

Site Plan Amendment – Phase 5

Project Name: Beckley Farms
Address: Beckley Road (MBL 11-2-133-41)
Zone: OT-2 Zone
Applicant/Owner: Estates of Berlin, LLC
Proposal: Active Adult Community Development per BZR XI.AA.

PROPOSAL

The Estates of Berlin, LLC is requesting site plan amendment for modifications to the grading plan within Phase 5 of the approved 5-phase active adult community development (aka Beckley Farms) that is currently under development at (MBL 11-2-133-41) Beckley Road.

The applicant has submitted the attached enhanced narrative dated March 2, 2021 which specifically clarified the parameters of the site plan amendment application.

STAFF COMMENTS

1. All relevant conditions of approval not specifically modified by this application be carried over with this amendment and noted on revised plans, including:
 - a. Unit owners be made aware of the proximity of the existing gun club/firing range (identified as Mattabassett Rifle & Pistol Club, 193 Beckley Mill Road) to the east, by notice on the Land Records, as previously required for each unit and per Police Department comments.
2. Vigorous soil erosion controls be used to protect against disturbance of the adjacent Town open space parcel including fencing along the property line to protect from encroachment.
3. Other outstanding interdepartmental comments be rectified to the satisfaction of staff.
4. Pending Town Engineer comments be resolved to the satisfaction of staff and may require additional Commission review.

For the Commission to consider:

5. If additional landscaping is required, particularly along the revised sloping in phase 5 along the northeast property line.

BACKGROUND / HISTORY

Research has found that Site Plan and Special Permit applications for an Active Adult Community for Field Road LLC was approved with conditions for this parcel on March 31, 2005. The project has been known as Beckleyville, Beckley Farms and Estates of Berlin. There have been several site plan/special permit amendments and extensions. New Special Permit and Site Plan applications were approved on February 20, 2020 for completion of the project which included Phase 5 construction of 57 Townhouse style units. Phase 5 has 10 buildings of 4 to 7 units each.

Active construction is underway. The status of construction across the entire development is reflected in the narrative attached to the application. As described by the applicant, Phases 1, 1A, 2, and 3 are substantially complete with a few unsold/unbuilt units and phase 4 is under construction and they are doing site work in phase 5. Phases 1-4 are mostly single-family units with a few duplexes. No change to approved plans as permitted is being requested for the remaining work on Phases 1-4.

ANALYSIS

ZONING

The proposed revisions to approved site work plan requires this site plan amendment application. The approved Special Permit for the development will not be affected by the proposed grading modifications. No changes are proposed to the approved building design or layout.

PHASE 5 MODIFICATIONS

As allowed by the 2020 PZC and IWWCC approvals site work has begun for phase 5. As reviewed with the 2020 approval, there is a significant grade change from phase 2 and 3 to the north into phase 5 and beyond to the abutting Town owned woodland along the Mattabessett River. The applicant is proposing to retain some of the excavated materials on site. The material was previously approved to be trucked from the site. Grading, improvement elevation changes and design modifications will result which result in revisions to the approved retaining wall and sloping and retention areas mostly along the northeast property line. The terrain slopes down to the Beckley Quarry Open Space Trail along the Mattabessett River behind the units in this area.

INTERDEPARTMENTAL REVIEWS

- The Inland Wetlands and Watercourses Commission approved the revised site plan on November 10, 2020.
- Board of Police Commissioners and Police Chief: see attached. Their comment is specifically recommended to be carried forward from previous approvals.
- Conservation Commission: at their meeting of February 9, 2021, noted that their focus is protection of the adjacent open space parcel and would recommend vigorous erosion control measures be put in place until the area is stable and to protect against any encroachment onto the adjacent Town Open Space property, which should not be tolerated. Noting that construction and disturbance into the area for the phase was previously approved, they suggested enhanced landscaping, including a row of trees, to protect and stabilize the slope and further noted the overall view-shed had been disturbed and that the open space included an historic trolley way.
- Fire Marshall, Building Official and Health District provided "No Comment"
- Town Engineer: Comments pending.

Estates of Berlin, LLC

Beckley Road

March 2, 2021

Phase 5 Site Plan Amendment Project Narrative

The Estates of Berlin, LLC has previously received town approvals for the phased construction of single family detached and townhouse style units, roads, storm drainage and utilities. More recently the entire project was re-approved in February of 2020. The project has been designed to be consistent with the town's plan of land use which is permitted in the current zoning district.

