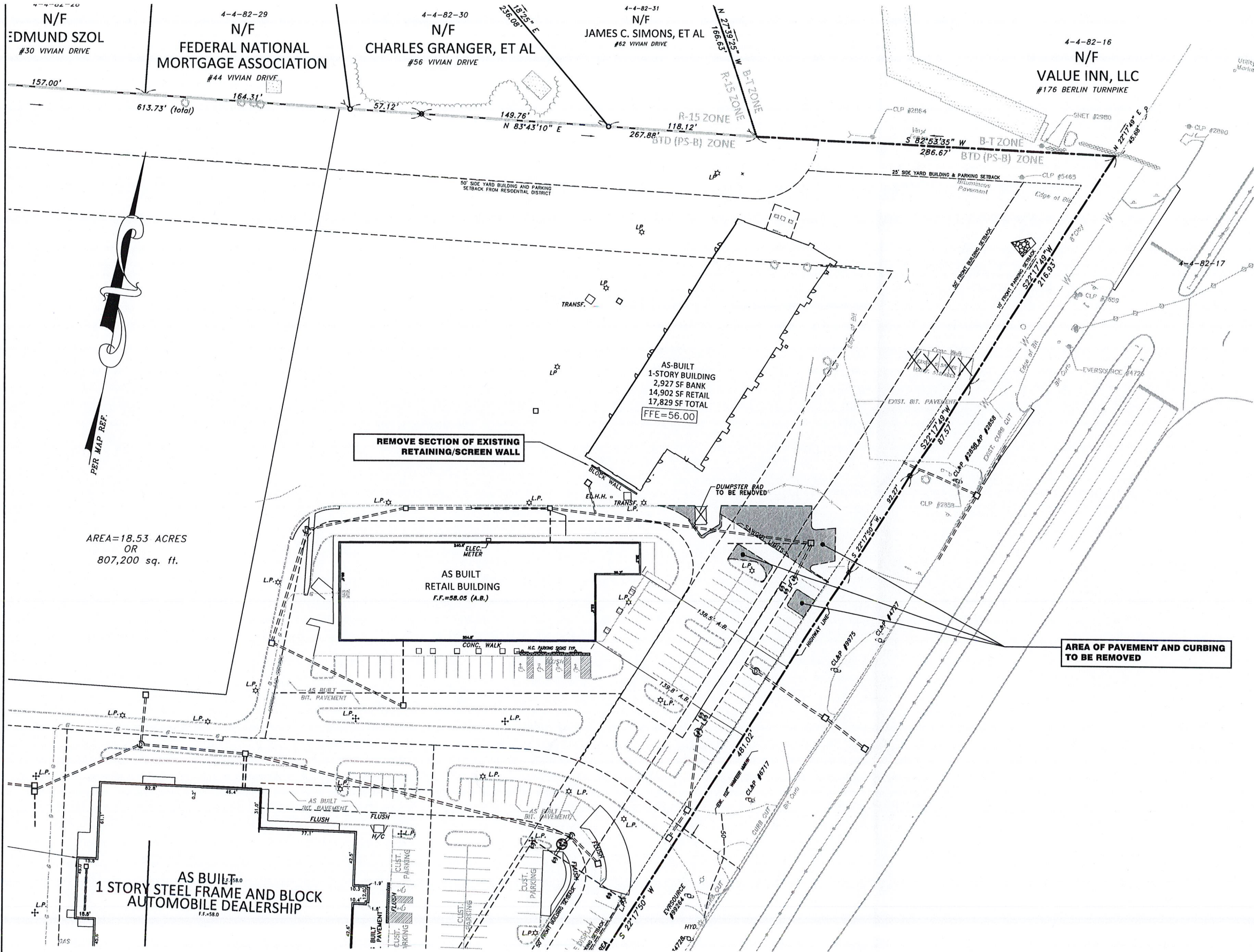
Fee Paid \$ 260.- (Refer to current Fee Schedule)

Received by: fms

*all as originally proposed per the original approved site plan.

**Town of Berlin
Received**

APR 01 2021



AREA=18.53 ACRES
OR
807,200 sq. ft.

REMOVE SECTION OF EXISTING
RETAINING/SCREEN WALL

AS BUILT
RETAIL BUILDING
F.F.=58.05 (A.B.)

AREA OF PAVEMENT AND CURBING
TO BE REMOVED

GENERAL NOTE FOR SITE PREPARATION

1. PRIOR TO ANY CONSTRUCTION OPERATIONS, THE CONTRACTOR SHALL ESTABLISH ADEQUATE LAYOUT AND GRADING INFORMATION FOR PROPOSED WORK TO ALLOW FOR THE EVALUATION OF ITS RELATIONSHIP TO EXISTING SITE FEATURES AND VEGETATION. IF REQUIRED, FIELD MODIFICATIONS SHALL BE MADE AS AUTHORIZED BY THE ENGINEER TO ADDRESS EXISTING SITE CONDITIONS.
2. SITE LAYOUT & PROPOSED GRADES ARE TO BE STAKED IN THE FIELD AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO THE BEGINNING OF THE CONSTRUCTION OPERATIONS.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE INSIDE AND OUTSIDE THE PROPERTY LIMIT LINE DUE TO CONSTRUCTION OPERATIONS FROM THIS PROJECT.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD BEFORE BEGINNING ANY EXCAVATION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" - 811 - AT LEAST 72 HOURS PRIOR TO START OF WORK.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO FIRE HYDRANTS AND SITE FOR EMERGENCY SERVICES AT ALL TIMES.
6. THE CONTRACTOR SHALL COMPLY WITH ALL STATE, LOCAL AND FEDERAL REGULATIONS.
7. INSTALL SEDIMENT AND EROSION CONTROL MEASURES AT THE DIRECTION OF THE ENGINEER AND IN ACCORDANCE WITH THE STATE OF CONNECTICUT GUIDELINES FOR SEDIMENT AND EROSION CONTROL.
8. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION.
9. MATERIAL STAGING AREAS SHALL BE ESTABLISHED IN COORDINATION WITH THE OWNER, OR THEIR REPRESENTATIVE AT THE SITE.
10. CONTAMINATED SOILS, IF ENCOUNTERED, SHALL BE STOCKPILED ON-SITE (SEE PREVIOUS NOTE) AT THE DIRECTION OF THE ENGINEER, PRIOR TO OFF-SITE DISPOSAL/RECYCLING.
11. BACKFILL AND SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DRY DENSITY. PERCENT COMPACTING SHALL BE DEFINED AS THE RATIO OF THE FIELD DRY DENSITY, DETERMINED BY AASHTO T180 (METHOD D), TO THE MAXIMUM DRY DENSITY.

LEGEND

- | | |
|-----|---|
| --- | EXISTING PROPERTY LINE |
| --- | EXISTING EDGE OF PAVEMENT |
| --- | IRON PIN OR IRON PIPE FOUND |
| --- | CONC. MERESTONE OR CHD FND. |
| --- | EXISTING TREE LINE |
| --- | EXISTING CONTOUR |
| --- | EXISTING SPOT GRADE |
| --- | EXISTING TELEPHONE POLE |
| --- | EXISTING BIT. CURB |
| --- | EXISTING CONC. CURB |
| --- | EXISTING STORM DRAINAGE SYSTEM |
| --- | EXISTING WATER MAIN |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING GAS MAIN |
| --- | EXISTING OVERHEAD WIRES |
| --- | LIMITS OF FLAGGED WETLANDS |
| --- | LIMITS OF 100' UPLANDS REVIEW AREA |
| --- | EXISTING FENCE |
| --- | EXISTING VEGETATION OR ISLAND TO BE REMOVED |
| --- | EXISTING STRUCTURE TO BE REMOVED |
| --- | EXISTING STRUCTURE AND PIPE TO BE REMOVED |

Town of Berlin
Received

APR 01 2021

Planning & Zoning Department
Berlin, Connecticut

GRAPHIC SCALE

(IN FEET)
1 inch = 40 ft.

SITE DEMOLITION PLAN

PREPARED FOR

196 WILBUR CROSS HIGHWAY, BERLIN, LLC

224 BERLIN TURNPIKE, LLC

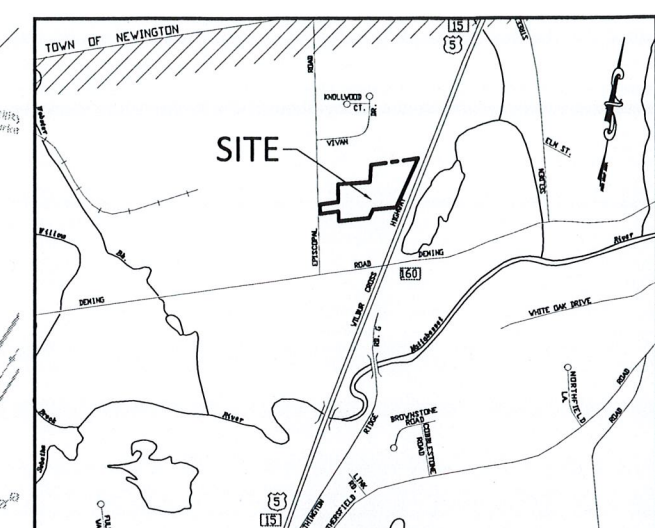
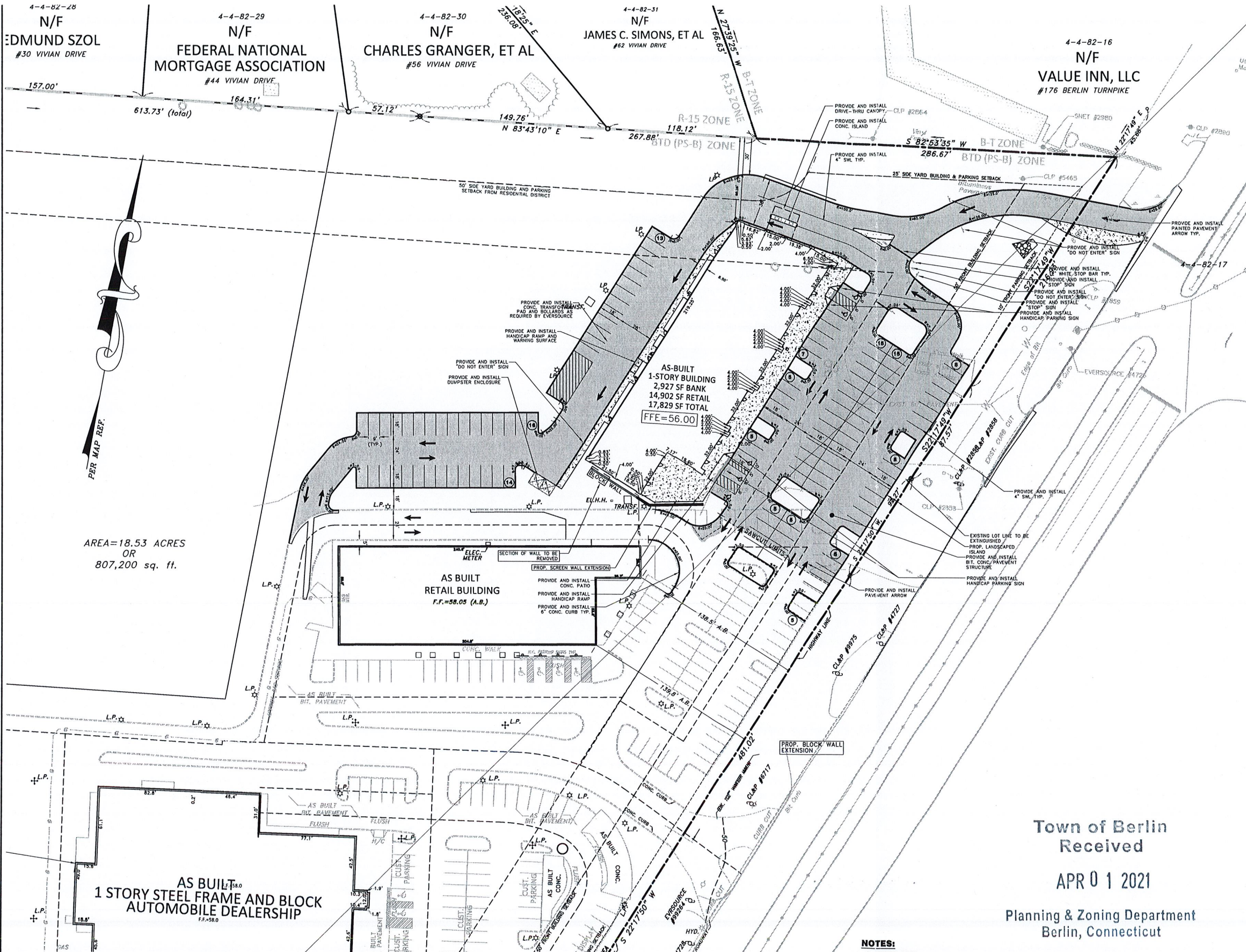
& JOHN L. ORSINI

#224-256 BERLIN TURNPIKE & EPISCOPAL ROAD
BERLIN, CONNECTICUT

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS
650 MAIN STREET, UNIT #1A
CROMWELL, CONNECTICUT 06416
PHONE: (860)-529-6812, FAX: (860)-721-7709

CHECKED BY: JPC
DATE: MAR. 29, 2021
JOB No.: 2783
SHEET: 1
OF: 3
REVISIONS:





ITEM #	ITEM	REQUIREMENTS	PROPOSED	VARIANCE
1	BUILDING SIZE	NONE REQUIRED	218,400 S.F.	NO
2	PARKING REQUIRED	PROPOSED MULTI-FAMILY DWELLINGS 7 SPACES PER EVERY DWELLING UNIT TOTAL REQUIRED = 168 SPACES PROPOSED RETAIL 1 SPACE PER EVERY 250 S.F. OF GROSS FLOOR AREA (14,902 S.F.) TOTAL REQUIRED = 60 SPACES PROPOSED BANK 1 SPACE PER EVERY 300 S.F. OF GROSS FLOOR AREA (2,927 S.F.) TOTAL REQUIRED = 10 SPACES EXISTING RETAIL 1 SPACE PER EVERY 250 S.F. OF GROSS FLOOR AREA (17,328 S.F.) TOTAL REQUIRED = 70 SPACES EXISTING AUTOMOTIVE SALES ESTABLISHMENT AS DETERMINED BY COMMISSION	PROPOSED MULTI-FAMILY DWELLINGS 218 SPACES PROPOSED RETAIL & BANK 65 SPACES PROPOSED ADDITIONAL OVERFLOW PARKING 14 SPACES EXISTING RETAIL 85 SPACES EXISTING AUTOMOTIVE 100 SPACES PLUS INVENTORY STORAGE AREAS	NO
3	MIN. HANDICAPPED PARKING SPACES REQUIRED	17 SPACES	17 SPACES	NO
4	MIN. PARKING DIMENSIONS	9 FEET X 18 FEET - 90" 9 FEET X 18 FEET - 60"	9 FEET X 18 FEET - 90" 9 FEET X 18 FEET - 60"	NO
5	MIN. AISLE WIDTH	24 FEET - 90" - 1-WAY 24 FEET - 90" - 2-WAY 18 FEET - 60" - 2-WAY	24 FEET - 90" - 1-WAY 24 FEET - 90" - 2-WAY 18 FEET - 60" - 2-WAY	NO
6	MAX. DRIVEWAY WIDTH	30 FEET	30 FEET	NO
7	MIN. FRONT PARKING SETBACK	10 FEET	10 FEET	NO
8	MIN. SIDE PARKING SETBACK	25 FEET	25 FEET	NO
9	MIN. SIDE PARKING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	50 FEET	50 FEET	NO
10	MIN. REAR PARKING SETBACK	25 FEET	N/A	NO
11	MIN. REAR PARKING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	100 FEET	N/A	NO
12	LOADING SPACE REQUIRED	4 SPACES	4 SPACES	NO
13	MIN. FRONT LOADING SETBACK	10 FEET	254 FEET	NO
14	MIN. LOADING DIMENSIONS	15 FEET X 40 FEET	15 FEET X 40 FEET	NO
15	MIN. SIDE LOADING SETBACK	50 FEET	68 FEET	NO
16	MIN. SIDE LOADING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	100 FEET	185 FEET	NO
17	MIN. REAR LOADING SETBACK	50 FEET	N/A	NO
18	MIN. REAR LOADING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	100 FEET	N/A	NO
19	MIN. INTERIOR LANDSCAPING	15 PERCENT OF GROSS PAVED PARKING LOT AREA	15.15%	NO

ITEM #	ITEM	REQUIREMENTS	ZONE REQ.	PROPOSED	VARIANCE
1	MIN. LOT AREA	10 ACRES	BTD	18.53 ACRES	NO
2	MIN. LOT WIDTH	300 FEET	BTD	767 FEET	NO
3	MIN. LOT DEPTH	600 FEET	BTD	620 FEET	NO
4	MIN. LOT FRONTAGE	NONE REQUIRED	-	787 FEET	NO
5	MIN. FRONT BUILDING SETBACK	50 FEET	PS-B	100 FEET	NO
6	MIN. SIDE BUILDING SETBACK	25 FEET	PS-B	30 FEET	NO
7	MIN. SIDE BUILDING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	50 FEET	BTD	50 FEET	NO
8	MIN. REAR BUILDING SETBACK	100 FEET	PS-B	N/A	NO
9	MIN. REAR BUILDING SETBACK WHEN ABUTTING A RESIDENTIAL DISTRICT	100 FEET	PS-B	N/A	NO
10	MAX. NUMBER OF DWELLING UNITS PER ACRE	4 UNITS PER ACRE (72 UNITS ALLOWED)	BTD	4.53 UNITS PER ACRE (84 UNITS)	YES
11	MAX. BUILDING HEIGHT	65 FEET *	BTD	<65 FEET	NO
12	MAX. NUMBER OF STORIES	3 STORIES	BTD	3 STORIES	NO
13	MAX. BUILDING COVERAGE	30 PERCENT	PS-B	27.1 PERCENT	NO
14	MAX. BUILDING IMPERVIOUS SURFACE COVERAGE	80 PERCENT	PS-B	<80 PERCENT	NO
15	MAX. FLOOR AREA (FAR)	0.75	BTD	0.24	NO
16	DETACHED ACCESSORY BUILDING - MIN. DISTANCE FROM PRINCIPAL BUILDING	12 FEET	PS-B	39 FEET	NO
17	DETACHED ACCESSORY BUILDING - MIN. DISTANCE FROM SIDE LOT LINE	100 FEET	PS-B	30 FEET	YES
18	DETACHED ACCESSORY BUILDING - MIN. DISTANCE FROM REAR LOT LINE	100 FEET	PS-B	N/A	NO
19	DETACHED ACCESSORY BUILDING - MIN. DISTANCE FROM FRONT LOT LINE	100 FEET	PS-B	102 FEET	NO

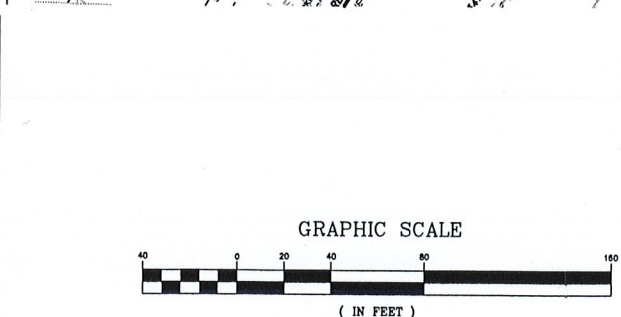
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON:

Paul A. Hallisey
PAUL A. HALLISEY, L.S. LIC. NO. 7761 DATE: MARCH 29, 2021

THIS DOCUMENT AND COPIES THEREOF ARE VALID ONLY IF THEY BEAR THE SIGNATURE AND EMBOSSED SEAL OF THE DESIGNATED LICENSED PROFESSIONAL. UNAUTHORIZED ALTERATIONS TO THIS PLAN RENDER THE DECLARATION HEREON NULL AND VOID. VALID ONLY ON MAPS BEARING EMBOSSED SURVEYOR'S SEAL.