With this application we are seeking a site plan amendment for the re-grading of Phase 5. The modifications are limited to maximize the material that is currently on site and includes the following changes:

- Revise grading throughout the phase by raising the grade by an average of seven (7) feet.
- Eliminated retaining wall that ran parallel to units 151-156.
- Relocate the stormwater management area located at the bottom of the slope to an underground detention system.
- Fill in slope near units 151-156 where retaining wall was removed.
- Add retaining wall along entrance from phase 4.

The limits of disturbance remains the same (approximately 4.4 acres). Blasting has been reduced to an area of approximately 1.0 acre.



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received

JAN 27 2021

Planning & Zoning Department
Berlin, Connecticut

SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: BECKLEY FARMS
Property Owner(s): ESTATES OF BERLIN LLC
Project Address*: 107 BECKLEY ROAD
Map: 11-2 Block: 133 Lot: 41 Zone(s): OT-2 Lot Area: 58.7 AC.

Please select all relevant items below:

- ☒ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: ESTATES OF BERLIN LLC Firm Name: _____
Street Address: 833 GLEN DRIVE City: WOODMERE ST: NY Zip: 11598
Email: PLMBGSOL@AOL.COM Phone: 646-321-9290
Signature: _____ Date: _____

Property Owner(s) Information (If Not the Applicant)

Name: _____ Principal: _____
Street Address: _____ City: _____ ST: _____ Zip: _____
Email: _____ Phone: _____

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

This Site Plan Involves:

☐ Additions

☐ Alterations

☐ Demolition

☒ New Construction

Description of Project*: CONDOMINIUM PROJECT

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)			
COMMERCIAL			
Gross Floor Area			
Parking Spaces			
INDUSTRIAL			
Gross Floor Area			
Parking Spaces			
RESIDENTIAL			
Number of Units		164	
Number of Bedrooms			
Gross Floor Area			
Parking Spaces			
OTHER USES		1 CLUBHOUSE	
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only:

Fee Paid \$ 260.- (Refer to current Fee Schedule)

Received by: PLS - check #3803

Estates of Berlin, LLC

Beckley Road

Town of Berlin
Received

JAN 27 2021

Project Narrative

Planning & Zoning Department
Berlin, Connecticut

The Estates of Berlin, LLC has previously received town approvals for the phased construction of single family detached and townhouse style units, roads, storm drainage and utilities but will expire over the next few months.

The following describes each phase of the project:

Phases 1, 1A & 2

Construction of the houses are complete except for custom units 14 & 51. The installation of the bituminous concrete pavement wearing surface on phase 1 and 1A has been installed. In Phase 1 the gazebo area is yet to be completed and Phase 2 has the bituminous concrete pavement binder surface installed. All sidewalks and landscaping have been installed. All utilities have been installed.

Phase 3

The construction of houses are complete except for custom units 79 & 80 and the clubhouse. Bituminous concrete binder course of pavement has been installed. Most of the concrete sidewalks have been installed. Landscaping needs to be installed. All utilities have been installed.

Phase 4

The development of the age restricted community continues in phase 4 of the project. Drainage improvements, utilities and the binder course of pavement have been installed. Houses are being constructed, as of the beginning of December, 2019, eleven (11) units are either constructed or under construction.

Phase 5

The development of this phase shall consist of the construction of townhouse buildings, installation of storm drainage, utilities and bituminous concrete access drives. Approximately 4.4 acres of tree clearing will be required prior to construction. An areas of approximately 2.8 acres, where the proposed townhouses, access drives, utilities and storm drainage will be constructed requires blasting.

Percent of Units with C/O's per Phase

Phase 1A- 11 of 11 units (100%)

Phase 1- 25 of 27 units (93%)

Phase 2- 17 of 17 units (100%)

Phase 3- 24 of 26 units (92%)

Phase 4- Under construction with a total of 25 units.

Phase 5- Proposed construction of 57 townhouse type units.

The project has been designed to be consistent with the town's plan of land use which is permitted in the current zoning district.

Existing utilities with suitable capacity provide service to the project.

The project has been designed to minimize impact on the inland wetlands and other site features. The unit site layout, road network, site grading & amenities are accessible from area roads, provide needed age restricted housing and have no significant impact on the surrounding area.