LEGEND

--- EXISTING PROPERTY LINE	--- EXISTING SPOT GRADE
⊙ I.P. FND. OR I.P. FND. C.M.S. FND. OR C.H.D. FND.	--- LIMITS OF TOWN WETLANDS
--- EXISTING TREE LINE	--- LIMITS OF FLAGGED WETLANDS
--- EXISTING TELEPHONE POLE	--- LIMITS OF 50' UPLANDS REVIEW AREA
--- EXISTING BIT. CURB	○ IRON PIN TO BE SET
--- EXISTING EDGE OF PAVEMENT	--- EXISTING STORM DRAINAGE SYSTEM
--- EXISTING STONE WALL	--- EXISTING WATER MAIN
--- EXISTING FENCE	--- EXISTING SANITARY SEWER



NOTES:

1. SURVEY NOTES:

-This survey has been prepared pursuant to the Regulation of Connecticut State Agencies Section 20-300b-1 Through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1998.

-Type Of Survey Is IMPROVEMENT LOCATION-RECORD

-Boundary Determination Category Is: DEPENDENT RESURVEY OF MAP REF..

-Class of Accuracy Is: HORIZ.-"A-2"

2. PROPERTY IS ZONED: PS-B (PLANNED SHOPPING-B)

3. LOT AREA = 345,460 sq. ft. or 7.9307 acres.

4. PROPERTY LIES IN FLOOD ZONE "X" MINIMUM RISK AREA OUTSIDE 1% AND 0.2% ANNUAL CHANCE FLOOD PLAIN PER F.I.R.M. NO. 09007C0513F. PANEL 513 OF 875. DATED: SEPTEMBER 26, 2008.

5. MAP REFERENCE:

A.) "SITE LAYOUT PLAN ACCURA OF BERLIN 224-256 BERLIN TURNPIKE & EPISCOPAL ROAD, BERLIN, CONNECTICUT" DATED: AUGUST 31, 2015. REVISED TO: NOVEMBER 19, 2015. SCALE: 1"=40". PREPARED BY: CLOSE, JENSEN & MILLER.

6. PROPERTY MAY BE BURDENED AND/OR BENEFITED BY RECORDED AND/OR UNRECORDED EASEMENTS.

Town of Berlin
Received
APR 01 2021
Planning & Zoning Department
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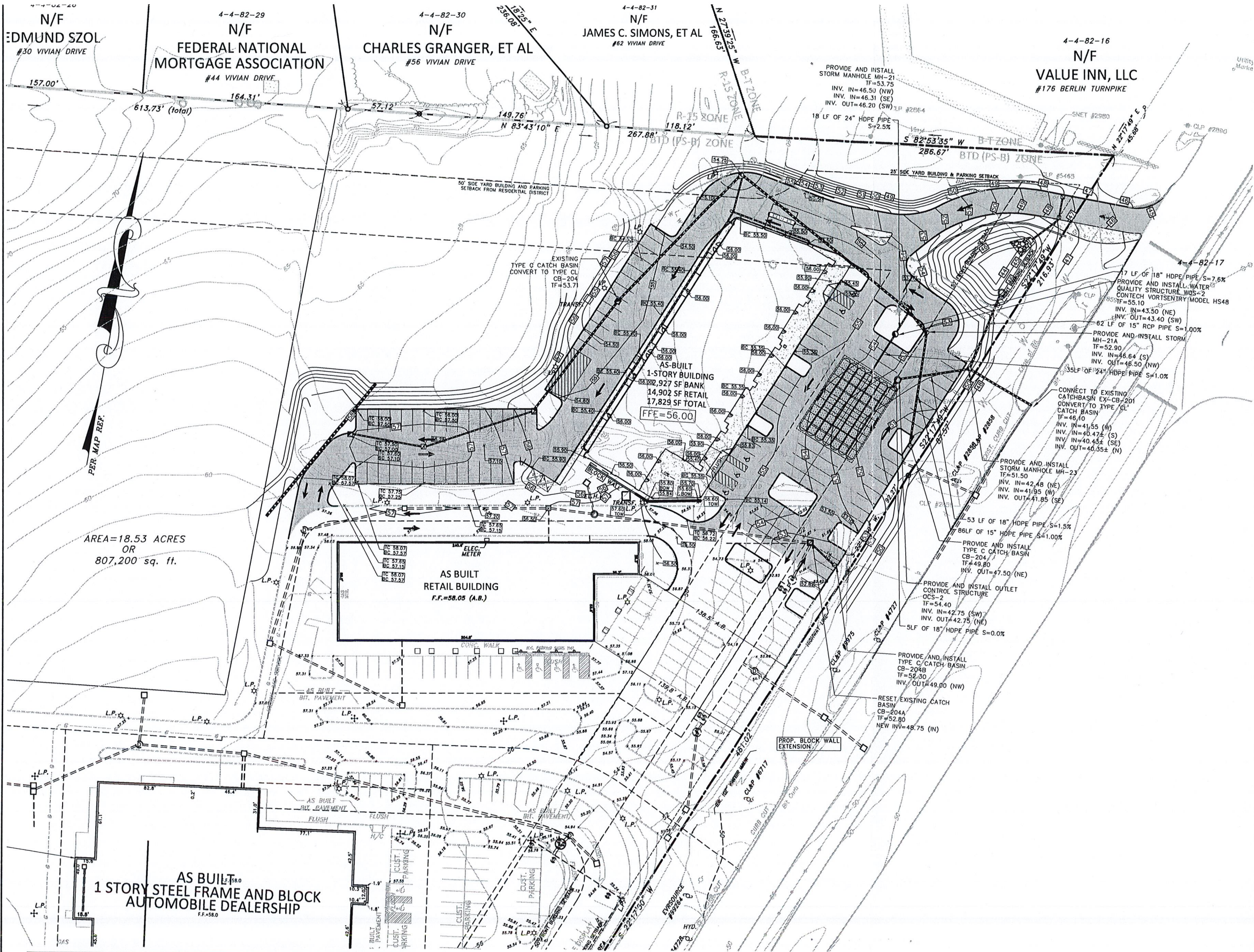
ZONING IMPROVEMENT LOCATION SURVEY-RECORD

PREPARED FOR
196 WILBUR CROSS HIGHWAY, BERLIN, LLC
224 BERLIN TURNPIKE, LLC
& JOHN L. ORSINI
#224-256 BERLIN TURNPIKE & EPISCOPAL ROAD
BERLIN, CONNECTICUT

CHECKED BY: JPC
DATE: MAR. 29, 2021
JOB NO.: 2783
SCALE: 1"=40'

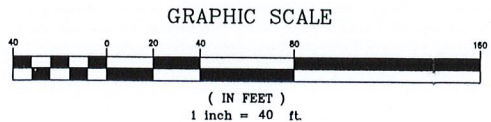
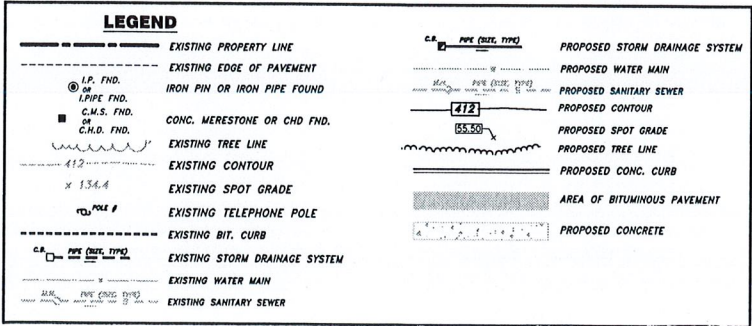
DRAWN BY: JMP
ACAD FILE: 2783-ZL-SI

SHEET: 2 OF 3
REVISIONS:



AREA=18.53 ACRES
OR
807,200 sq. ft.

AS BUILT
1 STORY STEEL FRAME AND BLOCK
AUTOMOBILE DEALERSHIP
F.F.=58.0



SITE PLAN NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH TOWN OF GLASTONBURY, STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS IN THE MORE STRINGENT SPECIFICATION SHALL APPLY. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE OSHA, FEDERAL, STATE AND LOCAL REGULATIONS.
2. THE OWNER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY ZONING PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL TOWN CONSTRUCTION PERMITS, INCLUDING DOT PERMITS AND SENS AND WATER CONNECTION PERMITS. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
3. REFER TO OTHER PLANS, DETAILS AND NOTES FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE PRIOR TO BEING. ANY CONFLICT BETWEEN THE DRAWINGS AND SPECIFICATIONS SHALL BE CONFIRMED WITH THE LOCAL CONSTRUCTION MANAGER PRIOR TO BEING.
4. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, MATERIALS AND PLAN SPECIFICATIONS TO THE OWNER AND SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY TO THE SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW.
5. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING, OUTSIDE DISPLAY AREA, AND THE RAKED CONCRETE SIDEWALKS AND RAMPS.
6. SHOULD ANY UNKOWN OR INCORRECTLY CHARTED, EXISTING PERMITS OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
7. DO NOT INTERRUPT EXISTING UTILITIES SERVING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE TOWNSHIP AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
8. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
9. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES, TRAFFIC CONTROLLERS AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
10. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING, AND SIDEWALK INFORMATION.
11. TRAFFIC CONTROL SIGNALS SHALL CONFORM TO THE STATE DOT STANDARD DETAIL SHEETS AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB, AND WITH 7' MINIMUM CLEARANCE UNLESS OTHERWISE DETAIL OR NOTED.
12. THE CONTRACTOR SHALL ABIDE BY ALL OSHA FEDERAL STATE AND LOCAL REGULATIONS WHEN OPERATING CRANES, BOOMS, HOSTS, ETC. IN CLOSE PROXIMITY TO OVERHEAD ELECTRIC LINES. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINES, CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS. ANY UTILITY COMPANY FEES SHALL BE PAID FOR BY THE CONTRACTOR.
13. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPPING.
14. PARKING SPACES SHALL BE STRIPPED WITH 4" SWL; HATCHED AREA SHALL BE STRIPPED WITH 4" SWL AT A 45° ANGLE, 2' ON CENTER. HATCHING SYMBOLS, AND STRIPPING FOR HANDICAPPED SPACES SHALL BE PAINTED BLUE. OTHER MARKINGS SHALL BE PAINTED WHITE OR AS NOTED.
15. THE CONTRACTOR SHALL RESTORE ANY DAMAGE STRUCTURE, PIPE, UTILITY, PAVEMENT, CURBS, SIDEWALKS, LANDSCAPED AREAS OR SIGNAGE DISTURBED DURING CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AS APPROVED BY THE ENGINEER.
16. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
17. THE ARCHITECT OR ENGINEER IS NOT RESPONSIBLE FOR SITE SAFETY MEASURES TO BE EMPLOYED DURING CONSTRUCTION. THE ARCHITECT AND ENGINEER HAVE NO CONTRACTUAL DUTY TO CONTROL, THE SAFEST METHODS OR MEANS OF THE WORK, JOB SITE RESPONSIBILITIES, SUPERVISION OR TO SUPERVISE SAFETY AND DOES NOT VOLUNTARILY ASSUME ANY SUCH DUTY OR RESPONSIBILITY.
18. THE CONTRACTOR SHALL COMPLY WITH CFR 29 PART 1926 FOR EXCAVATION TRENCHING AND TRENCH PROTECTION REQUIREMENTS.
19. ALTERNATE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER, AND APPROPRIATE REGULATORY AGENCY PRIOR TO INSTALLATION DURING THE BIDDING PROCESS.
20. INFORMATION ON EXISTING UTILITIES AND STORM DRAINAGE SYSTEMS HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND/OR FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES AND STORM DRAINAGE SYSTEMS ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE FOR DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES AND STORM DRAINAGE SYSTEMS INCLUDING SERVICES. PRIOR TO EXCAVATION OR CONSTRUCTION, THE CONTRACTOR SHALL CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT "811" AND VERIFY ALL UTILITY AND STORM DRAINAGE SYSTEM LOCATIONS.
21. PAVEMENT MARKINGS SHALL BE NOT APPLIED TYPE IN ACCORDANCE WITH CT DOT SPECIFICATIONS, UNLESS WHERE EPOXY RESIN PAVEMENT MARKINGS ARE INDICATED.
22. CT DOT ENCROACHMENT PERMIT SHALL BE OBTAINED BY CONTRACTOR WHO SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THE WORK.
23. AN EROSION CONTROL, BOND IS REQUIRED TO BE POSTED BY THE CONTRACTOR BEFORE THE START OF ANY ACTIVITY ON OR OFF SITE.
24. THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND ARE NOT FOR CONSTRUCTION. NO CONSTRUCTION OR EXCAVATION SHALL BEGIN UNTIL APPROVAL OF THE FINAL PLANS IS GRANTED BY ALL GOVERNING AND REGULATORY AGENCIES.

GRADING AND DRAINAGE NOTES

- GRADING GENERAL NOTES:**
1. SEE THIS PLAN SHEET FOR ADDITIONAL SITE PLAN AND GENERAL NOTES.
 2. THE GRADING AND DRAINAGE PLAN IS INTENDED TO DESCRIBE GRADING AND DRAINAGE ONLY. REFER TO SITE PLAN FOR GENERAL INFORMATION, AND DETAIL SHEETS FOR DETAILS. SEE MEP DRAWINGS FOR BUILDING CONNECTION LOCATIONS AND DETAILS.
 3. THE CONTRACTOR SHALL PRESERVE EXISTING VEGETATION WHERE POSSIBLE AND/OR AS NOTED ON DRAWINGS. REFER TO EROSION CONTROL PLAN FOR LIMIT OF DISTURBANCE AND NOTES.
 4. TOPSOIL SHALL BE STRIPPED AND STOCKPILED FOR USE IN FINAL LANDSCAPING.
 5. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AND LOCAL AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE LOCAL MUNICIPALITIES REQUIRED TO PERFORM ALL REQUIRED WORK, INCLUDING FOR STREET CUTS AND CONNECTIONS TO EXISTING UTILITIES. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE AND PROVIDE TRAFFIC CONTROL NECESSARY FOR THIS WORK.
 6. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC CONTROLLERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE STATE AND LOCAL GOVERNING AUTHORITIES.
 7. THE CONTRACTOR SHALL COMPACT FILL IN 12" MAXIMUM LIFTS UNDER ALL PARKING, BUILDING, AND DRIVE AREAS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (MODIFIED PROCTOR TEST), OR AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
 8. UNDERDRAINS SHALL BE ADDED, IF DETERMINED NECESSARY IN THE FIELD BY THE DESIGN OR TOWN ENGINEER. AFTER SUPERGRADE IS ROUGH GRADED, AS APPROVED BY THE GLASTONBURY TOWN STAFF.
 9. VERTICAL DATUM IS NAVD 1988.
 10. CLEARING LIMITS SHALL BE PHYSICALLY MARKED IN THE FIELD AND APPROVED BY THE TOWN OF GLASTONBURY AGENT PRIOR TO THE START OF WORK ON THE SITE.
 11. PROPER CONSTRUCTION PROCEDURES SHALL BE FOLLOWED ON ALL IMPROVEMENTS WITHIN THIS PARCEL SO AS TO PREVENT THE SINKING OF ANY WATERCOURSE OR WETLANDS IN ACCORDANCE WITH THE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION GUIDELINES FOR SOIL EROSION AND SEDIMENT POLLUTION CONTROL. IN ADDITION, THE CONTRACTOR SHALL STRICTLY ADHERE TO THE "EROSION CONTROL PLAN" CONTAINED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE TO POST ALL BONDS AS REQUIRED BY THE LOCAL MUNICIPALITIES, OR SOIL CONSERVATION SERVICE WHICH WOULD GUARANTEE THE PROPER IMPLEMENTATION OF THE PLAN.
 12. ALL SITE WORK, MATERIALS OR CONSTRUCTION, AND CONSTRUCTION METHODS FOR EARTHWORK STORM DRAINAGE AND UTILITY WORK SHALL CONFORM TO THE SPECIFICATIONS AND DETAILS AND APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION UNLESS OTHERWISE STATED IN THE PROJECT MANUAL SPECIFICATIONS. ALL FILL MATERIALS UNDER STRUCTURES AND PAVED AREAS SHALL BE PER THE SPECIFICATIONS, AND/OR PROJECT GEOTECHNICAL REPORT, AND SHALL BE PLACED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE DOT, UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL ENGINEER. MATERIAL SHALL BE COMPACTED IN 12" LIFTS TO 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D 1557 AT 3 +/- PERCENT OF OPTIMUM MOISTURE CONTENT.
 13. ALL DISTURBANCE INCURRED TO TOWN OR STATE PROPERTY DUE TO CONSTRUCTION SHALL BE RESTORED TO ITS PREVIOUS CONDITION OR BETTER, TO THE SATISFACTION OF THE TOWN OF GLASTONBURY AUTHORITY AND STATE OF CONNECTICUT.
 14. ALL CONSTRUCTION SHALL COMPLY WITH OWNER'S AND THE LOCAL MUNICIPALITY'S STANDARDS AND STATE OF CONNECTICUT'S DOT SPECIFICATIONS. ALL CONSTRUCTION WITHIN A DOT RIGHT OF WAY SHALL COMPLY WITH ALL DEPARTMENT OF TRANSPORTATION STANDARDS. WHERE SPECIFICATIONS OR STANDARDS ARE IN CONFLICT, THE MORE STRINGENT SPECIFICATION OR STANDARD SHALL BE SUPERIOR.

Town of Berlin
Received

APR 01 2021

Planning & Zoning Department
Berlin, Connecticut

CHECKED BY: JPC	SCALE: 1"=40'
DRAWN BY: JMP	DATE: MAR. 29, 2021
ACAD FILE: 2783-SG	JOB No.: 2783
SHEET: 3 OF 3	REVISIONS:

HALLISEY, PEARSON & CASSIDY
CIVIL ENGINEERS & LAND SURVEYORS

630 MAIN STREET, UNIT #1A
CROWNSWELL, CONNECTICUT 06416
PHONE: (860)-529-8812, FAX: (860)-721-7709

MODIFIED SITE GRADING PLAN

PREPARED FOR

196 WILBUR CROSS HIGHWAY, BERLIN, LLC
224 BERLIN TURNPIKE, LLC
& JOHN L. ORSINI
#224-256 BERLIN TURNPIKE & EPISCOPAL ROAD
BERLIN, CONNECTICUT



March 15, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Special Permit Use – Accessory Dwelling Unit
APPLICANT: William Watson
LOCATION: 168 Blue Ridge Road
AGENDA DATE: April 15, 2021

Department/District:

☐ Town Planner
☐ Assistant Town Planner/ZEO
☐ Engineering
☐ Kensington Fire District
☐ Worthington Fire District
☐ Board of Education
☐ Conservation Commission

☐ Building Official
☐ Berlin Water Control
☐ Health District
☐ Fire Marshal
☐ Board of Police Commissioners
☐ Inland Wetlands
☐ Police Chief

☐ No Comment

☐ Comments:

Signature/Date

Town of Berlin

Geographic Information System (GIS)



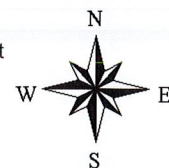
Date Printed: 4/12/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 200 feet





Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

SPECIAL PERMIT APPLICATION

(Any Special Permit Application shall be submitted simultaneously with a Site Plan Application)

Project Name: Accessory Dwelling Unit 168 Blue Ridge Rd
Property Owner(s): William J. Watson III & Karla A. Watson
Project Address*: 168 Blue Ridge Rd, Berlin, CT 06037
Map: 13-4 Block: 13C Lot: 304 Zone(s): R-22 Lot Area: .44 ac

Applicant Information

Name: William J. Watson III Firm Name: _____
Street Address: 168 Blue Ridge Rd City: Berlin ST: CT Zip: 06037
Email: willwatson3rd@gmail.com Phone: 860-836-0917
Signature: [Signature] Date: 3-11-2021

Property Owner(s) Information (If Not the Applicant)

Name: _____ Principal: _____
Street Address: _____ City: _____ ST: _____ Zip: _____
Email: _____ Phone: _____

*Letter of Authorization Required

Special Permit required pursuant to section(s):

X I T Accessory Dwelling Unit

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

To be completed by P&Z staff only:

Fee Paid \$ 280.00 (Refer to current Fee Schedule)

Received by: fms

Town of Berlin
Received

MAR 12 2021

William J. Watson III
168 Blue Ridge Road
Berlin, CT 06037

**Town of Berlin
Received**

MAR 12 2021

Planning & Zoning Department
Berlin, Connecticut

March 11, 2020

Town of Berlin
Planning and Zoning Department
240 Kensington Road
Berlin, CT 06037

RE: Accessory Dwelling Unit, 168 Blue Ridge Road, Berlin, CT 06037

To Whom it May Concern:

I am applying for an Accessory Dwelling Unit Special Permit for the above-referenced property.