February 11, 2021

(Updated February 16, 2021 – Fire Marshal; Building Official; Inland Wetlands; Health District)

**TOWN OF BERLIN
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS**

APPLICATION: Site Plan Amendment
APPLICANT: Estates of Berlin LLC
LOCATION: Map 11-2, Block 133 Lot 41,107 Beckley Road
AGENDA: March 4, 2021

To the Applicant:

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at mgusti@town.berlin.ct.us or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*
-

Board of Police Commissioners

- See Chief Klett's comments

Police Chief

- See Attached

Fire Marshal

- No comment

Building Official

- No comment

Inland Wetlands

- Revised site plan approved by IWWCC 11/10/2020

Health District

- No comment

Emailed to J. Resplar – February 16, 2021



Berlin Police Department

240 KENSINGTON ROAD
BERLIN, CONN. 06037-2647
Phone (860) 828-7080
Fax (860) 828-7590
policechief@berlinpd.org



Chief John M. Klett

February 5, 2021

To: Planning and Zoning Department

From: Chief John M. Klett

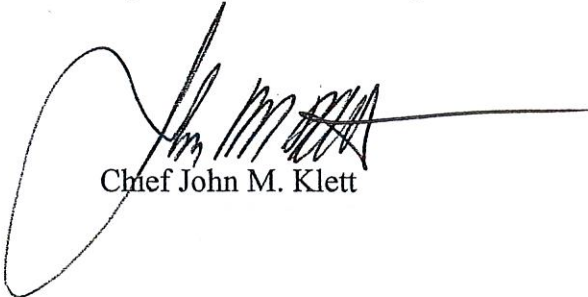
Subject: Beckley Farms Project

I have reviewed the application for the proposed site plan amendment for the Beckley Farms Development (phase 5A and 5B, Condominium Project).

The Mattabassett Rifle and Pistol Club and the Berlin Police Firing range are located immediately east of the proposed site. The Town of Berlin owns this property and the Mattabassett R&P Club maintains the range facility. The Police Department has priority of this facility for training. This has been an active firing range for over fifty years and the R&P Club has invested considerable funds in updating and maintaining the facility. They currently have a 30-year lease agreement with the Town to maintain this relationship.

The developer must be required to note on the land records or property deed that there is an active firing range located immediately east of the proposed development. Buyers must be made aware of this to avoid future complaints regarding noise from this firing range.

This range is the only firearms training area available to this department as well as several other neighboring departments that use it for their required firearms training.


Chief John M. Klett



Engineering Summary Report

For The
Beckley Farms Redesign
located on
Beckley Road
Berlin, CT

Submittal to the:
Town of Berlin, CT

Submitted:
May 20, 2011

Revised July 2, 2020

Prepared By:



THE LRC GROUP

LAND PLANNING ~ CIVIL ENGINEERING ~ ENVIRONMENTAL SERVICES

**160 WEST STREET, SUITE E
CROMWELL, CONNECTICUT 06416**

PHONE 860-635-2877
FAX 860-635-4226

**Town of Berlin
Received**

JAN 27 2021

**Planning & Zoning Department
Berlin, Connecticut**

Beckley Farms Redesign – Engineering Summary Report

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1) Outlet Protection Design Data	
2) Pipe Sizing Calculations	
3) Stormceptor Sizing Calculations	
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Appendix C – Pre & Post Developed Hydrologic Data	
1) 25-Year Storm Runoff Data	
2) Pre and Post Developed Drainage Area Maps	
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Introduction

Beckley Farms is an Age-restricted housing development that was approved in 2006 for the development of a 90.688 parcel of land now or formerly of Quarry Associates, Susan B. Gaffney and Guy T. Gaffney, Trustees, Cary Dobkin and Lee Dobkin, Trustees and the Town of Berlin located on Beckley Road, Wethersfield Road and Beckley Mills Road entitled "Active Adult Residential Community Beckley Road Town of Berlin, Connecticut" Dated 8/6/04 and revised through 5/10/07. The project was to be developed in 5 phases. House construction, roads and utility installation is complete for a majority of phases 1 and 2 with many of the houses occupied. Also, a piece of land on the eastern portion of the property containing 31.99 acres has been deeded to the Town of Berlin for open space.