On November 2, 2020 my father passed away unexpectedly. My mother's current home is a large tudor located in New Britain. My mother, who is 72, has some physical limitations which, without the assistance of my father, makes it difficult to stay in her home alone. My wife and I and four children would like my mother to live with us on a full time basis. This was my mother's request initially and is supported by both my brother and sister. Her safety and well being are of the utmost importance to us all.

Prior to the purchase of our home in May of 2001, the previous owners had an addition put on the home which became a large master bedroom suite. This addition is approximately 708 square feet and is located on the ground floor of the house adjacent to the existing living room.

The intention would be to convert the current master bedroom into a living space solely for my mother and would be an internal conversion of the principal structure which is older than five years. The architectural plans outline in more detail the proposed layout which would include one bedroom, one living room, one bathroom and a small kitchen. The plans also show that the space would have a separate external entrance way located to the right of the existing structure and is not on the same side of the lot as the existing entrance. The space would not exceed 700 square feet as set forth in the zoning regulations and is currently wired with smoke detectors. My mother does not drive and I do not anticipate an impact on normal vehicular traffic.

I have also included with this application the plans outlining an addition for a new master bedroom above the existing two car garage which would replace our existing bedroom. This room will not have a kitchen and would solely serve as a new bedroom with a master bath.

Very truly yours,


William J. Watson III

(860) 832-0917

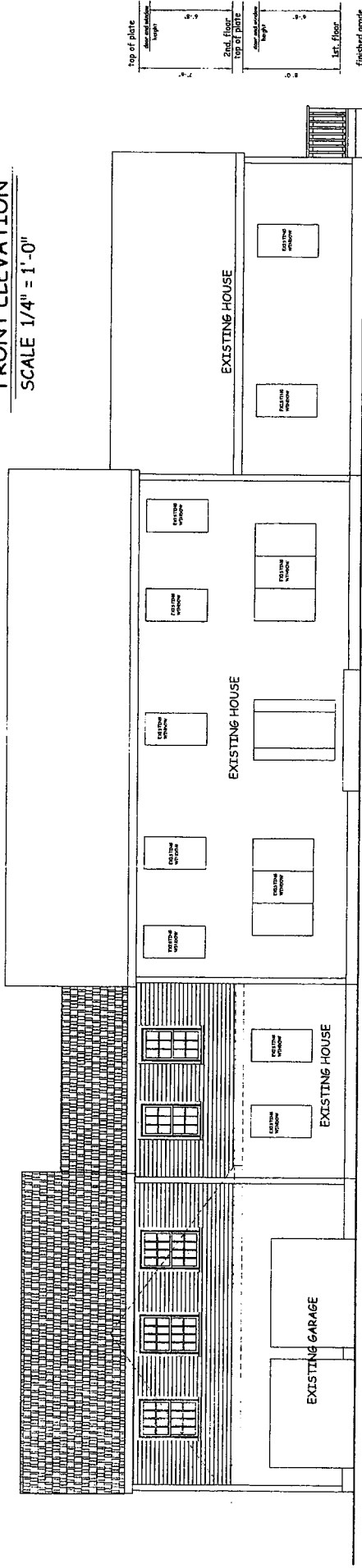
**Town of Berlin
Received**

MAR 12 2021

**Planning & Zoning Department
Berlin, Connecticut**

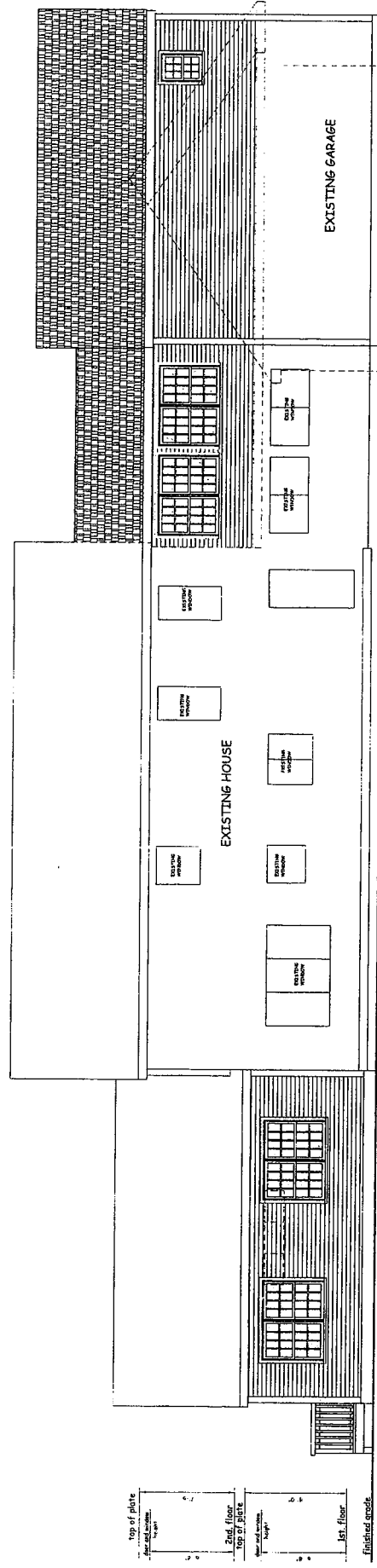
FRONT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



ADDITION/RENOVATION PLANS
WILLIAM J. WATSON III
168 BLUE RIDGE ROAD, KENNSINGTON, CT

Town of Berlin
Received

MAR 12 2021

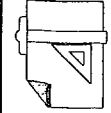
WATSON 21-01-009

Planning & Zoning Department
Berlin, Connecticut

DATE

SHEET

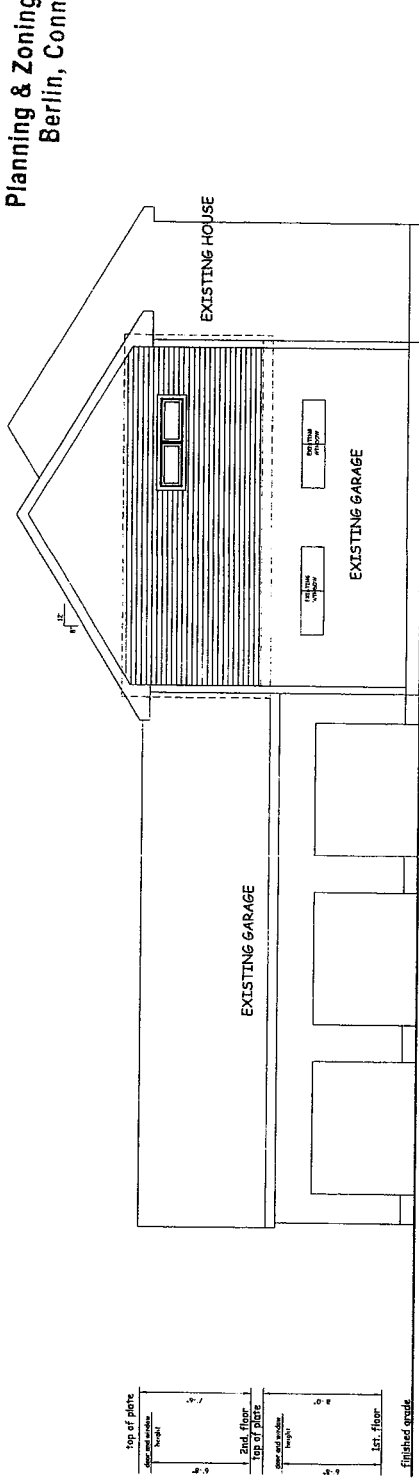
Architectural Design
Services, LLC
1175 Main Street, 2nd Floor
Burlington, CT 06719
(860) 659-0077



Town of Berlin
Received

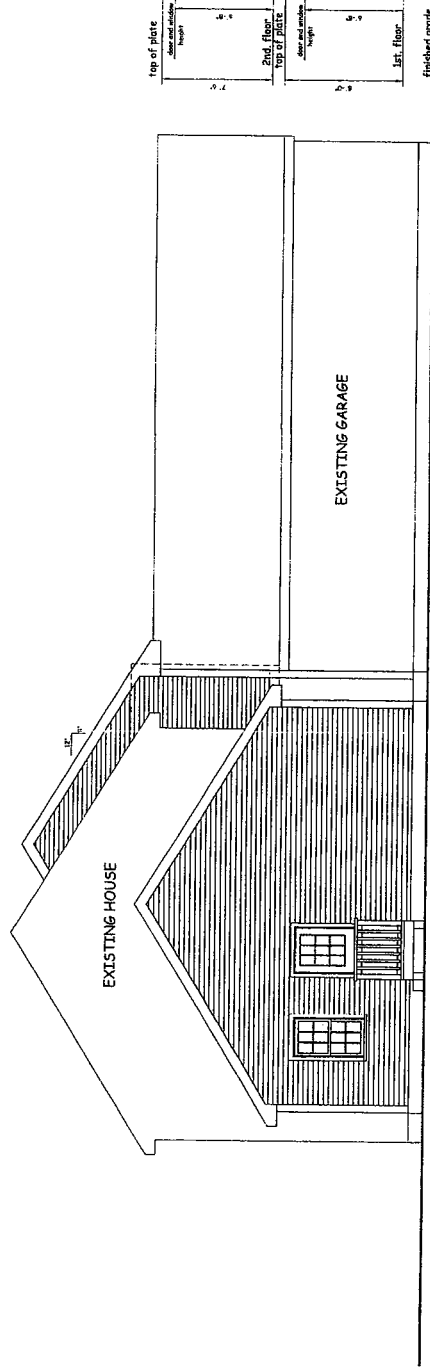
MAR 12 2021

Planning & Zoning Department
Berlin, Connecticut



LEFT ELEVATION

SCALE 1/4" = 1'-0"



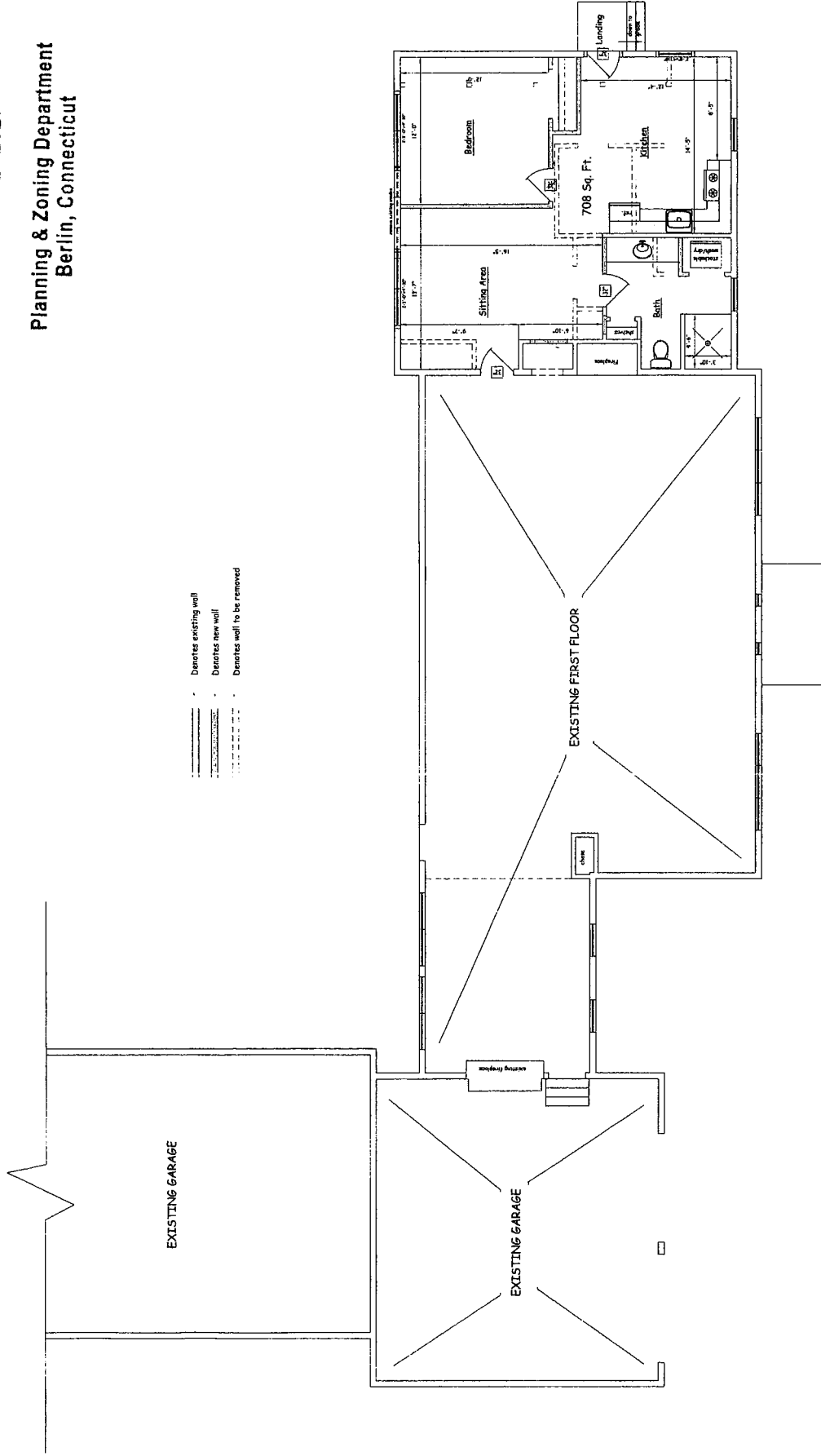
RIGHT ELEVATION

SCALE 1/4" = 1'-0"

Town of Berlin
Received

MAR 12 2021

Planning & Zoning Department
Berlin, Connecticut



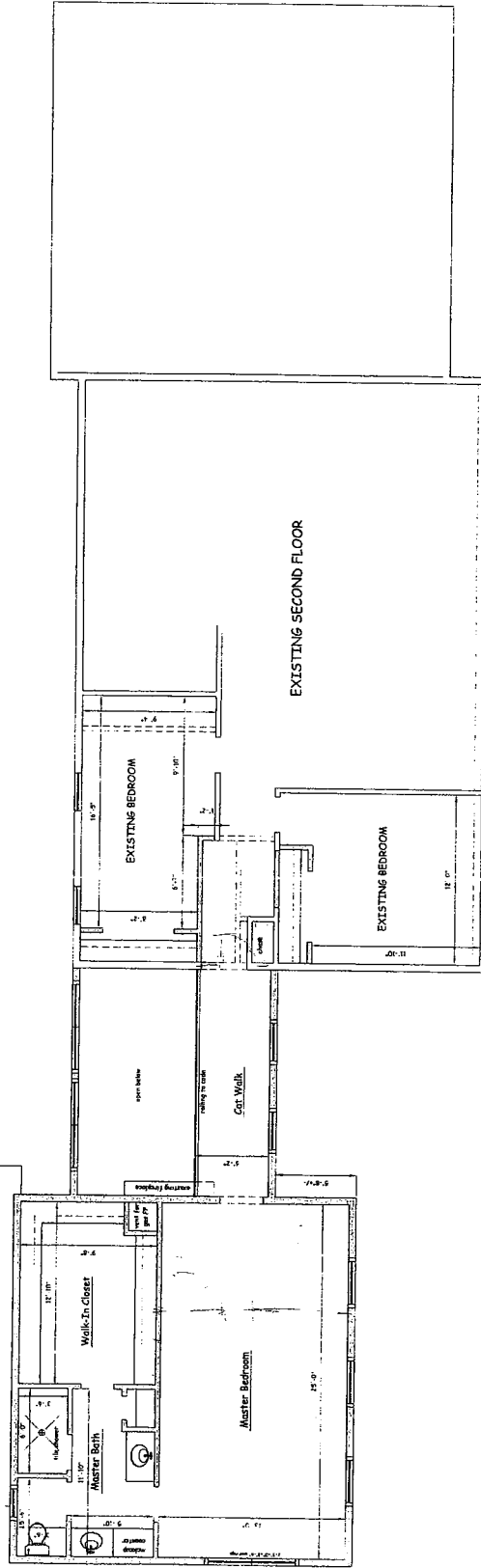
1ST. FLOOR PLAN
SCALE 1/4" = 1'-0"

Town of Berlin
Received

MAR 12 2021

Planning & Zoning Department
Berlin, Connecticut

- Denotes existing wall
- Denotes new wall
- Denotes wall to be removed



2ND. FLOOR PLAN

SCALE 1/4" = 1'-0"

March 15, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Special Event – Fireworks Sale

APPLICANT: Keystone Novelties

LOCATION: 550 Berlin Turnpike

AGENDA DATE: May 6, 2021

Department/District:

☐ Town Planner
☐ Assistant Town Planner/ZEO
☐ Engineering
☐ Kensington Fire District
☐ Worthington Fire District
☐ Board of Education
☐ Conservation Commission

☐ Building Official
☐ Berlin Water Control
☐ Health District
☐ Fire Marshal
☐ Board of Police Commissioners
☐ Inland Wetlands
☐ Police Chief

☐ No Comment

☐ Comments:

Signature/Date

Town of Berlin

Geographic Information System (GIS)



Date Printed: 4/12/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 200 feet





Keystone Novelties Distributors, LLC

201 Seymour Street, Lancaster PA 17603

Ph. 717-390-0844 Fax: 717-290-7774

Info@keystonenovelties.com

March 3, 2021

**Town of Berlin
Received**

MAR 12 2021

Town of Berlin, CT 240 Kensington Rd
Berlin, CT 06037

Attn: Frances Semnoski

Planning & Zoning Department
Berlin, Connecticut

Frances,

We are in the process of planning for our annual Fourth of July tent sale. This year we will be returning to the location at 550 Berlin Turnpike, Berlin for the sale of CT State Legal Fireworks from June 23 through July 5. The hours of operation for our sale will be the same as last year from 9AM to 9PM with extended hours on the 2nd 3rd and 4th of 10 or 11pm during this period. I have included the following in this packet:

- A Completed Site Plan Approval Application
- A Letter of Permission from the landlord
- A Plot Map diagram showing the location of the tent
- A Tent Layout showing tables and exits
- A copy of the tent fabric Flame Retardant Certificate
- A Starting Inventory list
- A graphic showing the Proposed Signage and sizes that we will attach to the tent ropes
- A Check for \$210 (\$150 for the Event and \$60 for the State of CT Solid Waste Management Fund)

The tent will be put up a few days in advance and removed as soon as possible after July 5. We will have "No Smoking" signs placed at the entrance and will have a fire extinguisher on hand at all times.

Thank you again for your consideration. Should you have any questions or if anything has changed for this year, please call anytime at 717-394-1078.

Thank you
Alex Mutzabaugh

Keystone Novelties Distributors
Field Ops Manager
717-394-1078
AMutzabaugh@keystonenovelties.com

Application fee paid \$210. —



Keystone Novelties Distributors, LLC

201 Seymour Street, Lancaster PA 17603

Ph. 717-390-0844 Fax: 717-290-7774

Info@keystonenovelties.com

January 31, 2020

Town of Berlin
240 Kensington Rd #2
Berlin CT 06037
Attn: Planning & Zoning Board Narrative

Keystone Novelties is once again in the process of planning our annual Fourth of July tent sale of CT legal sparkling devices. Below we provide an outline of our schedule:

Sale Information:

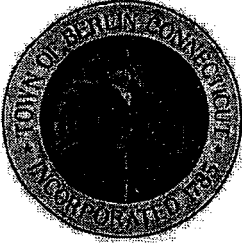
- The location of the tent sale will be 550 Berlin Turnpike, Berlin CT
- We will begin our sale after any required inspections on June 25th. Our last day of sales shall be July 5th and the tent removed by July 9th. We operate from 9 am to 9 pm except on July 2, 3 and 4 we are open until 10 or 11 pm. During the evening, the sides of the tents will be put up the entire way around the tent and there will be someone on site from dusk to dawn.
- The tent will be anchored by stakes every ten feet around the perimeter.
- We will have "No Smoking" signs posted at the entrances and fire extinguishers on hand at all times.
- All our direct sellers are required to undergo 24 hrs. of online training to address safety and operational concerns.
- We provide a list of products and site-specific information in the site plan review application packet respectfully submitted with this narrative.

Thank you again for your consideration. Should you have any questions or if anything has changed for this year, please feel free to contact me.

Thank you
Alex Mutzabaugh

A handwritten signature in black ink that reads "Alex Mutzabaugh". The signature is fluid and cursive.

Keystone Novelties Distributors
Field Ops Manager
717-394-1078
AMutzabaugh@keystonenovelties.com



**PLANNING AND ZONING COMMISSION
SITE PLAN APPROVAL APPLICATION**

Site Plan ☐ or *Site Plan Amendment ☒ **Special Event

APPLICANT Name Keystone Novelties Distributors LLC
Address 201 Seymour Street, Lancaster PA 17603
Telephone 717-394-1078 Fax 717-2907774
Signature _____

OWNER (IF NOT THE APPLICANT)

Name 550 - 554 Berlin Turnpike Associates, LLC
Address 864 Weathersfield Ave., Hartford, CT 06114
Telephone 860-616-4022

WITH THE SIGNING OF THIS APPLICATION, I GIVE MY CONSENT THAT ANY TOWN
OFFICIAL AND/OR EMPLOYEE THAT THE TOWN DEEMS NECESSARY MAY ENTER MY
PROPERTY TO VERIFY INFORMATION SUBMITTED FOR THIS APPLICATION

Signature:  Date: 3/9/2024

PROPERTY DATA Address 522 Berlin Turnpike, Berlin CT

Lot/Block _____ Zoning _____

Proposed Use Erect Temporary Tent for the Sale of CT

State Legal Sparkler Products

	YES	NO
Wetland	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Water Course	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Flood Hazard Zone	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Flood Plain	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Is the subject property within 500 feet of another municipality?	<input type="checkbox"/>	<input checked="" type="checkbox"/>

*Berlin Planning and Zoning Commission
Site Plan Approval Application
Page 1 of 5*



Keystone Fireworks

201 Seymour Street, Lancaster, PA 17603
(800) 390-0844 Fax (717) 290-7774
info@keystonenovelties.com

THIS AGREEMENT IS MADE BETWEEN 550-554 Berlin Turnpike Associates, LLC (Lessor) and Keystone Novelties Distributors, LLC (Lessee) for the purpose of allowing the retail sale of approved fireworks from the following premises (Location):

Location Address:
550 Berlin Turnpike
Empty Lot
Berlin, CT 06037

Location Name: BERLIN CT TURNPIKE
ASSOCIATES

Lessor Agrees to the following terms and conditions:

1. Lessor represents that the parking lot or commonly occupied Location listed above is owned and/or controlled by the Lessor and that the Lessor grants Lessee the exclusive right to operate a retail fireworks tent or outlet including the placement of a 20 foot storage container and a portable toilet on the premises during the term of this Agreement.
2. The term of this Agreement shall include the 2021 thru 2023 July 4th holiday period(s). The tent and related equipment shall be placed no sooner than June 19th and removed no later than July 11th each year. The actual dates for the sale will not exceed: June 22nd through July 6th of each year.
3. Following the initial term, the Lessor hereby grants the Lessee First Rights of Refusal to match any bona fide offer to lease the location for fireworks sales during the forthcoming renewal year.
4. Lessor will have the right to void this lease if the above Location is sold or developed for any purpose other than the sale of fireworks by providing 60 days written notice prior to cancellation.
5. Lessor agrees to provide the following: (answer questions below by selecting YES or NO & initial each selection)
 - a. Allow 28 ft return trailer (Backhaul trailer) to be set at the property ☒ YES ☐ NO _____ (initials)
 - b. Allow access to electricity for the tent if it available on the property ☐ YES ☒ NO _____ (initials)

In return, Lessee agrees to the following terms and conditions:

1. Lessee shall pay to Lessor rent in the amount of [REDACTED] by check on or before June 20 each year.
 - a. In addition, [REDACTED] of net sales (gross sales-sales tax) over [REDACTED] will be paid by August 1 for each season, supporting documentation of gross sales will be provided at the end of the season with payment.
2. Lessee shall provide liability insurance coverage and post with Lessor, prior to occupancy, a certificate of insurance evidencing liability insurance in force covering the operation on the retail outlet. All entities/individuals listed on the certificate of insurance will be deemed as additional insureds per this contract. Insurance coverage will be in an amount not less than \$1,000,000.00.
3. Lessee guarantees that the premises will be returned to its original condition including the patching of any stake holes and removal of trash and supplies.
4. This Lease Agreement shall be assignable by Lessee and is contingent upon Lessee securing any local and state permits or licenses that may be required by law. If the sale of fireworks is prohibited by public authority or if required permits or licenses cannot be obtained prior to the commencement of the selling season, then this lease agreement automatically becomes null and void. If the local municipality having proper jurisdiction over this outlet limits the sale of fireworks or implements policies inconsistent with state statutes, then this Lease Agreement is subject to revision.
5. Lessee shall have the right to void this agreement up to 60 days prior to the commencement of the selling period each year.

LESSOR (Payee) INFORMATION (Please Update as Needed)

550-554 Berlin Turnpike Associates, LLC
864 Wethersfield Avenue

Hartford, CT 06114

Ph: 860-249-6521 Email: nicholas.morizio@colliers.com

ADDITIONAL INSURED INFORMATION

Berlin Turnpike Associates, LLC.

Lessor

Date

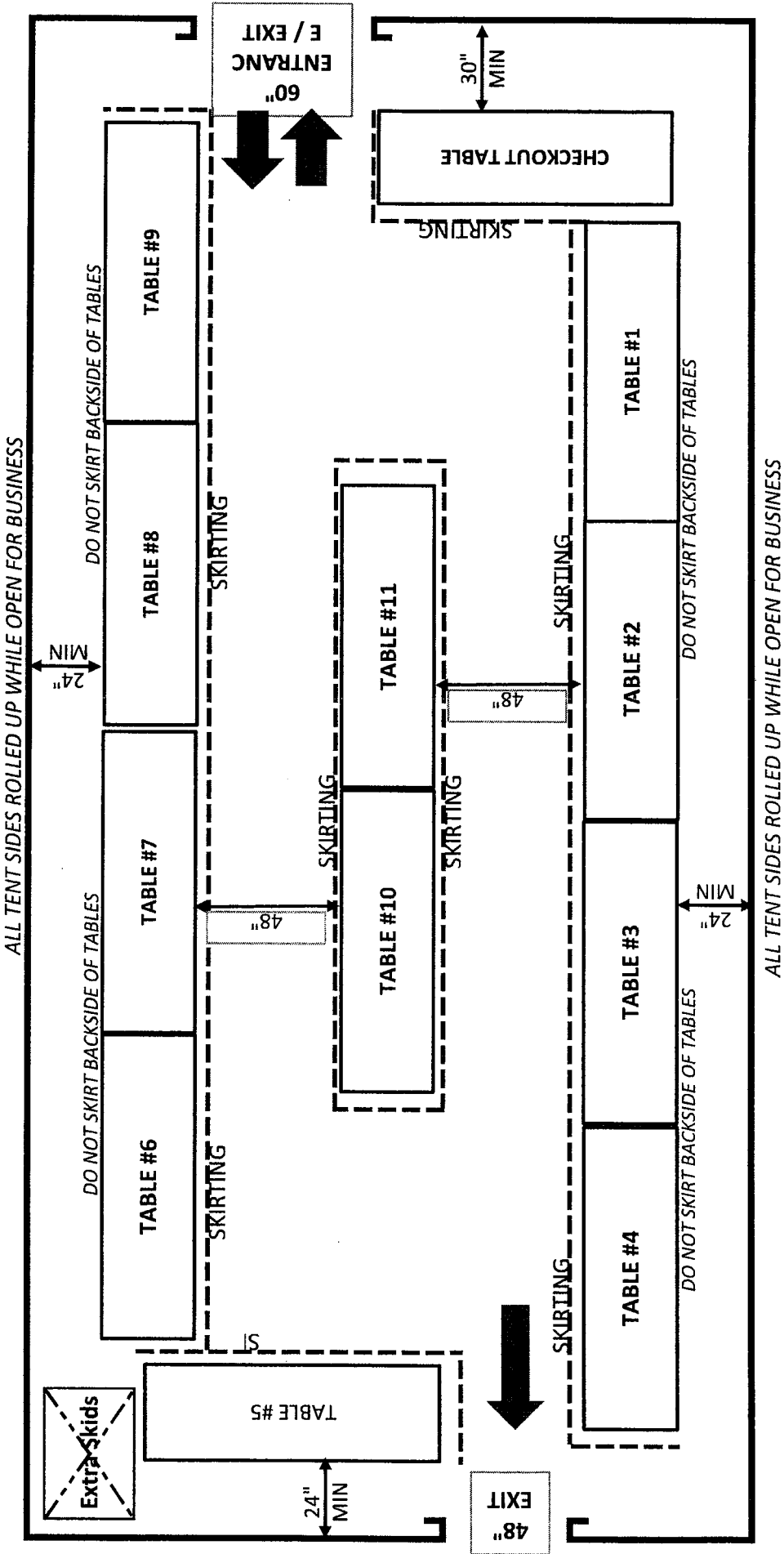
Keystone Novelties Distributors, LLC

Date

For Office Use Only

☐ \$125 LL Cert ☐ \$75 LL Cert ☐ \$50 LL Cert ☐ \$150 + \$125 each year Cert ☐ None

20x40 Tent Layout-2 Exit



Place Mega Monster in a prominent location. See manager for more details*

March 16, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

SUBJECT: Berlin Lions Agricultural Fair, Inc.
2021 Fairground Events

APPLICANT: Joseph Dornfried

AGENDA DATE: April 15, 2021

Department/District:

☐ Town Planner
☐ Assistant Town Planner/ZEO
☐ Engineering
☐ Kensington Fire District
☐ Worthington Fire District
☐ Board of Education
☐ Conservation Commission

☐ Building Official
☐ Berlin Water Control
☐ Health District
☐ Fire Marshal
☐ Board of Police Commissioners
☐ Inland Wetlands
☐ Police Chief

☐ No Comment

☐ Comments:

Signature/Date

BERLIN LIONS AGRICULTURAL FAIR, INC.
2021 LIST OF EVENTS
(as of 4/7/21)

I. Continuous/Multiple Months.

1. Nutmeg Kart Racing

(a) *Description:* Kart races using the track at the Fairgrounds.

(b) *Approximate Date:* Twice per month primarily on Sundays from approximately April through October of each year (with rain dates).

(c) *Expected Hours of Operation:* Daylight hours during weekend.

(d) *Estimated Attendance:* Approximately 100 - 200 people.

(e) *Traffic Control:* Not appropriate.

2. Connecticut Horse Council/4-H Horse Advisory

(a) *Description:* Horse show using horse rink, food trailer and facilities.

(b) *Approximate Date:* Twice or more per month on weekends during the summer of each year.

(c) *Expected Hours of Operation:* Daylight hours; set up on Friday.

(d) *Estimated Attendance:* Approximately 250 people.

(e) *Traffic Control:* Not appropriate.

3. Other Horse Shows

(a) *Description:* Open horse show.

(b) *Approximate Date:* Late April and/or early May and late August and/or late September (after the Berlin Fair) or October in each year.

(c) *Expected Hours of Operation:* Daylight hours during a weekend.

(d) *Estimated Attendance:* Less than 250 people.

(e) *Traffic Control:* Not appropriate.

II. May.¹

1. Wine Tasting

(a) *Description:* Charity wine tasting fundraiser; primarily using the Commercial Building and related parking and other facilities.

(b) *Approximate Date:* TBD

(c) *Expected Hours of Operation:* Set up prior day; event open to public late afternoon/evening.

(d) *Estimated Attendance:* 300 to 600

(e) *Traffic Control:* Not appropriate

2. Summer Knights' Car Show

(a) *Description:* Charity antique and custom car show using the upper portion of the Fairgrounds and parking lots.

(b) *Approximate Date:* TBD

(c) *Expected Hours of Operation:* Set up prior day; show runs daylight hours during a weekend day.

(d) *Estimated Attendance:* Approximately 2,000.

(e) *Traffic Control:* Traffic controlled on-site through use of gates; Hunter Ambulance for medical (put on notice).

3. Berlin Police Department Family Picnic

(a) *Description:* Family picnic for Berlin Police Department.

(b) *Approximate Date:* Weekend day in May.

(c) *Expected Hours of Operation:* Daylight hours.

(d) *Estimated Attendance:* Less than 250 people.

(e) *Traffic Control:* Not appropriate.

¹ Given uncertainties regarding COVID-19 restrictions, the dates for May events are subject to public health restrictions. Exact dates will be provided to the zoning enforcement officer and the police department when/if the events are confirmed as being held in 2021.

Revised page
4-7-2021

4. Berlin UpBeat Town Event

- (a) *Description*: Event hosted by Berlin UpBeat.
- (b) *Approximate Date*: May 27, 2021 (rain date following weekend)
- (c) *Expected Hours of Operation*: Set up prior day; event and clean up complete by 10:00 pm.
- (d) *Estimated Attendance*: Consistent with event held in past.
- (e) *Traffic Control*: Consistent with event held in past.

5. COVID-19 Drive-Through Vaccine Clinic

(a) *Description*: Drive-through COVID-19 vaccine clinic organized by the Central Connecticut Health District. Preliminary plan uses the rabbit and Kaminski buildings for the main activities. Public would enter gate 2 and exit through gate 3. Hunter's ambulance would be staged at gate 4.

- (b) *Approximate Date*: Thursday, Friday and Saturday beginning in mid-May
- (c) *Expected Hours of Operation*: To be determined including with input from the Town.
- (d) *Estimated Attendance*: To be determined based on availability of vaccine.
- (e) *Traffic Control*: To be determined including with input from the Town.

III. June.²

1. Berlin Upbeat Picnic

(a) *Description*: Sleep-over picnic for students and chaperons sponsored by Berlin Upbeat. Depending on weather, involves approximately 1/2 of the buildings on the Berlin Fairgrounds.

- (b) *Approximate Date*: weekday in June.
- (c) *Expected Hours of Operation*: Friday evening through Saturday morning.
- (d) *Estimated Attendance*: Less than 250 people.
- (e) *Traffic Control*: Not appropriate.

² All June events (other than Troop 24's use of the pavilion) are subject to compliance with gathering and other public health restriction in compliance with COVID-19 restrictions.

2. Berlin Fire Department Comedy Show

(a) *Description*: Charity comedy show (proceeds to benefit Berlin Veterans Commission) at pavilion in Fairgrounds.

(b) *Approximate Date*: weekend day in June (targeting June 12 or 13, 2021)

(c) *Expected Hours of Operation*: 7 pm to 10 pm (gates open at 6 pm)

(d) *Estimated Attendance*: Approximately 200 people.

(e) *Traffic Control*: Not appropriate.

3. Troop 24 Event

(a) *Description*: Use by Troop 24 (boy scouts) of the pavilion for a scouting event.

(b) *Approximate Date*: June 10, 2021

(c) *Expected Hours of Operation*: afternoon through early evening.

(d) *Estimated Attendance*: Less than 250 people.

(e) *Traffic Control*: Not appropriate.

4. Connecticut Draft Horse Association

(a) *Description*: Draft horse competition at the horse rink (with use of the cattle barn in case of rain).

(b) *Approximate Date*: June 18, 19 and 20, 2021

(c) *Expected Hours of Operation*: Daylight hours.

(d) *Estimated Attendance*: Less than 250 people.

(e) *Traffic Control*: Not appropriate.

IV. July.

1. Lions Graduation Party

(a) *Description*: Graduation party for the child of a Lions Club member to be held at the pavilion.

- (b) *Approximate Date*: July 10
- (c) *Expected Hours of Operation*: afternoon through the evening (ending around 10:00 pm)
- (d) *Estimated Attendance*: approximately 100
- (e) *Traffic Control*: Not appropriate

2. Lions Summer Shootout

- (a) *Description*: Picnic with Kiwanis Club.
- (b) *Approximate Date*: July in each year.
- (c) *Expected Hours of Operation*: Daylight hours.
- (d) *Estimated Attendance*: Less than 250 people.
- (e) *Traffic Control*: Not appropriate.

3. Demolition Derby³

(a) *Description*: Demolition derby similar to that conducted during the past several Berlin Fairs, but now conducted as a stand-alone event. The event would primarily be conducted in the motorsport pit (derby) and pavilion area (food and beverage) of the Fairgrounds, with required ancillary services (e.g., restrooms).

- (b) *Approximate Date*: TBD
- (c) *Expected Hours of Operation*: Primarily daylight hours.
- (d) *Estimated Attendance*: 750 to 1,000
- (e) *Traffic Control*: Traffic controlled on-site through use of gates; Hunter Ambulance for medical (put on notice).

V. August.

1. Eversource Retiree's Picnic

- (a) *Description*: Picnic for retirees of Eversource Energy.
- (b) *Approximate Date*: August of each year.

³ Given COVID-19 restrictions, it is likely that the demolition derby, if held, will be part of the 2021 Berlin Fair.

(c) *Expected Hours of Operation*: Daylight hours during a week day.

(d) *Estimated Attendance*: Less than 250 people.

(e) *Traffic Control*: Not appropriate.

2. Cardiac Rehab Picnic

(a) *Description*: Picnic sponsored by, and for members of, the Hospital of Special Care's Good Life Center Picnic (use limited to food booth, one building (if necessary) and bathrooms).

(b) *Approximate Date*: August of each year.

(c) *Expected Hours of Operation*: Daylight hours.

(d) *Estimated Attendance*: Less than 250 people.

(e) *Traffic Control*: Not appropriate.

3. Divinity Fitness Summit

(a) *Description*: Annual fitness-oriented event of Sudor Taino Group Fitness.

(b) *Approximate Date*: August 21, 2021 (rain date August 22, 2021).

(c) *Expected Hours of Operation*: 10:00 am to 3:00 pm (set up 8-10 am; tear down 3-4 pm).

(d) *Estimated Attendance*: Less than 250 people.

(e) *Traffic Control*: Not appropriate.

VI. September.

1. Berlin Fair

(a) *Description*: Agricultural, horticultural and commercial fair held since 1948. Involves the use of all buildings on the Berlin Fairgrounds.

(b) *Approximate Date*: September 17 - 19.

(c) *Expected Hours of Operation*: Set-up occurs during late September. Exhibitors submit their entries on the Thursday immediately preceding the Fair. The Fair is open to the public on Thursday during entries, Friday (11 am – 10 pm), Saturday (9 am – 10 pm) and Sunday (9 am – 7 pm). Cleanup and removal continue for a few weeks following the Fair.

(d) *Estimated Attendance:* Approximately 50,000 (paid attendance).

(e) *Traffic Control:* Traffic matters are coordinated with the Town of Berlin, including the Police and Fire Departments, and the contracted ambulance service.

VI. October.

1. Plainville Stadium Reunion

(a) *Description:* Reunion based on former Plainville Stadium Race Track.

(b) *Approximate Date:* October 2, 2021 (with a later Saturday in October as a rain date)

(c) *Expected Hours of Operation:* Daylight hours.

(d) *Estimated Attendance:* less than 250.

(e) *Traffic Control:* Not appropriate.

March 17, 2021

**PLANNING & ZONING DEPARTMENT
PROJECT REVIEW SHEET**

APPLICATION: Site Plan – Two Buildings for a Total of 25,400 s.f. of
Commercial Spaces

LOCATION: Map 21-4; Block 115; Lot 20A Orchard Road

APPLICANT: Priority, LLC

AGENDA DATE: May 6, 2021

Note: REVISED NARRATIVE ATTACHED (“Corrected the project discussion –
flipping the sizes of the buildings in each phase”). –The date of this narrative
(March 8, 2021)has not been changed

Department/District:

☐ Town Planner
☐ Assistant Town Planner/ZEO
☐ Engineering
☐ Kensington Fire District
☐ Worthington Fire District
☐ Board of Education
☐ Conservation Commission

☐ Building Official
☐ Berlin Water Control
☐ Health District
☐ Fire Marshal
☐ Board of Police Commissioners
☐ Inland Wetlands
☐ Police Chief

☐ No Comment

☐ Comments:

Signature/Date

DISCUSSION OF PROJECT

Site Plan Application to the Town of Berlin Planning and Zoning Commission

Proposed Commercial Development for

PRIORITY, LLC

Lot 20A / Block 115/Map 24-1

Orchard Road, Berlin

Date: March 8, 2021

The applicant requests site plan approval to develop its property at the end of Orchard Road. The property is near the intersection with the Berlin Turnpike (State Routes 5 & 15) and is 8.52 acres in size. The property lies within a PI-2 (Planned Industrial -2) zone. And is presently vacant. Its last use of the site was the location of temporary green houses for Sunnyborder Nursery.