Construction was started in 2006, but due to the economy the project stalled, the developer halted construction and eventually lost the property to bankruptcy. A new group of developers has purchased the property and are actively working on finalizing existing construction in phases 1 and 2 and are preparing to begin construction on additional phases.

This summary report has been prepared to review the site engineering and storm water drainage design for the redesign of phases 3, 4 & 5 of the above referenced parcel. The plans entitled "Beckley Farms Redesign" reflect our new design of the project.

Existing Site Conditions

The site subject to this design is phases 3, 4 & 5 of the aforementioned property and contains 34.55 acres of land. Some minor clearing and stockpiling of surplus material has been conducted on the land. The balance of the property is undisturbed and consists of existing woodland and areas on inland wetlands.

The following is a list of the existing soil types that were referenced from the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey National Cooperative Soil Survey. The Map Unit Symbol followed by the Map Unit Name and description is provided. 6 – Wilbraham and Menlo soils, extremely stony is Soil Group D. 9 – Scitico, Shaker and Maybid soils is Soil Group D. 78E – Holyoke-Rock outcrop complex, 3 to 15 percent slopes, very rocky is Soil Group D. 87B – Wethersfield loam, 3 to 8 percent slopes is Soil Group C. 87C – Wethersfield loam, 8 to 15 percent slopes is Soil Group C. 87D – Wethersfield loam, 15 to 25 percent slopes is Soil Group C. 88B – Wethersfield Loam, 3 to 8 percent slopes, very stony is Soil Group C. 89D – Wethersfield loam, 15 to 35 percent slopes, extremely stony is Soil Group C. The Wethersfield soil type covers a majority of the existing site.

The existing runoff leaving the site has been analyzed at five locations called Outlet Points, which are the points where Pre and Post Developed runoff values are compared. There are several

ridge lines that define the flow direction. The surface water flows from the ridge lines to area of existing wetlands in the southern, northern and eastern portions of the property. See the Pre Developed Drainage Area Maps located in Appendix B for more detail.

Proposed Improvements

The proposed project consists of the construction of single family and multifamily buildings, bituminous concrete access roads and parking areas, utility installation, storm drainage systems, a sanitary sewer system with pump station, landscaping and signage. Since the project disturbs greater than 10 acres, it will require a General Permit Application and Report to be filed with the Department of Environmental Protection (CTDEP).

As part of the construction of phase 2 some storm drainage structures and piping have been installed and are incorporated where possible in our redesign of phase 3. These structures include catch basins, manholes and a Vortechs model 9000 stormwater treatment unit. Calculations are enclosed to show that the previously approved Vortechs unit can treat peak design flows of 14 cfs. Bypass manholes were also installed to accommodate flows above the 10 year storm. The proposed peak flow for a 10 year storm is 12.2 cfs. Detention basin #4 east and #4 west are design to include the previously approved development of phase 2 and the future development of phase 3.

Site Drainage Design

The proposed development will change the existing groundcover from woods to grass and impervious surfaces which affects the runoff from the project area. The increase in runoff will be detained on-site using stormwater detention basins and outlet structures to attenuate the flows and mimic pre-developed conditions. Stormceptor Water quality units will be installed at discharge locations of the drainage system prior to entering the detention basins to provide at least 80% removal of the Total Suspended Solids (TSS). The stormwater runoff system is designed to accommodate runoff from a twenty-five (25) year storm without overtopping any of the structures.

An underground chamber system is proposed to replace the previously approved detention basin in Phase 5. The chamber system includes an isolator row which collects debris and allows sediment to settle out prior to discharge. The remainder of the stormwater management system (catch basins, detention basins and piping remain unchanged). The underground chamber system provides the a slight increase in stormwater detention compared to the excavated detention basin. The stormwater detention basins are designed as extended basins, which mean that the "Water Quality Volume" will be held and released slowly over a 24-hour period. The stormwater basins have been designed with oversized forbays and extra long travel paths much greater than the 2:1 length to width ratio required by the CTDEP. During construction the extended detention basins will act as Temporary Sediment Traps or sediment traps will be constructed in areas where a detention basin is not proposed. Calculations adhere to the 2002 Connecticut Erosion and Sediment Control Guidelines for capacity.

Method of Analysis

The HydroCAD Stormwater Modeling System computer program by Applied Microcomputer Systems was used to analyze and design the storm sewer system. HydroCAD uses the TR-55 curve number method to estimate the quantity and peak rates of runoff produced by each subcatchment; the resulting flows are routed through the different storm system elements to the system's Outlet Points, typically where the stormwater flows leave the subject property. Storm events were analyzed with Type III, 24-hour rainfall values and curve number/cover types as selected from the SCS TR-55 Manual. Also, the minimum of Time of Concentration used was 0.10 hours (6 Minutes) as selected from the SCS TR-55 Manual, Urban Hydrology for Small Watersheds. Runoff rates chosen from the 2004 Connecticut Stormwater Quality Manual for Middlesex County are listed below:

Design Rainfall Amounts:

25 year 5.50 in

Detailed Runoff Summary

Flow Rate Attenuation - 25 Year Storm

Design Point #1

Pre Developed = 7.94 cfs

Post Developed = 6.94 cfs

Design Point #2

Pre Developed = 9.32 cfs

Post Developed = 7.44 cfs

Design Point #3

Pre Developed = 10.74 cfs

Post Developed = 8.83 cfs

Design Point #4

Pre Developed = 2.85 cfs

Post Developed = 0.43 cfs

Design Point #5

Pre Developed = 19.89 cfs

Post Developed = 19.05 cfs

Total Pre Developed = 50.74 cfs

Total Post Developed = 42.69 cfs

Values listed above are in cubic feet per second.

Temporary Sediment Trap Calculations

Temporary sediment trap shall have a storage volume of 134 cubic yards per acre of contributing drainage area. The proposed detention areas shall serve this function.

Temporary Sediment Traps – Phase 5

Required Volume – 914 cubic yards

Provided Volume – 1,164 cubic yards

Runoff Quality & BMP Performance

Practice Used:	Effective Use	Performance Effectiveness
Water Quality Unit; Oversized Forbays;	Preliminary Water Quality Treatment of runoff from the parking area and access drive	Pretreatment - 20% TSS removal; Extended Travel Time; Vegetated with species appropriate for nutrient uptake in wet or dry conditions. Units remove oil and grit from parking area runoff.
Extended Stormwater Detention with 2:1 or Greater Travel Time	Peak Flow control; First Flush Infiltration; Sediment Filtering;	Primary- 80% TSS removal, Extended Detention Time =>100% WQV

Calculated TSS removal for impacted site lands using practices above:
The area of the proposed roads and parking were analyzed for TSS removal.

Impervious road and parking areas contributing To Detention Basin #1:
Stormceptor 2400 – 82 %

Impervious road and parking areas contributing To Detention Basin #2:
Stormceptor 4800 – 83 %

Impervious road and parking areas contributing To Detention Basin #3:
Stormceptor 2400 – 81 %

Impervious road and parking areas contributing To Detention Basin #5:
Stormceptor 2400 – 80 %

Total Site TSS Removal → 82%

Conclusions

This summary report demonstrates that all design criteria set forth by the State of Connecticut and Town of Berlin have been met or exceeded, and all design and mitigation measures have been derived from standard practices and procedures as directed by the Connecticut DEP and DOT design manuals. In conclusion, the proposed project will satisfy all design requirements as have been stipulated by the Town, State and Federal regulations that may apply.

**Town of Berlin
Received**

JAN 27 2021

**Planning & Zoning Department
Berlin, Connecticut**



TOWN OF BERLIN
Inland Wetlands
and
Water Courses Commission
240 Kensington Road • Berlin, CT 06037
Office (860) 828-7022 • Fax (860) 828-7180

CERTIFIED MAIL: 7012 1010 0002 6991 6089

Mr. Nicholas Morizio- Colliers International
550-554 Berlin Turnpike Associates, LLC
864 Wethersfield Avenue
Hartford, CT 06114

January 8, 2021

Re: Application 20-07WF

Dear Mr. Morizio:

Please be advised that during its meeting of January 5, 2021, the Town of Berlin Inland Wetland and Water Courses Commission voted unanimously to approve the above referenced application. This approval was granted contingent upon the following;

1. That *all* erosion and sedimentation control devices be installed to the satisfaction of the Wetlands Agent prior to the commencement of construction.
2. That all other construction-related activities be installed in accordance with the plan entitled "Proposed Multi-Family Development, Parcel# 10-2-83-13, 522 Berlin Turnpike, Berlin, CT, Prepared for 550-554 Berlin Turnpike Assoc., LLC, designed by Harry E. Cole & Son, Plantsville, CT, Dated June 23, 2020, revised June 23, 2020 (Sheet M2 - revised December 18, 2020".