The site is served by public water (along Orchard Road) and sanitary sewer (through the rear of the site) supplied by the Berlin Water Control Commission. The front portion of the site along Orchard Road is cleared of trees and is relatively flat. The far rear of the site is wooded. The site does retain a 50-foot strip that fronts onto Toll Gate Road. That access strip will not be utilized in this proposal. The property does abut property that lie with the R-43 Residential zone. A 50' landscaped buffer is required within the applicant's property from this zone and will be maintained,

The application plans to construct two (2) buildings for a total of 25,400 square feet of commercial spaces. The developed will be broken into two (2) phases.

Phase 1 will consist of a 11,400 square foot building lying to the rear of the development area. This building will be the future of Priority Electric. The first phase will include the construction of the entry and circulation driveways, a parking lot, site drainage (including the stormwater management area and stormwater infiltration swale), buffer plantings, landscaping, and utility connections.

Phase 2 will finish the project with the construction of a 14,000 square foot building, an additional parking area, storm drainage connections, landscaping, and utility connections.

The proposed drainage design will replicate the pre-development conditions. With the site being relatively level, and the existing soils being sand and sandy, fine gravels, groundwater infiltration will be utilized as part of the design. A groundwater infiltration swale will be installed to minimize surface runoff at the front of the site which that flows toward the Berlin Turnpike. The remainder of the site will flow to the rear of the site. Sections of the storm drainage will be routed through infiltration trenches with perforated pipe to provide groundwater infiltration. The stormwater outlet will provide for a net zero increase in site runoff and discharge to an existing surface drainage collection path.

The applicant has had a previous informal discussion with the Commission late last year. At the time, questions were raised regarding the location of the driveway curb-cut along Orchard Road, and its proximity to the intersection of the Berlin Turnpike. The submitted site plan addresses this question by moving the driveway curb-cut to the southwest. This will maximize the queue length distance away from the intersection light, as well as lengthen the sight distance to view vehicles exiting the Turnpike to the north.

During construction, all proper and required erosion and sedimentation control measures will be utilized.



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

SITE PLAN APPLICATION

☒ Site Plan

☐ Site Plan Amendment

Project Name: Proposed commerical development

Property Owner(s): Priority, LLC

Project Address*: Orchard Road

Map: 21-4 Block: 115 Lot: 20A Zone(s): Pl-2 Lot Area: 8.52 Acres

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: Priority, LLC Firm Name: N/A
Street Address: 321 Allen Street City: New Britain ST: CT Zip: 06053
Email: paulrpriorjr@gmail.com Phone: (860) 827-8504
Signature: Paul J. Prior Date: 11/16/2021

Property Owner(s) Information (If Not the Applicant)

Name: _____ Principal: _____
Street Address: _____ City: _____ ST: _____ Zip: _____
Email: _____ Phone: _____

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

Town of Berlin
Received

MAR 16 2021

This Site Plan Involves:

☐ Additions

☐ Alterations

☐ Demolition

☒ New Construction

Description of Project*: Construction of two (2) new buildings with driveways and parking areas, buildings to be connected to public water and sanitary sewer.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)	<u>Vacant</u>		
COMMERCIAL			
Gross Floor Area		<u>24,400</u>	
Parking Spaces		<u>59</u>	<u>51</u>
INDUSTRIAL			
Gross Floor Area			
Parking Spaces			
RESIDENTIAL			
Number of Units			
Number of Bedrooms			
Gross Floor Area			
Parking Spaces			
OTHER USES			
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only:

Fee Paid \$ 2,000 (Refer to current Fee Schedule) check 1001

Received by: fms

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MAR 16 2021

DISCUSSION OF PROJECT

Site Plan Application to the Town of Berlin Planning and Zoning Commission

Proposed Commercial Development for

PRIORITY, LLC

Lot 20A / Block 115/Map 24-1

Orchard Road, Berlin

Date: March 8, 2021

The applicant requests site plan approval to develop its property at the end of Orchard Road. The property is near the intersection with the Berlin Turnpike (State Routes 5 & 15) and is 8.52 acres in size. The property lies within a PI-2 (Planned Industrial -2) zone. And is presently vacant. Its last use of the site was the location of temporary green houses for Sunnyborder Nursery.

The site is served by public water (along Orchard Road) and sanitary sewer (through the rear of the site) supplied by the Berlin Water Control Commission. The front portion of the site along Orchard Road is cleared of trees and is relatively flat. The far rear of the site is wooded. The site does retain a 50-foot strip that fronts onto Toll Gate Road. That access strip will not be utilized in this proposal. The property does abut property that lie with the R-43 Residential zone. A 50' landscaped buffer is required within the applicant's property from this zone and will be maintained,

The application plans to construct two (2) buildings for a total of 25,400 square feet of commercial spaces. The developed will be broken into two (2) phases.

Phase 1 will consist of a 14,000 square foot building lying to the rear of the development area. This building will be the future of Priority Electric. The first phase will include the construction of the entry and circulation driveways, a parking lot, site drainage (including the stormwater management area and stormwater infiltration swale), buffer plantings, landscaping, and utility connections.

Phase 2 will finish the project with the construction of a 11,400 square foot building, an additional parking area, storm drainage connections, landscaping, and utility connections.

The proposed drainage design will replicate the pre-development conditions. With the site being relatively level, and the existing soils being sand and sandy, fine gravels, groundwater infiltration will be utilized as part of the design. A groundwater infiltration swale will be installed to minimize surface runoff at the front of the site which that flows toward the Berlin Turnpike. The remainder of the site will flow to the rear of the site. Sections of the storm drainage will be routed through infiltration trenches with perforated pipe to provide groundwater infiltration. The stormwater outlet will provide for a net zero increase in site runoff and discharge to an existing surface drainage collection path.

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**Planning & Zoning Department
Berlin, Connecticut**

The applicant has had a previous informal discussion with the Commission late last year. At the time, questions were raised regarding the location of the driveway curb-cut along Orchard Road, and its proximity to the intersection of the Berlin Turnpike. The submitted site plan addresses this question by moving the driveway curb-cut to the southwest. This will maximize the queue length distance away from the intersection light, as well as lengthen the sight distance to view vehicles exiting the Turnpike to the north.

During construction, all proper and required erosion and sedimentation control measures will be utilized.

**Town of Berlin
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MAR 16 2021

**Planning & Zoning Department
Berlin, Connecticut**

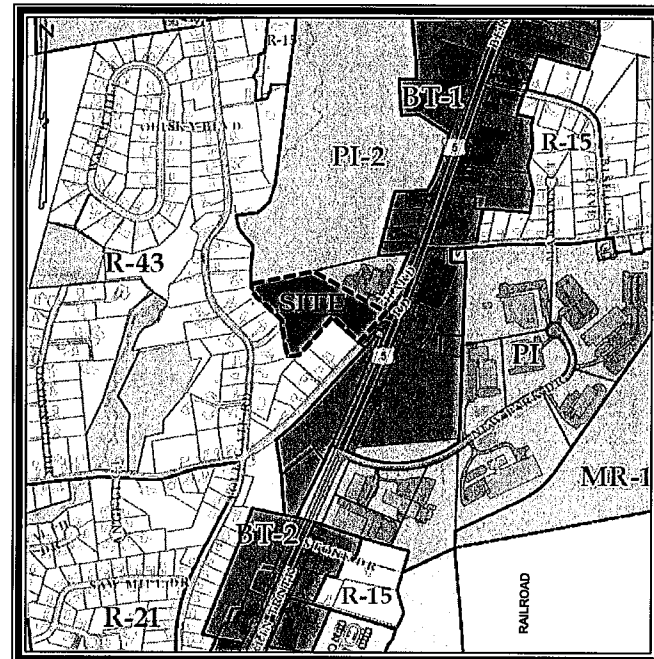
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Proposed Commercial Development

Parcel 21-4-115-20A Berlin Turnpike

Berlin, Connecticut



KEY MAP

SCALE: 1"=500'

Sheet Index:

S1	Property & Topographic Survey Map
C1	Overall Layout Plan
C2	Site Layout Plan
C3	Utility & Grading Plan
ES1	Soil Erosion & Sedimentation Control Plan
ES2	Soil Erosion & Sediment Control Details
D1 & D2	Construction Standards & Details
DB1	Detention Basin Details

Applicant:

Priority, LLC
381 Allen Street
New Britain, CT 06053

Property Owner:

Priority, LLC
381 Allen Street
New Britain, CT 06053

Consultants:

Engineering & Surveying

Harry E. Cole & Son
P.O. Box 44 - 876 South Main Street
Plantsville, Connecticut 06489
Tel. (860) 628-4484 Fax (860) 620-0196

Soil Scientist

Connsoil, LLC - Cynthia Rabinowitz
P.O. Box 365
Bethlehem, Connecticut 06751
Tel. (203) 266-5595 Fax (203) 266-6227

PREPARED FOR

Priority, LLC

March 15, 2021

Town of Berlin
Received



















MAR 16 2021

Planning & Zoning Department
Berlin, Connecticut

Revision Table

March 15, 2021	First Submittal Set	#2051
----------------	---------------------	-------

LEGEND

- | | |
|---|---|
|  | = Existing utility pole |
|  | = Existing light pole |
|  | = Existing fire hydrant |
|  | = Existing water valve |
|  | = Existing gas valve |
|  | = Existing underground pipe |
|  | = Existing edge of pavement |
|  | = Existing bimetallic concrete lip curb |
|  | = Existing well |
|  | = Existing catch basin |
|  | = Existing drainage manhole |
|  | = Existing sanitary manhole |
|  | = Existing utility box |
|  | = Existing contour |
|  | = Existing spot elevation |
|  | = Existing iron pin |
|  | = Existing drill hole |
|  | = Existing monument |

SURVEY NOTES:

1. This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 28, 1986.

2. Type of survey performed: Property & Topographic Survey

3. Boundary determination category: Resurvey

4. Class of accuracy:
Horizontal: A-2
Vertical: T-2 & D

5. The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent Improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fence, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent improvements and features; and (I) monumentation required to set or at least corners created by a deflection angle of not less than 70 degrees between consecutive courses at an interval not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.

6. Map References:

a) "Proposed Subdivision Section II, Map Showing Property of Pierre Bennerup, Toll Gate Road - Berlin, Connecticut; Scale: 1"=50'; Dated: Oct. 7, 1986; Last Revised: 10/23/88 by Hewitt Engineering P.C., Filed As Map 2075 at the B.L.R."

7. Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.

8. Zone: PI - 2 (Planned Industrial - 2)

9. Total area: 371,229 Sq. Ft. - 8.52 Acres

10. Owner: Priority, LLC

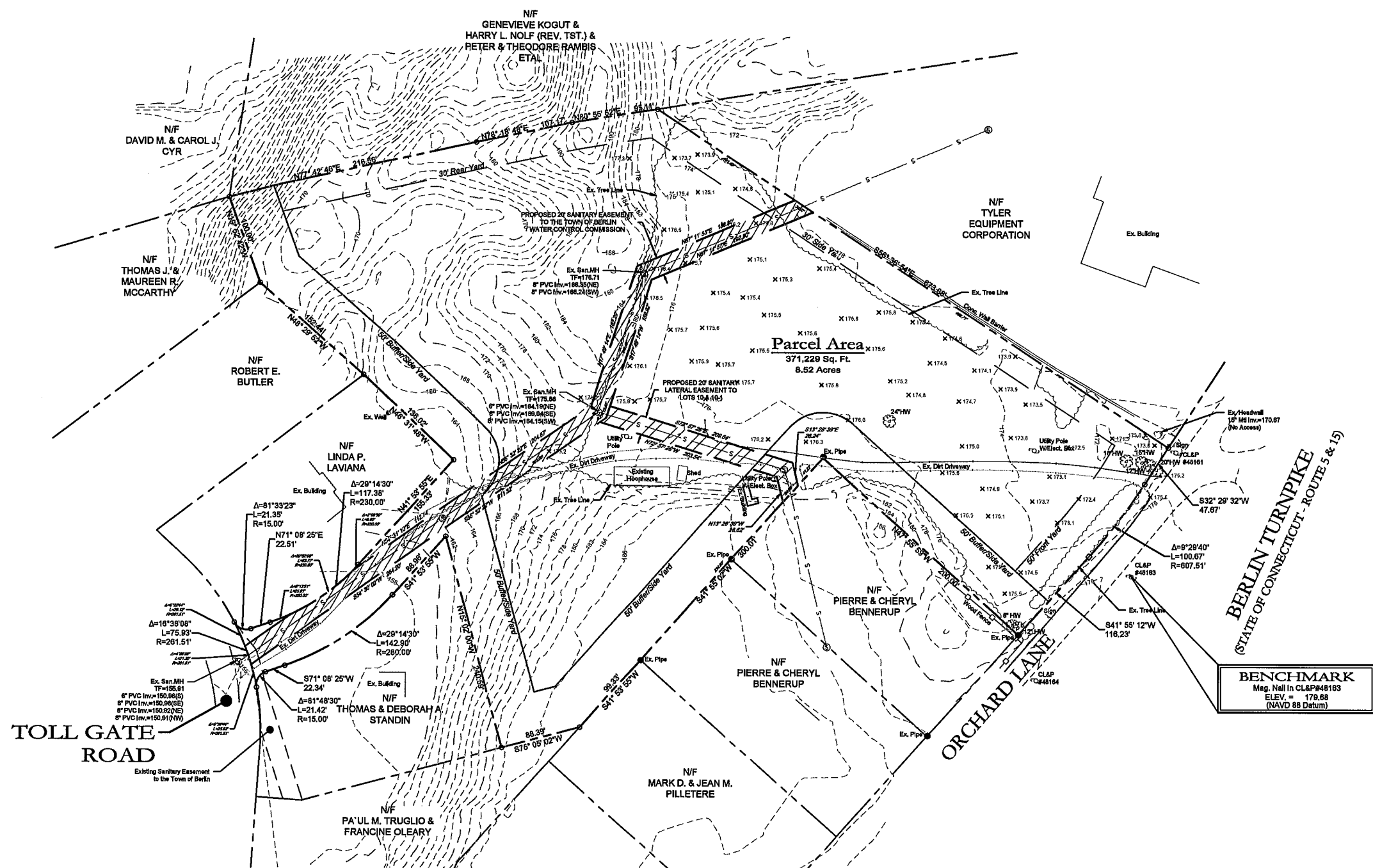
11. Town of Berlin, Assessors Map #21-4 Block #115 Lot #20A

12. Filed in Volume 781, Page 36 of the Town Clerk's office.

13. Contour interval is two(2) foot.

14. Existing contours generated from supplemental field topography and existing mapping.

15. This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-822-4455 prior to any excavation operations.



DATE	REVISION

To the best of my knowledge and belief, this map is substantially correct as noted hereon.

#70145

Stephen M. Gludice, L.S. **Reg. No.**
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO

PROPERTY & TOPOGRAPHIC SURVEY MAP

Prepared For / Owner
**PRIORITY
ELECTRIC**

Parcel 21-4-115-20A Berlin Turnpike
Berlin, Connecticut

February 4, 2021

Scale: 1" = xx'

P

100

PROJECT #: 205

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engineering, surveying, planning

878 South Main Street Tel: (800) 828-4488

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Plainville, CT 06069-0044
Fax: (860) 620-0196
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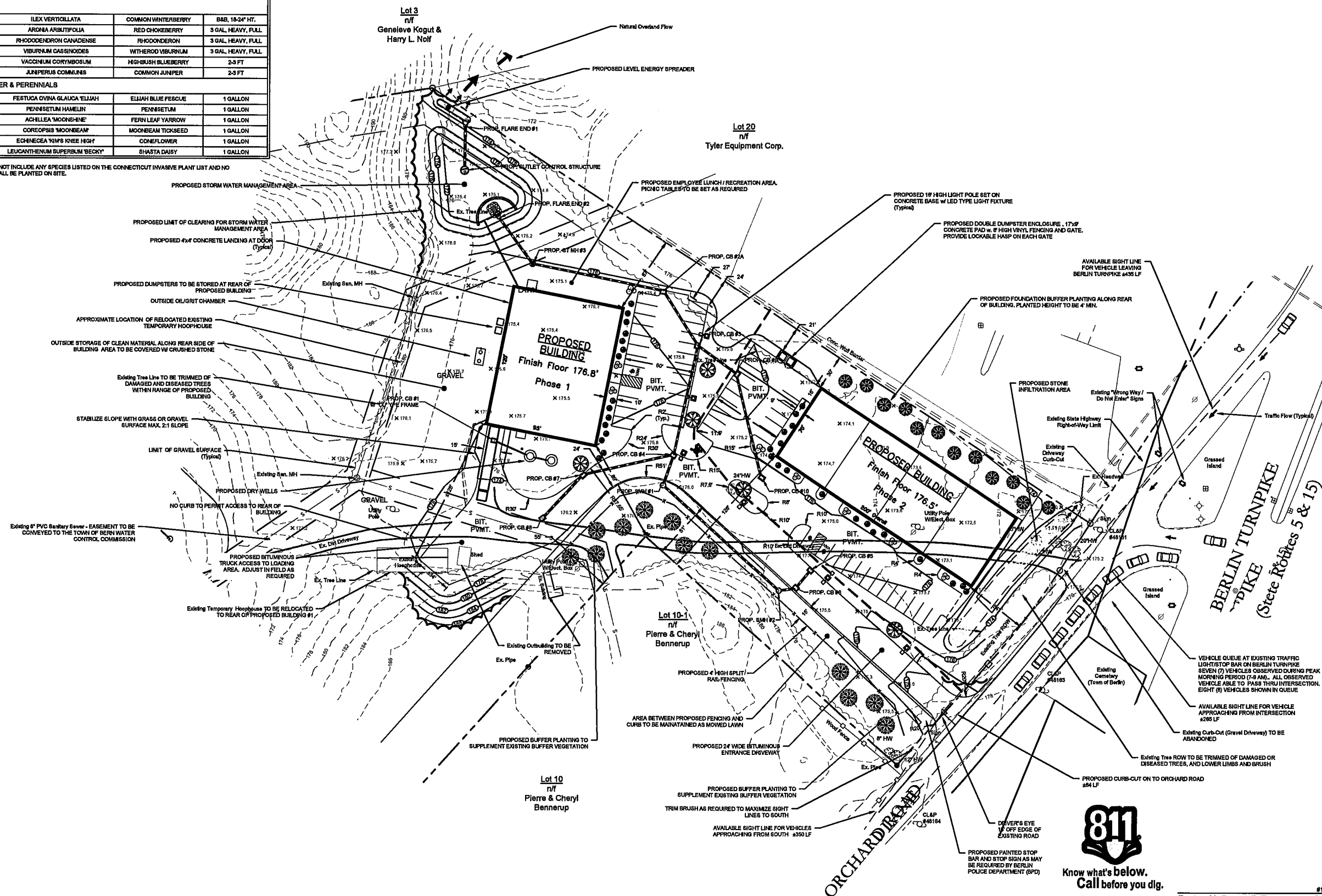
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PROJECT #: 205

DATE: 03/15/2021 BY: BNB
PROJECT: 21-4-115-20A, Berlin Turnpike, Berlin, CT 06034
SHEET: C2 OF 2
SCALE: 1"=40'

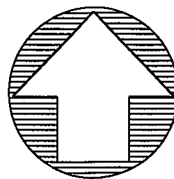
PLANT LIST				
SYM.	QYT.	SCIENTIFIC NAME	COMMON NAME	CONDITION
SCREENING TREES				
	XX	CUPRESSUS X LEYLANDII	LEYLAND CYPRESS	B & B, 3" CAL.
		PICEA RUBENS	RED SPRUCE	B & B, 3" CAL.
		THUJA OCCIDENTALIS	EMERALD GREEN ARBORVITAE	B & B, 3" CAL.
SHADE TREES				
	XX	QUERCUS RUBRA	RED OAK	B & B, 3" CAL.
		ACER RUBRUM	RED MAPLE	B & B, 3" CAL.
		TILIA TOMENTOSA	SILVER LINDEN	B & B, 3" CAL.
		PRUNUS PENSYLVANICA	WILD RED CHERRY	B & B, 3" CAL.
SHRUBS				
	XX	ILEX VERTICILLATA	COMMON WINTERBERRY	B&B, 18-24" HT.
		ARONIA ARBUTIFOLIA	RED CHOKEBERRY	3 GAL. HEAVY, FULL
		RHODODENDRON CANADENSE	RHODODENDRON	3 GAL. HEAVY, FULL
		VIBURNUM CASSINOIDES	WITHERED VIBURNUM	3 GAL. HEAVY, FULL
		VACCINIUM CORYMBOSUM	HIGHBUSH BLUEBERRY	2-3 FT
		JUNIPERUS COMMUNIS	COMMON JUNIPER	2-3 FT
GRASS, GROUND COVER & PERENNIALS				
	XX	FESTUCA OVINA GLAUCA 'ELIJAH'	ELIJAH BLUE FESCUE	1 GALLON
		PENNSETUM HAMELIN	PENNSETUM	1 GALLON
		ACHILLEA 'MOONSHINE'	FERN LEAF YARROW	1 GALLON
		COREOPSIS 'MOONBEAM'	MOONBEAM TICKSEED	1 GALLON
		ECHINECEA 'MIM'S KNEE HIGH'	CONEFLOWER	1 GALLON
		LEUCANTHEMUM SUPERBUM 'BECKY'	SHASTA DAISY	1 GALLON

1. THE ABOVE LIST DOES NOT INCLUDE ANY SPECIES LISTED ON THE CONNECTICUT INVASIVE PLANT LIST AND NO PLANT ON THIS LIST SHALL BE PLANTED ON SITE.