Please be advised that this permit will become effective on January 23, 2021 following a successful completion of the Fifteen (15) day appeal period commencing on January 9, 2021.

You are hereby further advised that failure to demonstrate activity in relation to this application within a five (5) year period (January 23, 2026) may necessitate further Commission action.

Attached is a copy of the legal notice, which appeared on the Town of Berlin website (according to COVID-19 guidelines), beginning January 8, 2021.

If you should have any further questions regarding this matter, please do not hesitate to call me at (860) 828-7069.

Sincerely,


James P. Horbal
Agent for the Inland Wetlands Commissions

Attachment

cc: Peter Nieman, IWWCC Chairman
Maureen Giusti, Acting Town Planner





TOWN OF BERLIN
Inland Wetlands
and
Watercourses Commission
240 Kensington Road • Berlin, CT 06037
Office (860) 828-7069 • Fax (860) 828-7180

LEGAL NOTICE

NOTICE OF ACTION

During its meeting of January 5, 2021, the Town of Berlin Inland Wetland and Water Courses Commission took the following actions:

Application 20-07WF- Proposal by 550-554 Berlin Turnpike Associates, LLC, to construct a Multi-Family Development and associated appurtenances within an upland review area, floodway and floodplain on Lot 13, Block 83, #522 Berlin Turnpike. Approved with Standard Conditions.

Application 20-11WF - Proposal by the Berlin Water Control Commission (BWCC) to reconstruct the Deming Road Sanitary Sewer Pump Station within both an Upland Review Area and Flood Hazard Zone on Lot 3A, Block 127, Deming Road. Approved with Standard Conditions.

Application 20-06W - Proposal by 833 Deming Road, LLC and Berlin Remnant Land Parcels, LLC to construct a Multi-Family Development and Associated Appurtences within an upland review area on Lot 11-1, 11-2 and 10, Block 122 Deming Road. Approved Permit Modification.

Effective date will be January 23, 2021.

Peter Nieman, Chairman
Inland Wetlands and Watercourses Commission



TOWN OF BERLIN
Inland Wetlands
and
Watercourses Commission
240 Kensington Road • Berlin, CT 06037
Office (860) 828-7069 • Fax (860) 828-7180

LEGAL NOTICE

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Effective date will be January 23, 2021.

Peter Nieman, Chairman
Inland Wetlands and Watercourses Commission



LOCATION MAP

SCALE: 1"=1000'