Know what's below.
Call before you dig.

Barton N. Bovee P.E.
Reg. No. #13653
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Fax: (860) 620-0196
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PROJECT NAME:

PROPOSED
COMMERCIAL
DEVELOPMENT
Parcel 21-4-115-20A
Berlin Turnpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

SITE LAYOUT PLAN

Scale: 1"=40'
0' 20' 40'

Date: March 15, 2021

Project #: 2051

F.B. #:

Drawn By: BNB

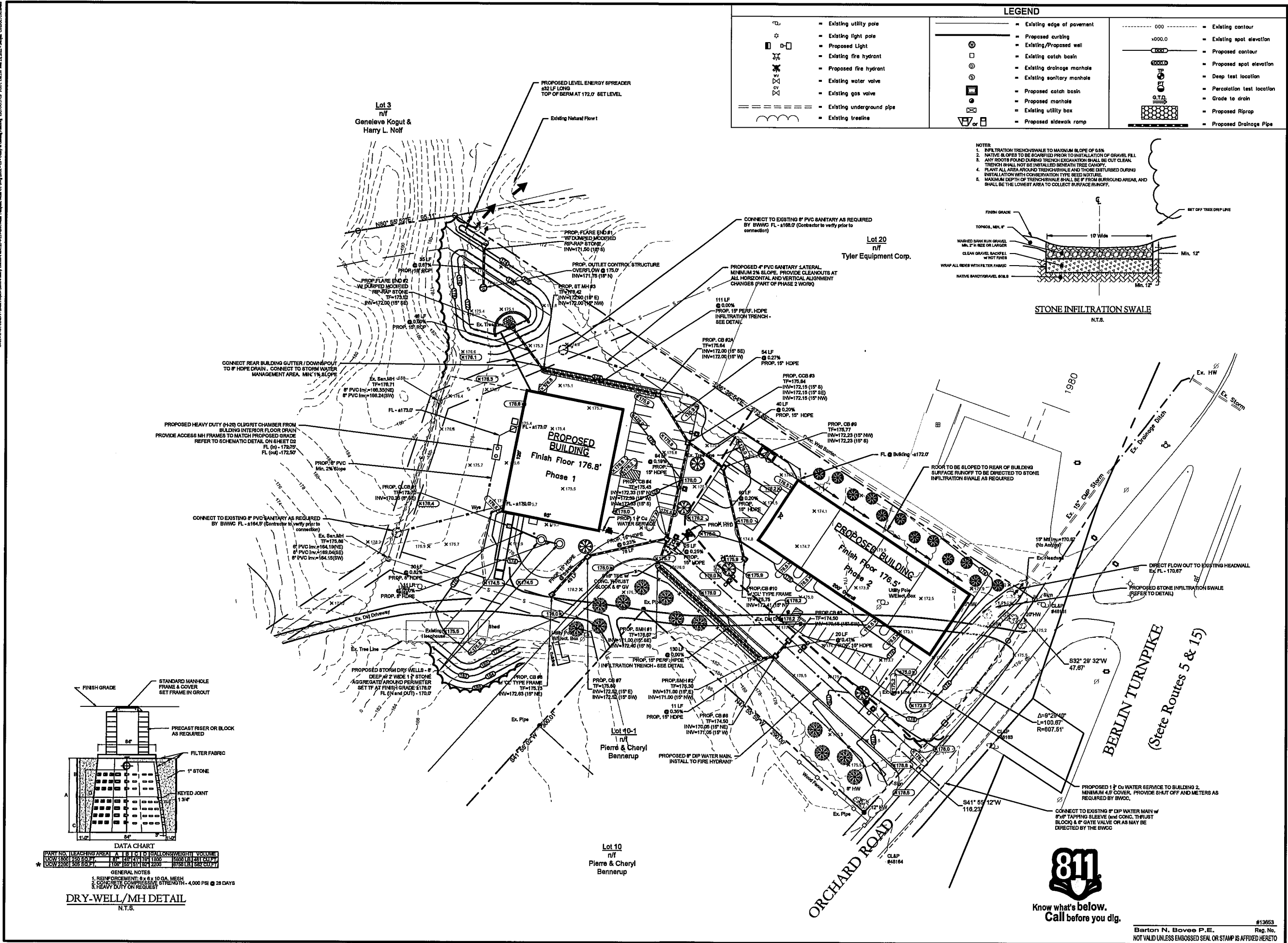
Approved By: BNB

Revisions:

Date:	Descriptions:

Sheet #:

C2



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876 South Main Street
P.O. Box 44
Plantsville, CT 06479-0044

Tel: (860) 628-4484
Fax: (860) 620-0196
www.hecole.com

PROJECT NAME:

**PROPOSED
COMMERCIAL
DEVELOPMENT**
Parcel 21-4-115-20A
Berlin Turnpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

UTILITY & GRADING PLAN



Date: March 15, 2021

Project #: 2051	F
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Drawn By: BNB

Revisions:

Date:	Descriptions:
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Sheet #:

C3



Know what's below.
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Barton N. Bovee P.E. Reg. No. **W15053**
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SOIL EROSION AND SEDIMENT CONTROL NARRATIVE:

A. PROJECT INFORMATION

1. Project Description - The project site consists of one 8.52 acre site at Parcel 21-4-115-20A Berlin Turnpike in Berlin, Connecticut.
2. Area Proposed Disturbance Due to Construction Activities - 3.92 Acres.
3. Phases of Development - Phase 1 & 2
4. Phase 1 - Site work and building
5. Phase 2 - Building additions as shown
6. Estimated Start of Construction - Summer 2021
7. Estimated Construction Completion Date - Fall 2023 (Estimated).

B. SEQUENCE OF CONSTRUCTION

1. The narrative sequence of construction events are as follows and activities noted by a "Capital Letter" may occur concurrently.
2. Conduct a pre-construction meeting with the OWNER, Contractor, Consultant Team, and Local, County and State agencies having jurisdiction over the project.
3. Field staking of limits of all activities and install, at a minimum, a snow fence along construction limit lines along environmentally sensitive and tree protection areas. SB fencing may be substituted where it coincides with this line, but only as approved by the OWNER. (A)
4. Install all fence along all slopes contiguous to wetlands, watercourses and property owned by others affected by the work. Refer to the Soil Erosion and Sedimentation Control Plan for locations. (A)
5. After each rain storm monitor the sedimentation and erosion control structures, which may include riprap channels, sediment basins, plunge pools, etc. Routinely remove sediment during construction when controls exceed one half (1/2) their capacity; sediment shall be disposed of in an environmentally acceptable manner at an approved location. (A)
6. Clear vegetation within project limits, except trees designated to remain or in question, as shown on the plans. The decision of how questionable trees are to be treated shall rest with the OWNER and coordinated through the local agency having jurisdiction as construction progresses. All trees and shrubs less than 6" in diameter, and not to remain, shall be chipped and stored on site for mulch. (A)
7. Remove stumps and dispose of all a bulky waste site approved by the ENGINEER and local official having jurisdiction. Disposal of stumps within burial pits on-site shall be prohibited. (B)
8. Construct all temporary sedimentation and erosion control structures, including but not limited to: all fence, stone check dams, water breaks, and sediment traps/basins. All structures and their locations shall be approved by the ENGINEER or the Inland Wetlands Enforcement Officer. Prior to the next phase of construction. (B)
9. Install drainage outlet pipe and temporary sediment basin along with temporary drainage diversions to sediment basins. If the proposed sediment basin is to be used as a temporary sediment trap/basin and an outlet control structure is to be installed, all outlets and weirs are to be plugged water tight during construction. (B)
10. Strip topsoil and subsoil materials as required and stockpile them at locations that will not adversely impact any down gradient wetlands. Stockpiles may be relocated to meet job conditions but are subject to the ENGINEER'S approval. Provide temporary erosion controls on the down slope sides of all stockpiles. (B)
11. Bring proposed site entrance surface areas to rough subgrade. Conduct all rough cuts and fills for proposed buildings and associated parking. Making sure that all fill material is free of brush, rubbish, large boulders, logs, stumps and other objectionable materials. (C)
12. If blasting is required for any cuts, all proposed work is to be coordinated with all local officials having jurisdiction. The contractor is required to secure all permits for blasting operations in accordance with local and state regulations and conduct a pre-blast survey of surrounding properties. Rock spoil is to be disposed of in an appropriate manner as the site development plan may show or is locally permitted. (C)
13. Provide temporary seeding measures on all exposed soil which were damaged due to construction activities, are outside of construction traffic zones, and are not to be permanently restored or for a period in excess of thirty (30) days. Seeding and seedbed preparation are as specified herein or as indicated on the landscape plan. (C)
14. Excavate for and install storm drainage systems. Install strawbale ring sediment barriers at all catch basins locations. (C)
15. Excavate for and install utilities. (C)
16. Building construction may begin pending building permit and run concurrently with the remaining site activities. (C)
17. Bring proposed roadway areas to pavement subgrade with processed stone and install binder course and curbing. Refer to details. (D)
18. Construct all driveway entrance improvements as indicated on plans. (E)
19. Complete final grading for all grassed and landscaped areas. Prepare subgrades for placing a minimum of four inches of topsoil. Place topsoil only when permanent seeding and landscaping can follow within a reasonable time frame. (E)
20. Execute final landscaping plan and permanent seeding to provide long-term stabilization. (E)
21. Complete final paving with top course and paint surfaces with permanent markings. (E)
22. Clean and remove all fill from within drainage structures and dispose of materials in an environmentally acceptable manner. (F)
23. Remove temporary measures once permanent measures have matured as approved by the Municipality's

GENERAL NOTES:

1. Additional notes and details are located on Sheet E2.
2. At all times during construction, the Developer/Contractor shall be responsible for preventing and controlling on-site erosion including keeping the property sufficiently watered so as to minimize wind blown sediment. The Developer/Contractor shall also be responsible for installing and maintaining all erosion control facilities shown herein.
3. All soils exposed during land disturbing activity (stripping, grading, utility installations, stockpiling, filling, etc.) shall be kept in a roughened condition by ripping or disking along land contours until much, vegetation, or other permanent erosion control BMP's are installed. No soil in areas outside project street rights-of-way and future pavement shall remain exposed by land disturbing activity for more than thirty (30) days before required temporary or permanent erosion control (e.g., watering, seed/mulch, landscaping, etc.) is installed, unless otherwise approved by the Town Engineer.
4. All inlets shall be cleaned prior to occupancy.
5. All slopes greater than 3:1 shall be protected with Erosion Control Blankets (E150 by North American Green or approved equal).
6. All erosion control measures shall remain intact and operational until the site has been stabilized and vegetation is thoroughly established. This may occur after completion of construction, therefore it is critical for the Developer, Contractor and/or Owner to understand the erosion control responsibilities and maintain the erosion control measures.
7. To minimize erosion of the sandy soils, vegetation shall be established immediately following completion of grading within each area. Vegetation may consist of temporary seeding or final lawn and seed.
8. If areas of work are not addressed by this plan or sediment and erosion issues arise in areas not covered by this plan, then the plan shall be augmented in the field. Contractor shall be responsible to insure no sediment or erosion problems ensue upon disturbing property. This may require additional barriers, mulches and bales.
9. All erosion and sediment control measures shall conform to the 2002 Connecticut Guidelines for Soil Erosion and Sediment Control manual.
10. All Dewatering shall incorporate the use of filter bags on discharge ends.

STORMWATER MANAGEMENT MAINTENANCE SCHEDULE

BERLIN, CONNECTICUT

The following are the required maintenance and monitoring procedures.

- Riprap and Discharge Areas** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and before September 15.
- Outlet Control Structure** - Shall be cleaned of all sediment, trash and debris and is to be inspected for structural integrity. These procedures to be conducted yearly between May 1 and September 15. Structures shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections. Repairs shall be executed immediately.
- Emergency Sediment** - Shall be cleared of all sediment deposits and invasive plant species and are to be inspected for riprap damage and deterioration. These procedures to be conducted yearly between May 1 and September 15. Repairs shall be executed immediately.
- Catch Basins** - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures to be conducted yearly anytime after May 1 and before September 15.
- Oil Water Separator** - Inspect monthly and clean as needed. Remove oil, grease, floatables and sediment with vacuum truck or catch basin cleaning equipment. At a minimum inspection and cleaning, if needed, should be conducted every six months.
- Swales** - all swales be cleared of all sediment deposits, invasive plant species and debris. Any erosion shall be repaired. These procedures to be conducted annually. Swales shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections.
- Water Quality Basin** - Basin shall be cleared of all sediment deposits, invasive plant species and debris. These procedures to be conducted yearly between May 1 and September 15. Basin shall be inspected two times a year and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.
- Slopes** - Slope erosion control blankets and vegetation shall be inspected twice a year and after significant rainfall events. Additional maintenance, beyond schedule maintenance, may be required based upon inspections. Any rills or channeling shall be repaired immediately.
- Parking Lot Sweeping** - Use mechanical sweeping on paved areas where dust and fine materials accumulate. These procedures to be conducted yearly anytime after May 1 and September 15.
- All sediment deposits, trash and debris shall be removed to a location off-site and disposed of in an environmentally acceptable manner.

24. enforcement officer. (F)
25. Conduct final inspection with Municipality to identify deficiencies and establish punch list based on approved plans; complete to the satisfaction of the Municipality.

C. RESPONSIBILITY

1. The responsibility for implementing and maintaining the Soil Erosion and Sedimentation Control Plan rests with the OWNER OF RECORD where any development of the parcel gives cause to erosion and sedimentation. It is also to be said that the OWNER OF RECORD shall be held responsible for informing all concerned regarding responsibility of the BEASC plan and seeing that the plan becomes a part of the deed in the event the title of the property is transferred. The costs of all drainage erosion and sedimentation control measures will therefore rest with the OWNER OF RECORD.
2. SESC Emergency contact information
Emergency Contact Name: Priority, LLC (Paul Prior, Jr.)
Emergency Contact Phone Number: (860) 209-6969

EROSION CONTROL SYMBOL LEGEND

- ORANGE LIMIT OF CONSTRUCTION FENCE
- SILT FENCE
- EROSION CONTROL LOGWATTLE
- INLET PROTECTION
- STAKED BALES
- CHECK DAM WATTLESOCK or STONE
- EROSION CONTROL BLANKET
- TEMPORARY WATER BAR (WB) or DIVERSION CHANNEL (TD)

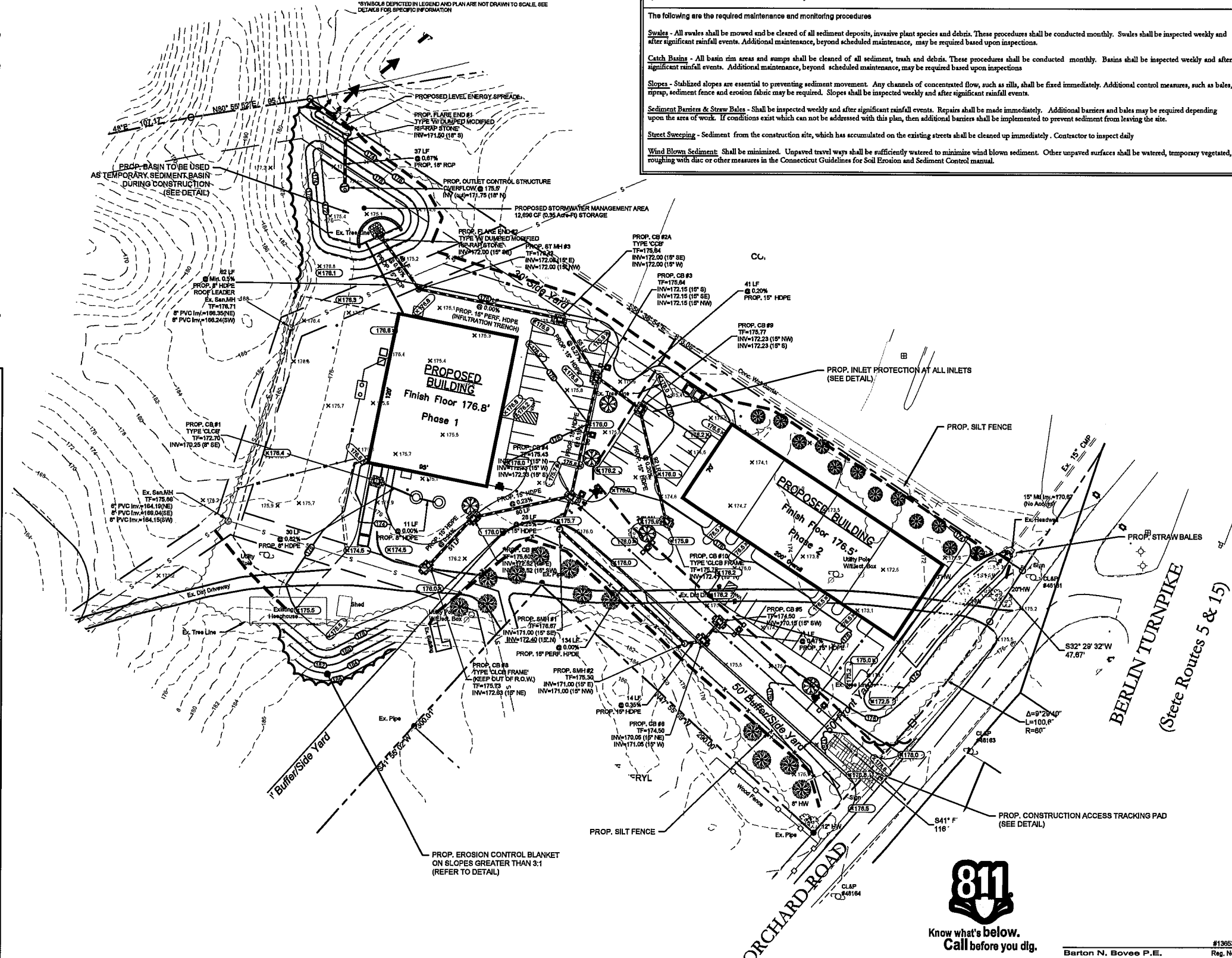
*SYMBOLS DEPICTED IN LEGEND AND PLAN ARE NOT DRAWN TO SCALE. SEE DETAILS FOR SPECIFIC INFORMATION

LEGEND	
Existing utility pole	Existing edge of pavement
Existing light pole	Proposed curbing
Proposed Light	Existing/Proposed well
Existing fire hydrant	Existing catch basin
Proposed fire hydrant	Existing drainage manhole
Existing water valve	Existing sanitary manhole
Existing gas valve	Proposed catch basin
Existing underground pipe	Proposed manhole
Existing tree line	Existing utility box
	Proposed sidewalk ramp
	Existing contour
	Existing spot elevation
	Proposed contour
	Proposed spot elevation
	Deep test location
	Percolation test location
	Grade to drain
	Proposed Riprap
	Proposed Drainage Pipe

TEMPORARY STORMWATER MANAGEMENT MAINTENANCE SCHEDULE (DURING CONSTRUCTION)

The following are the required maintenance and monitoring procedures

- Swales** - All swales shall be mowed and be cleared of all sediment deposits, invasive plant species and debris. These procedures shall be conducted monthly. Swales shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.
- Catch Basins** - All basin rim areas and sumps shall be cleaned of all sediment, trash and debris. These procedures shall be conducted monthly. Basins shall be inspected weekly and after significant rainfall events. Additional maintenance, beyond scheduled maintenance, may be required based upon inspections.
- Slopes** - Stabilized slopes are essential to preventing sediment movement. Any channels of concentrated flow, such as rills, shall be fixed immediately. Additional control measures, such as bales, riprap, sediment fence and erosion fabric may be required. Slopes shall be inspected weekly and after significant rainfall events.
- Sediment Barriers & Straw Bales** - Shall be inspected weekly and after significant rainfall events. Repairs shall be made immediately. Additional barriers and bales may be required depending upon the area of work. If conditions exist which can not be addressed with this plan, then additional barriers shall be implemented to prevent sediment from leaving the site.
- Street Sweeping** - Sediment from the construction site, which has accumulated on the existing streets shall be cleaned up immediately. Contractor to inspect daily.
- Wind Blown Sediment** - Shall be minimized. Unpaved travel ways shall be sufficiently watered to minimize wind blown sediment. Other unpaved surfaces shall be watered, temporary vegetated, roughing with disc or other measures in the Connecticut Guidelines for Soil Erosion and Sediment Control manual.



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engineering, surveying, planning.

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P.O. Box 44
Plainville, CT 06479-0044
Tel: (860) 628-4484
Fax: (860) 620-0196
www.hccole.com

PROJECT NAME:

**PROPOSED
COMMERCIAL
DEVELOPMENT**
Parcel 21-4-115-20A
Berlin Turnpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

**SOIL EROSION &
SEDIMENTATION
PLAN**

Scale:
40' 20' 0' 20' 40'
1"=40'

Date: March 15, 2021

Project #: 2051 F.B.#: —

Drawn By: BNB Approved By: BNB

Revisions:

Date:	Descriptions:

Sheet #:

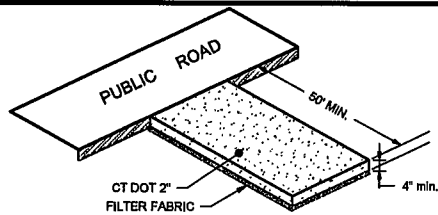
E1



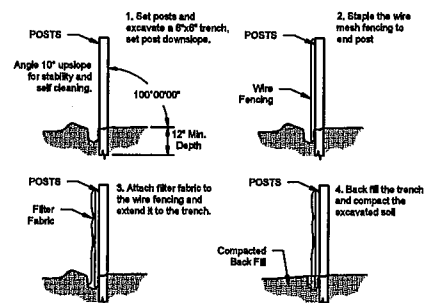
Know what's below.
Call before you dig.

#13953
Barton N. Bovee P.E.
Reg. No.
NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFRAX HERETO

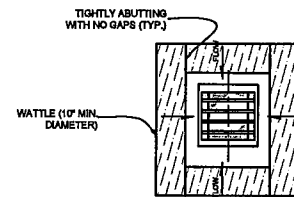
DATE: 03/13/2021
DRAWN BY: BNB
CHECKED BY: MSL
PROJECT: 2051
SHEET: 10 OF 12
SCALE: 1"=40'



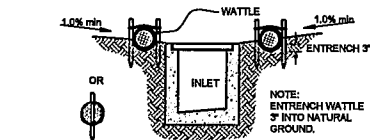
CONSTRUCTION ENTRANCE DETAIL
N.T.S.



SEDIMENTATION BARRIER DETAIL
N.T.S.

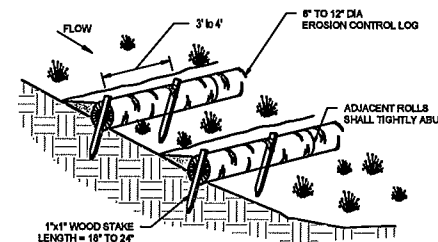


PLAN VIEW



SECTION A-A

CATCH BASIN WATTLE PROTECTION
N.T.S.



- GENERAL NOTES:
1. THE WATTLES SHALL BE TRENCHED INTO THE GROUND A MINIMUM OF TWO (2) INCHES.
 2. WATTLES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 3. ON SLOPES, WATTLES SHOULD BE INSTALLED ON CONTOUR WITH A SLIGHT DOWNWARD ANGLE AT THE END OF THE ROW IN ORDER TO PREVENT PONDING AT THE MID SECTION.
 4. RUNNING LENGTHS OF WATTLES SHOULD BE ADJUSTED TO ENSURE NO LEAKAGE AT THE ABUTMENTS.
 5. SPACING FOR SLOPE INSTALLATIONS SHOULD BE DETERMINED BY SITE CONDITIONS, SLOPE GRADIENT AND SOIL TYPE ARE THE MAIN FACTORS. A GOOD RULE OF THUMB IS:

- 1:1 SLOPES = 10 FEET APART
2:1 SLOPES = 20 FEET APART
3:1 SLOPES = 30 FEET APART
4:1 SLOPES = 40 FEET APART.

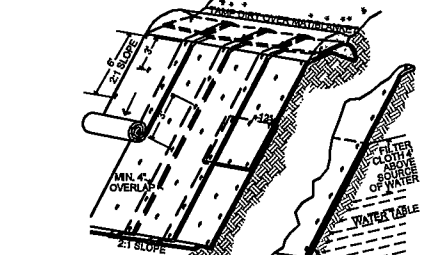
ADJUSTMENTS MAY HAVE TO BE MADE FOR THE SOIL TYPE: FOR SOFT, LOAMY SOILS - ADJUST THE ROWS CLOSER TOGETHER; FOR HARD, ROCKY SOILS - ADJUST THE ROWS FURTHER APART.

6. A SECONDARY WATTLE PLACED BEHIND THE ABUTMENT OF TWO WATTLES IS ENCOURAGED ON STEEP SLOPES OR WHERE JOINTS HAVE FAILED IN THE PAST.
7. USE WOOD STAKES TO SECURE THE WATTLES. 1/2" TO 5/8" REBAR IS ALSO ACCEPTABLE. BE SURE TO USE A STAKE THAT IS LONG ENOUGH TO PROTRUDE SEVERAL INCHES ABOVE THE WATTLE. 18" IS A GOOD LENGTH FOR HARD, ROCKY SOIL. FOR SOFT LOAMY SOIL USE A 24" STAKE. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE. LEAVING 2 - 3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE.

EROSION CONTROL LOG SLOPE PROTECTION
N.T.S.

- NOTES:
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/BLANKETS SHALL HAVE GOOD SOIL CONTACT.
 2. LAY BLANKETS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.

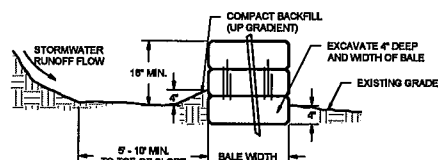
MATS/BLANKETS SHOULD BE INSTALLED VERTICALLY DOWN SLOPE.



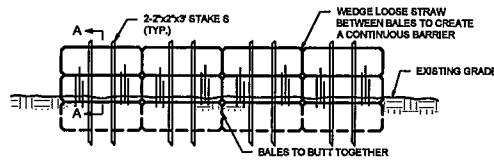
TYPICAL SLOPE SOIL
STABILIZATION
N.T.S.

EROSION BLANKET & REINFORCEMENT
MAT SLOPE INSTALLATION
N.T.S.

- NOTES:
1. BALE BARRIER INSTALLATION SHALL FOLLOW THE CONTOUR OF THE LAND. THE LAST BALES SHALL WING UPSLOPE TO ENSURE PROTECTION.
 2. BALE BARRIERS SHALL BE UTILIZED TO INTERCEPT SMALL AMOUNTS OF SEDIMENT FROM DRAINAGE AREAS ONE ACRE IN SIZE OR LESS. MAX. SLOPE BEHIND A BARRIER MUST BE LIMITED TO 2:1 TV.
 3. BALE BARRIERS SHALL BE INSPECTED PERIODICALLY. AFTER STORM EVENTS GREATER THAN 1" OF RAINFALL AND SHALL BE REMOVED AND REPLACED AFTER 3 MONTHS EXCEPT AS OTHERWISE DIRECTED BY THE ENGINEER OR ENFORCEMENT OFFICIAL. BALES SHALL NOT BE REMOVED UNTIL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED.

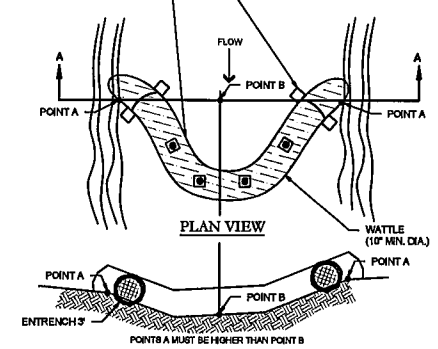


SECTION A-A

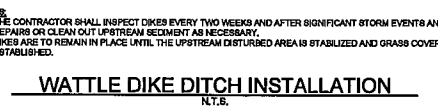


STRAW BALE BARRIER DETAIL
N.T.S.

STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE, LEAVING 2-3 INCHES OF THE STAKE PROTRUDING ABOVE THE WATTLE. A HEAVY SEDIMENT LOAD WILL TEND TO PICK THE WATTLE UP AND COULD PULL OFF THE STAKES IF THEY ARE DRIVEN DOWN TOO LOW. IT MAY BE NECESSARY TO MAKE A HOLE IN THE WATTLE WITH A PICK END OF YOUR MADDOX IN ORDER TO GET THE STAKE THROUGH THE WATTLE. WHEN STRAW WATTLES ARE USED FOR FLAT GROUND APPLICATIONS, DRIVE THE STAKES STRAIGHT DOWN; WHEN INSTALLING WATTLES ON SLOPES, DRIVE THE STAKES PERPENDICULAR TO THE SLOPE.



PLAN VIEW



SECTION A-A

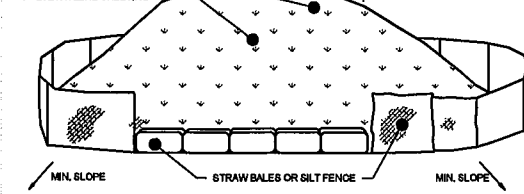
WATTLE DIKE DITCH INSTALLATION
N.T.S.

NOTES:

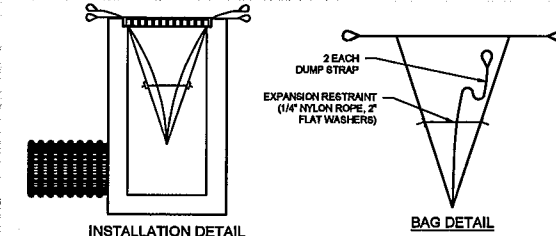
1. THE CONTRACTOR SHALL INSPECT DIKES EVERY TWO WEEKS AND AFTER SIGNIFICANT STORM EVENTS AND MAKE REPAIRS OR CLEAN OUT UPSTREAM SEDIMENT AS NECESSARY.
2. DIKES ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND GRASS COVER IS ESTABLISHED.

- NOTES:
1. AREA CHOSE FOR STOCKPILING SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAWBALES, THEN STABILIZED WITH VEGETATION OR COVERED WITH POLYETHYLENE SHEETING.
 4. TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TOPSOIL IS APPLIED TO SUBSOILS THAT ARE DRAUGHTY (HAVING LOW AVAILABLE MOISTURE FOR PLANTS), STONY, SALTY, HAVE LOW PERMEABILITY, OR ARE EXTREMELY ACID. IT IS ALSO USED TO BACKFILL AROUND SHRUB AND TREE TRANSPLANTS. PRESERVATION OF EXISTING TOPSOIL IS BENEFICIAL FOR ALL TYPES OF LAWN OR ORNAMENTAL PLANTINGS.
 5. TEMPORARY STOCKPILING STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH OR VEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION, MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS AND REQUIRED PERIOD OF USE.
 6. SEE EROSION AND SEDIMENT CONTROL PLAN FOR LOCATIONS.

STABILIZE ENTIRE PILE WITH VEGETATION OR COVER WITH POLYETHYLENE SHEETING

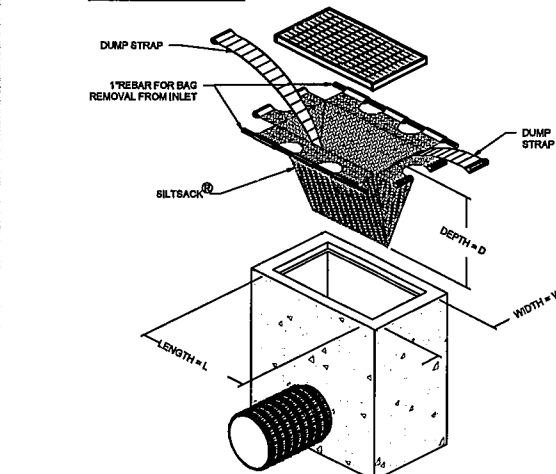


SOIL STOCKPILE DETAIL
N.T.S.



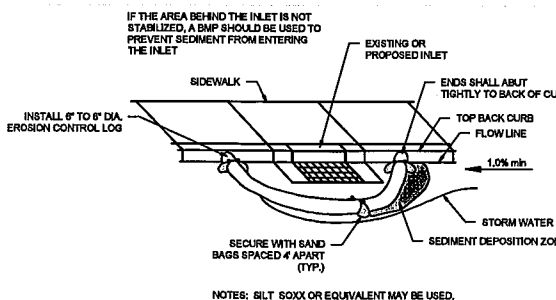
INSTALLATION DETAIL

BAG DETAIL



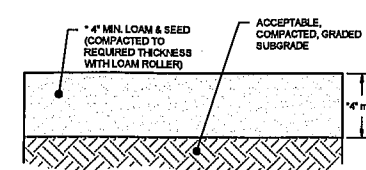
- NOTES:
1. AVAILABLE FROM ACF ENVIRONMENTAL 48 OLD GRAYS BRIDGE ROAD BROOKFIELD, CT 06804, (203)313-9002

SILT SACK INLET CONTROL DEVICE
N.T.S.



EROSION CONTROL LOG - CURB INLET PROTECTION
N.T.S.

- GENERIC SEED MIXTURE
- 25-30% KENTUCKY BLUE GRASS
85% GERMINATION
- 30-35% RED FESCUE 80% GERMINATION
- 30-40% PERENNIAL RYE GRASS MIXTURES
85% GERMINATION
- OR
- SESC MANUAL SEED MIXTURE
PERMANENT GRASS SEEDING
PER FIGURE P-2 & P-3 OF THE
2002 CONNECTICUT GUIDELINES
FOR SOIL EROSION AND
SEDIMENT CONTROL MANUAL

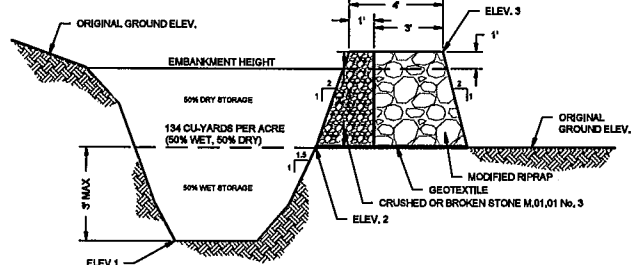


LOAM & SEED DETAIL
N.T.S.

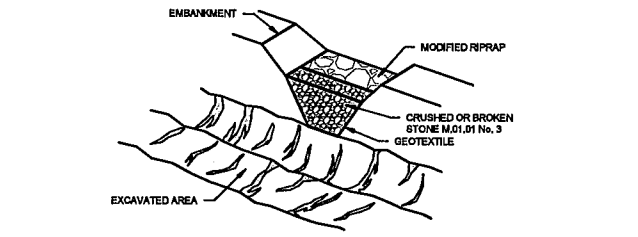
- SEDIMENT TRAP NOTES:
1. ALL WORK SHALL CONFORM TO CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.
 2. VOLUME PROVIDED SHALL BE 154 CUBIC YARDS WITH 50% DRY STORAGE AND 50% WET STORAGE. TYPICAL MAXIMUM DRAINAGE AREA IS 8 ACRES.
 3. USE ONLY FOR TREATMENT OF DISPERSED RUNOFF.
 4. NEVER CONSTRUCT A SEDIMENT TRAP ON A FLOWING STREAM OR IN WETLANDS.
 5. TRAPS SHOULD NOT BE LOCATED CLOSER THAN 25 FEET FROM A PROPOSED BUILDING FOUNDATION OR EDGE OF ROAD.
 6. A RECTANGULAR AND BAYALONG TRAP, WITH A LENGTH-TO-WIDTH RATIO OF 2:1 OR GREATER IS RECOMMENDED.
 7. MAXIMUM EMBANKMENT HEIGHT SHALL BE 8 FEET MEASURED ON THE DOWNSTREAM SIDE. THE MINIMUM TOP EMBANKMENT WIDTH SHALL BE 4 FEET. SIDE SLOPES FOR THE EMBANKMENT AND THE EXCAVATED AREA SHALL BE 2:1 OR FLATTER.
 8. FILL MATERIAL FOR THE EMBANKMENT SHALL BE FREE OF ROOTS OR OTHER VEGETATION, ORGANIC MATERIAL, LAMBE ERMOR, AND OTHER OBJECTIONABLE MATERIAL.
 9. BUILT TO SEDIMENT TRAP SHALL ENTER AT THE FURTHEST DISTANCE TO OUTLET DESIGNED SO AS NOT TO ERODE SIDE SLOPES OF SEDIMENT BARRIER.

INSTALLATION NOTES:

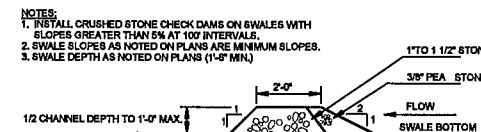
1. SEDIMENT TRAPS, ALONG WITH OTHER PERIMETER CONTROLS, SHALL BE INSTALLED BEFORE ANY LAND DISTURBANCE TAKES PLACE IN THE DRAINAGE AREA.
 2. THE AREA UNDER THE EMBANKMENT SHALL BE CLEARED AND STIPPED OF ANY VEGETATION AND ROOTS.
 3. A GEOTEXTILE SHOULD BE PLACED AT THE STONE-SOIL INTERFACE TO ACT AS A SEPARATOR.
- MAINTENANCE NOTES:
1. SEDIMENT SHALL BE REMOVED FROM THE TRAP WHEN THE WET STORAGE VOLUME IS REDUCED BY HALF. SEDIMENT REMOVED MUST BE PROPERLY DISPOSED.
 2. THE CONTRACTOR SHALL INSPECT SEDIMENT TRAP EVERY TWO WEEKS AND AFTER ANY SIGNIFICANT STORM EVENT; ROCKS CLOUSED WITH SEDIMENT SHALL BE CLEARED OR REPLACED.
 3. SEDIMENT TRAPS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREAS ARE STABILIZED.
 4. IF SEDIMENT TRAPS ARE REMOVED, THE DISTURBED AREA SHALL BE REEDED, GRUMPED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER ACCEPTED BY THE CITY.



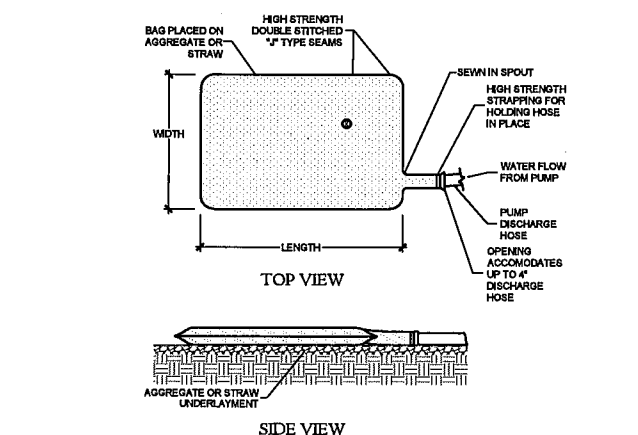
SEDIMENT TRAP - CROSS SECTION OF OUTLET
N.T.S.