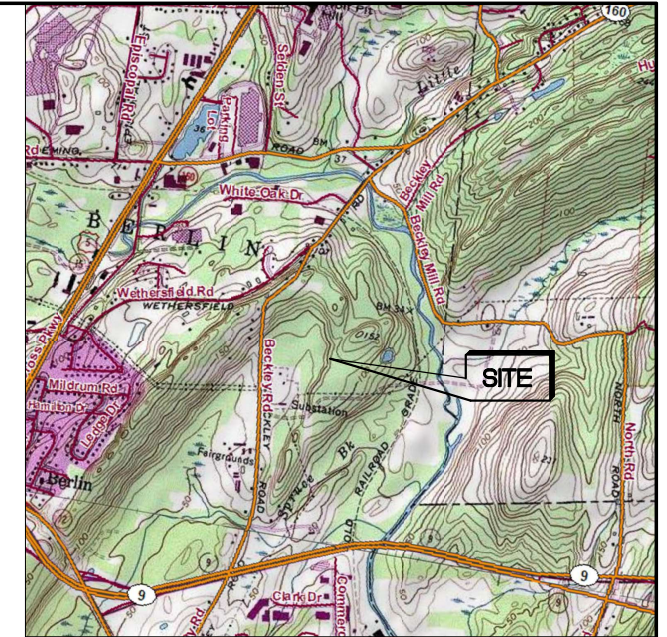
BECKLEY FARMS DEVELOPMENT

AN AGED RESTRICTED COMMUNITY

BECKLEY ROAD

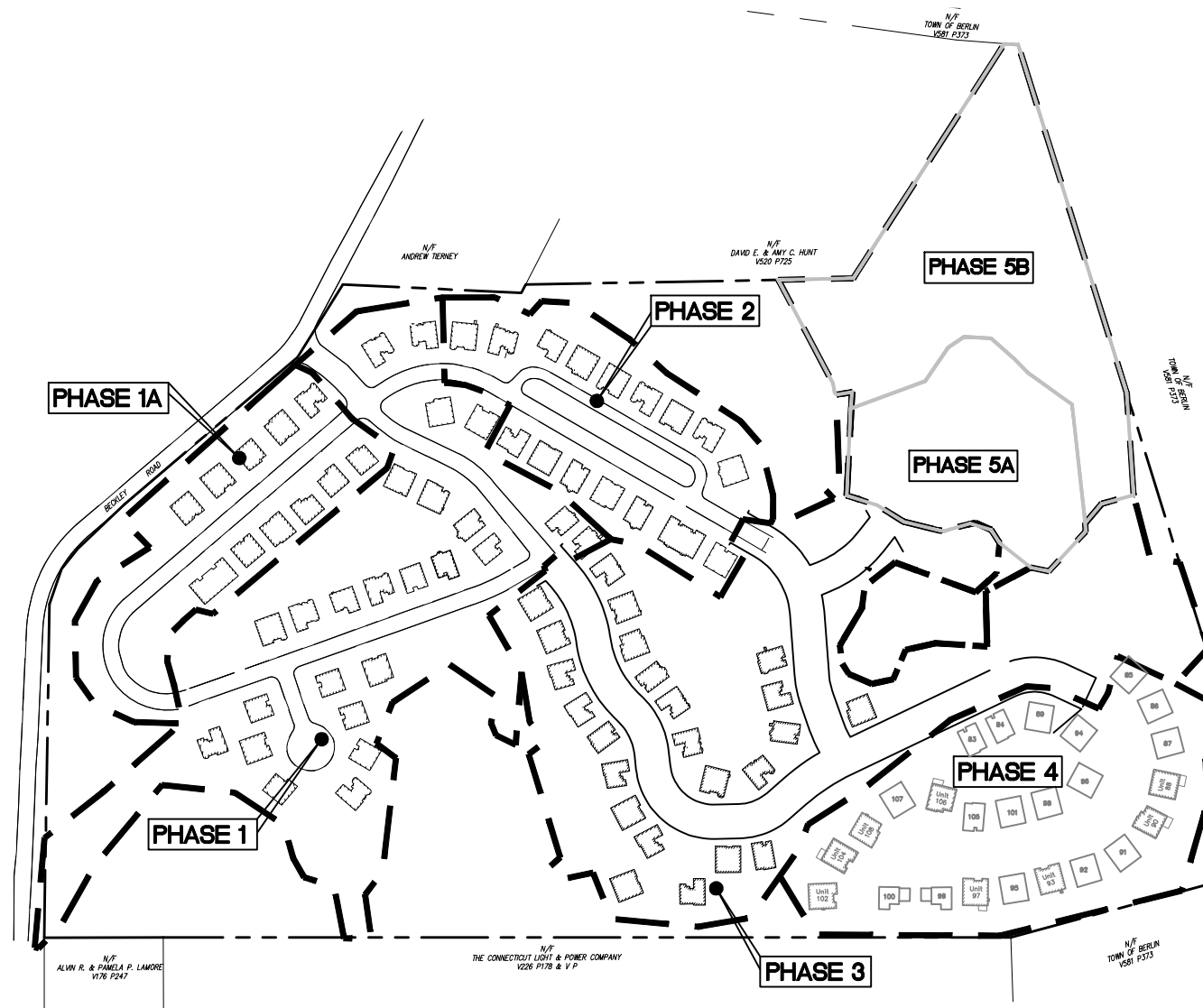
BERLIN, CONNECTICUT

SITE PLAN AMENDMENT APPLICATION



VICINITY MAP

SCALE: 1"=1000'



OVERALL SITE PLAN

SCALE: 1"=200'

DATE: FEBRUARY 22, 2018

REVISION DATE: JULY 2, 2020

OWNER/APPLICANT

ESTATES OF BERLIN, LLC
833 GLEN DRIVE
WOODMERE, NY 11598



Land Planning ~ Civil Engineering
Land Surveying ~ Environmental Services
Landscape Architecture

LRC Engineering & Surveying, D.P.C.
LRC Engineering and Surveying, LLC
LRC Environmental Services, Inc.
Land Resource Consultants, Inc.