SEDIMENT TRAP - OUTLET (PERSPECTIVE VIEW)
N.T.S.



TYPICAL CRUSHED STONE CHECK DAM
N.T.S.



- NOTES:
1. AVAILABLE FROM ACF ENVIRONMENTAL 48 OLD GRAYS BRIDGE ROAD, BROOKFIELD, CT 06804, (203)313-9002

DIRTBAG SILT CONTROL SYSTEM
N.T.S.



NORTH

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PROJECT NAME:

PROPOSED
COMMERCIAL
DEVELOPMENT
Parcel 21-4-115-20A
Berlin Turnpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

SOIL EROSION &
SEDIMENTATION
DETAILS

Scale:

40' 20' 0 20' 40'
1"=40'

Date: March 15, 2021

Project #: 2051

F.B.#: —

Drawn By: BNB

Approved By: MSL

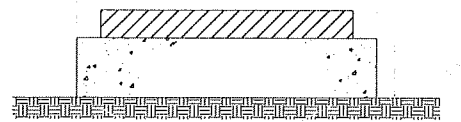
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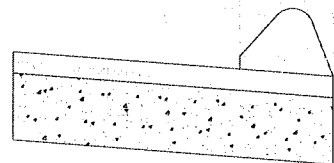
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ES2

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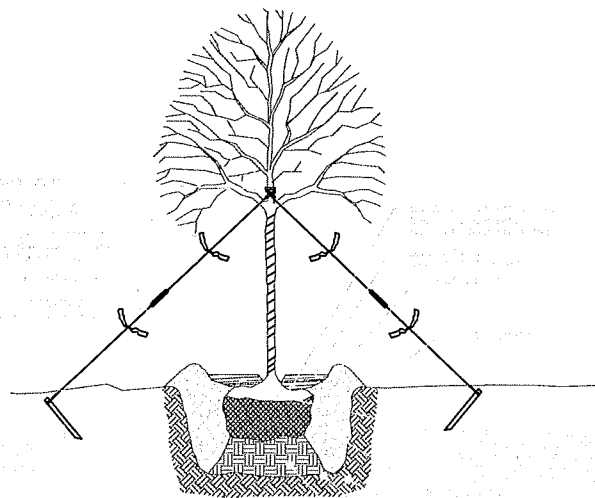
CONCRETE CURB AND GUTTER DETAIL



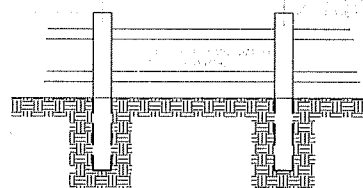
CONCRETE CURB AND GUTTER DETAIL



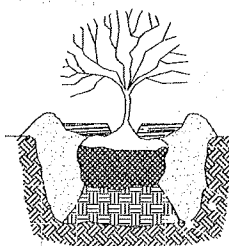
CONCRETE CURB AND GUTTER DETAIL



TREE PLANTING AND GUYING DETAIL INSTALLED IN OPEN AREAS

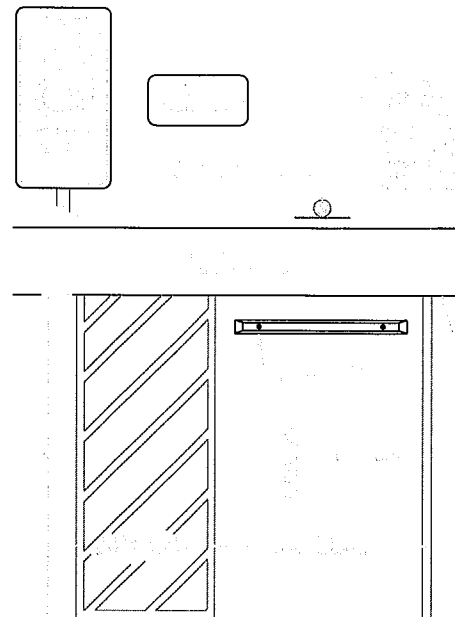


SHRUB PLANTING DETAIL

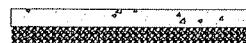
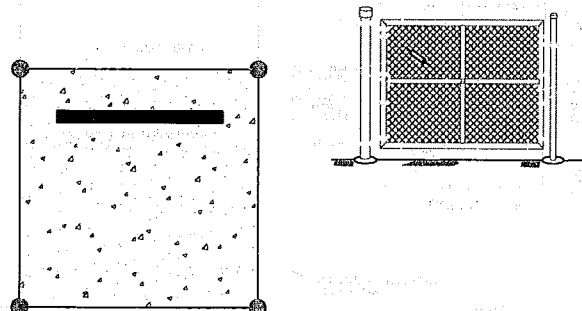


SECTION A-A

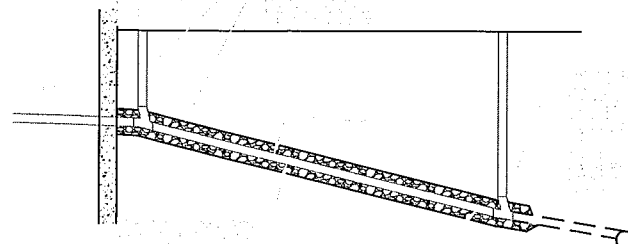
SHRUB PLANTING DETAIL



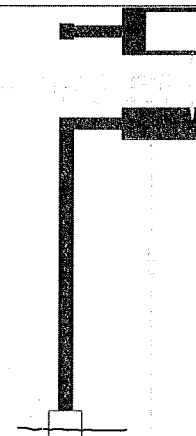
INSTALLATION OF SANITARY SEWER
BUILDING LATERAL DETAIL



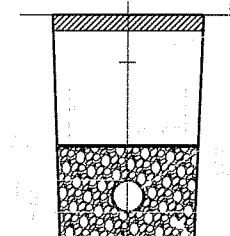
CONCRETE DUMPSTER PAD DETAIL



INSTALLATION OF SANITARY SEWER
BUILDING LATERAL DETAIL



INSTALLATION OF SANITARY SEWER
BUILDING LATERAL DETAIL



INSTALLATION OF SANITARY SEWER
BUILDING LATERAL DETAIL

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PROJECT NAME:

**PROPOSED
COMMERCIAL
DEVELOPMENT**
Parcel 21-4-115-20A Berlin
Tumpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

**CONSTRUCTION
DETAILS**

Scale:

N.T.S.

Date: March 15, 2021

Project #: 2051

F.B. #: —

Drawn By: BNB

Approved By: BNB

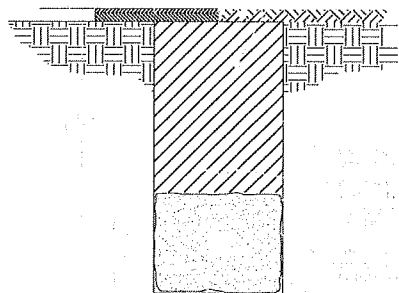
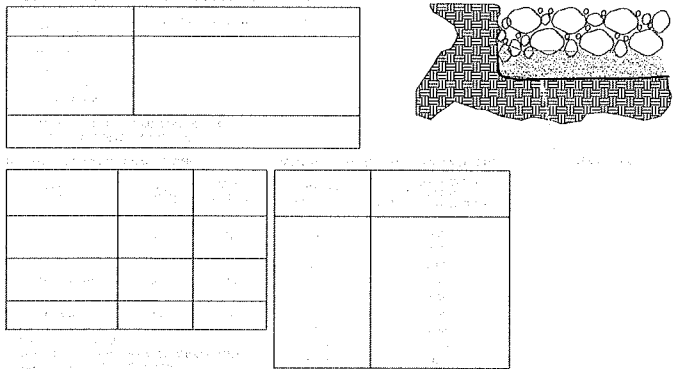
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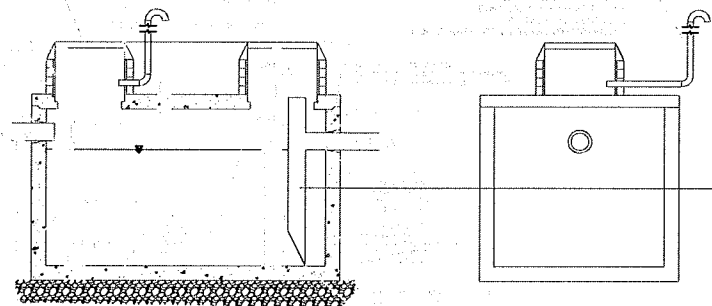
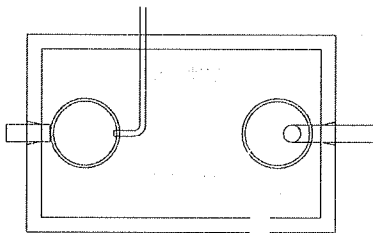
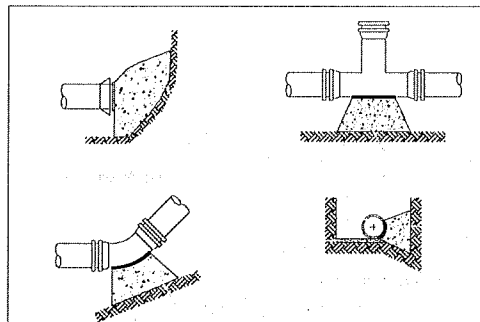
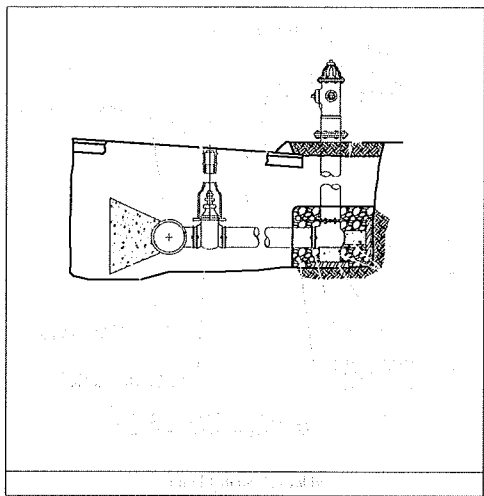
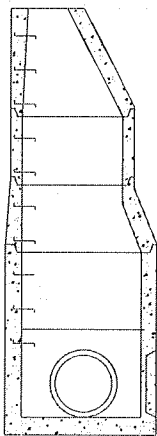
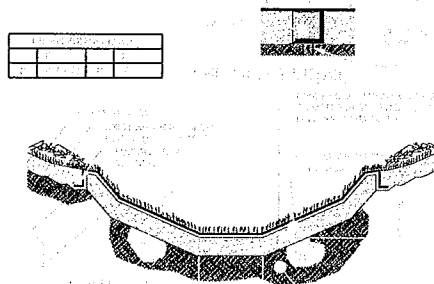
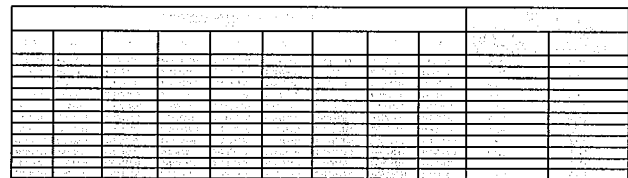
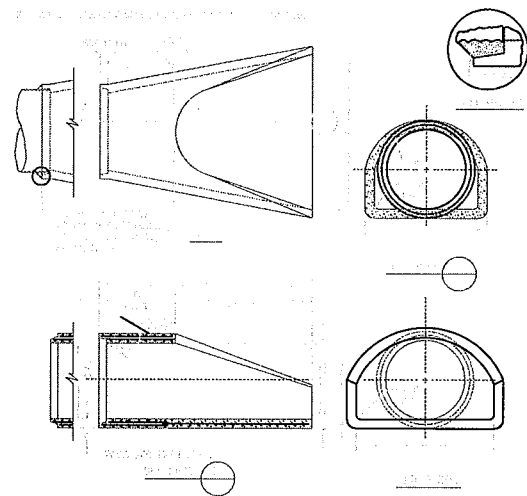
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D1

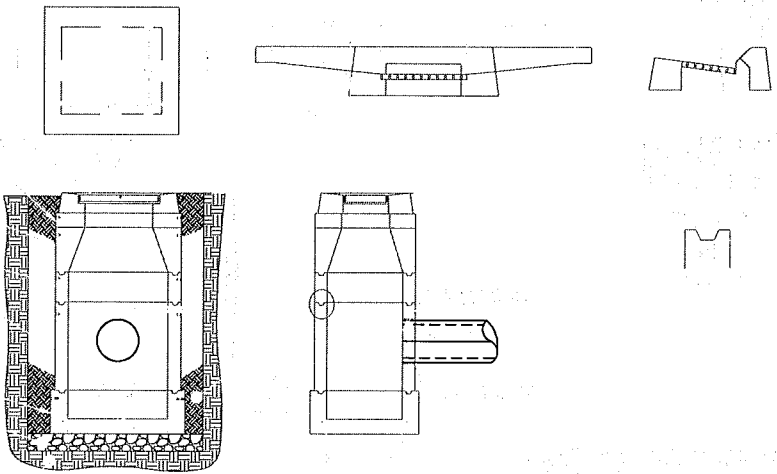
DATE: 02/22/2021
DRAWN BY: BNB
CHECKED BY: BNB
PROJECT: 21-4-115-20A Berlin Turnpike
SHEET: D2 - CONSTRUCTION DETAILS
SCALE: N.T.S.



TYPICAL WATERMAIN TRENCH



TYPICAL WATERMAIN TRENCH



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PROJECT NAME:

**PROPOSED
COMMERCIAL
DEVELOPMENT**
Parcel 21-4-115-20A Berlin
Turnpike
Berlin, Connecticut

PREPARED FOR:

PRIORITY, LLC

Sheet Description:

**D2 - CONSTRUCTION
DETAILS**

Scale:

N.T.S.

Date: February 22, 2021

Project #: 2051

F.B. #: —

Drawn By: BNB

Approved By: BNB

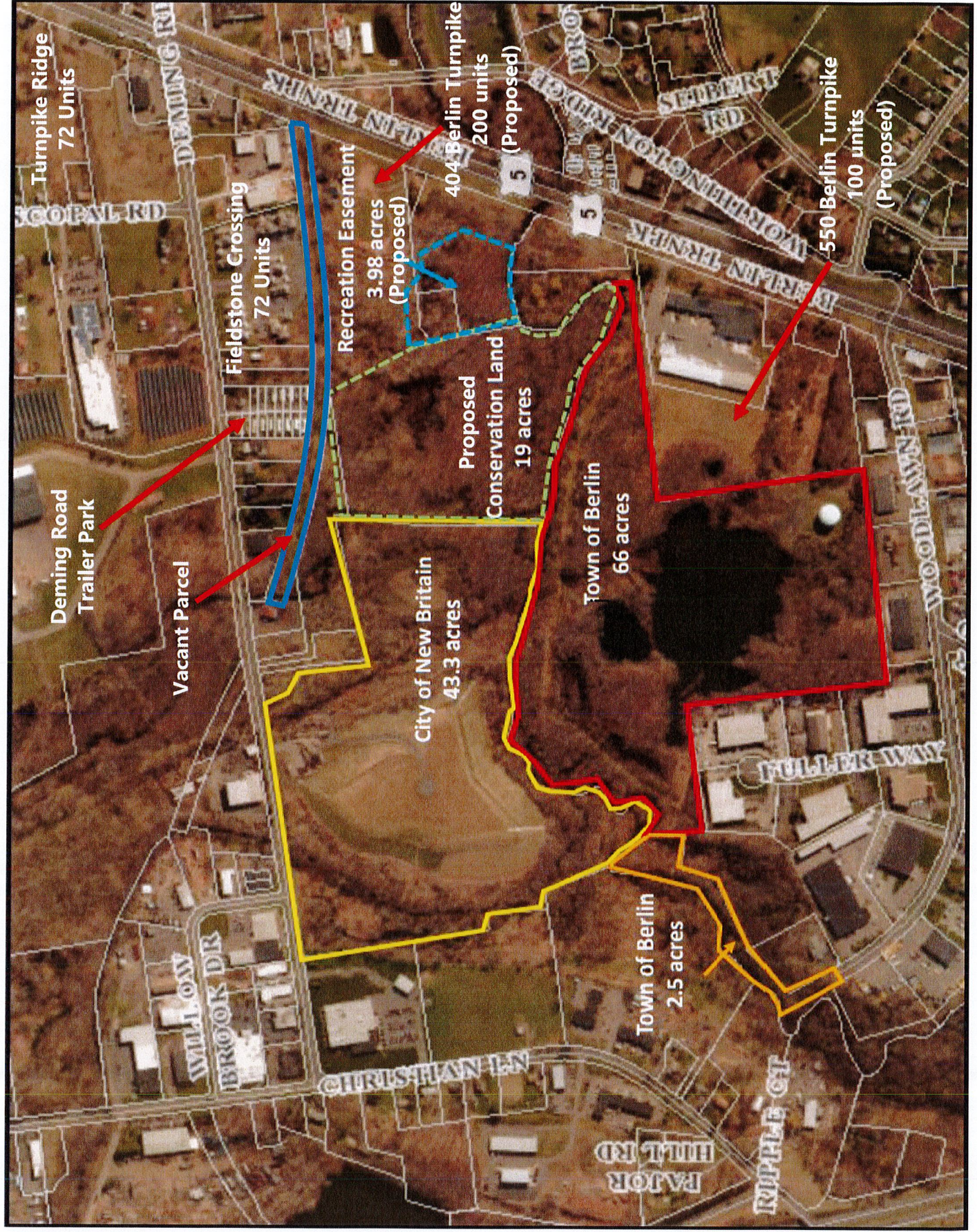
Revisions:

Date:	Descriptions:

Sheet #:

D2

PROPOSED OPEN SPACE - BERLIN TURNPIKE & DEMING ROAD



Agenda Item No. ____
Request for Town Council Action

TO: The Honorable Mayor and Town Council

FROM: Arosha Jayawickrema, Town Manager

DATE: April 8, 2021

SUBJECT: Authorization for a Bridge to be Constructed in at the Rear of the Town Hall Complex and for Funding for Materials

Summary of Agenda Item:

Caleb Uliasz has proposed building a bridge across a small brook at the rear of the Marjorie Moore Village for his Eagle Scout project in order to help connect the Town Hall complex and Percival Field. The bridge will be constructed in an easement area that the Town acquired from the Berlin Housing Authority for the purpose of connecting the Town Hall complex to Percival Field. This project will also require approval from the Inland Wetlands Commission, the Building Department and the Berlin Housing Authority. Construction of bridges in open space areas has been recognized as valuable by the Conservation Commission and in the Town's Plan of Conservation and Development. The bridge proposed by Mr. Uliasz will be an asset to help residents walk to or from both Town Hall and the Percival Field complex, fields and pool. The access route will also connect to sidewalks at Town Hall Drive and Carbo Lane to provide additional pedestrian walking connections. Pedestrian improvements at Percival Field were part of the recent bid package for which no bid was awarded. Hopefully these pedestrian improvements at Percival Field will be completed in the future in order to provide better access to the fields and to make a better connection to the proposed bridge and to the Town Hall complex. Construction of this bridge requires more work than the average Eagle Scout project and the Town has been fortunate to have Eagle Scouts build bridges at in the past including at Timberlin, Bicentennial Park and Ragged Mountain. Staff recommends that the Town Council approve the bridge project subject to approvals by the Inland Wetlands and Watercourses Commission, the Berlin Housing Authority and the Building Department and authorize a donation \$800 toward the cost of materials for the bridge from the open space (fee in lieu) account, account # 516.10.1014.0.54000.01606.

Action Needed:

Move to approve a bridge project at the rear of Marjorie Moore Village in an easement area that the Town acquired from the Berlin Housing Authority subject to approvals by the Inland Wetlands and Watercourses Commission, the Berlin Housing Authority and the Building Department and to authorize a grant of \$800 to Caleb Uliasz for the purchase of materials for his Eagle Scout bridge project from the open space (fee in lieu) account.

Attachments:

1. Map and photos showing planned bridge location.
2. Sufficiency of funds.

Prepared By: Chris Edge, Economic Development Director
Jim Mahoney, Economic Development Coordinator