160 West Street, Suite "E"
Cromwell, CT 06416
Tel 860-635-2877
Fax 860-635-4266

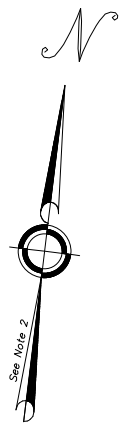
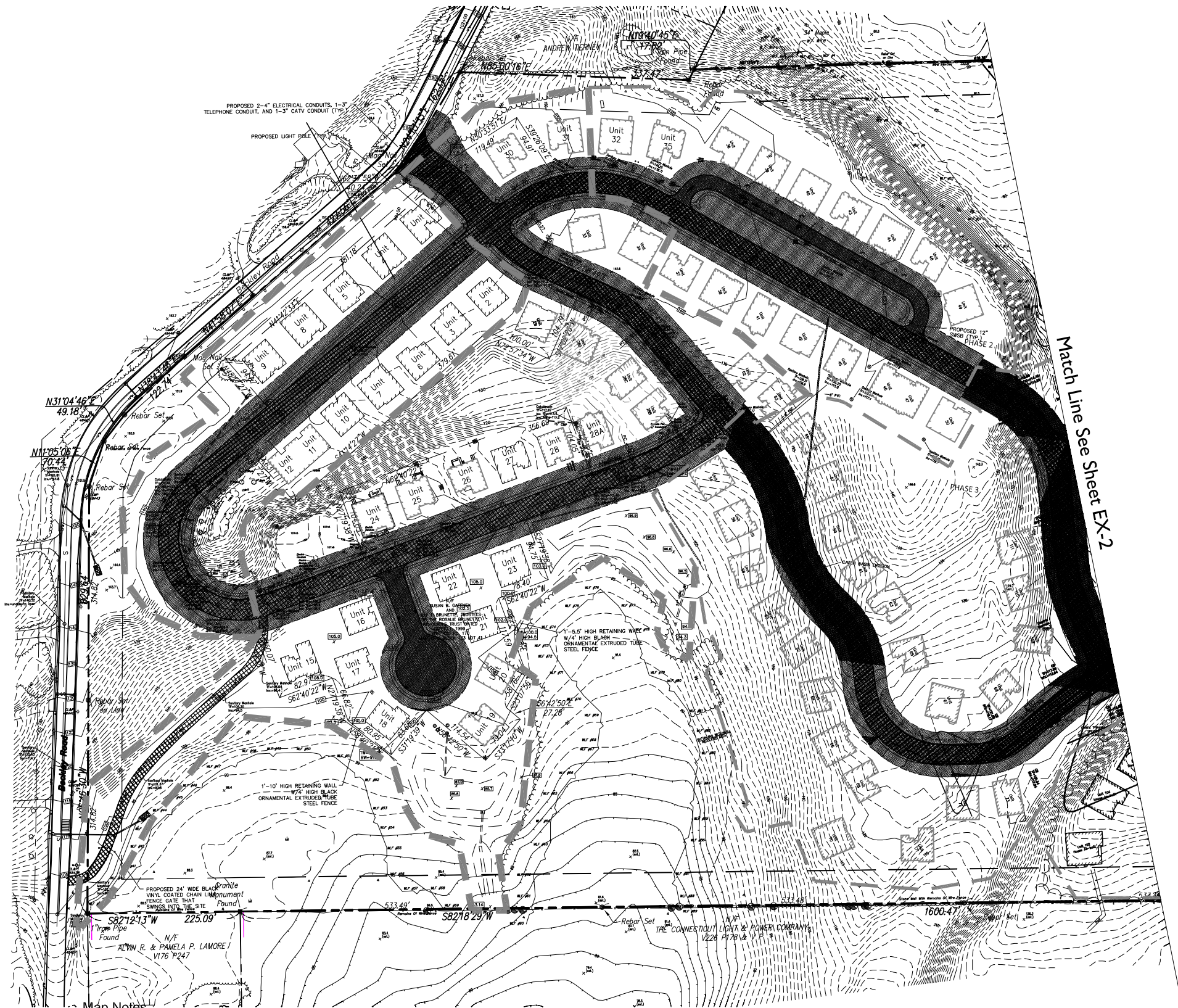
85 Civic Center Plaza, Suite
103 Poughkeepsie, NY
12601
Tel 845-243-2880
Fax 845-265-8175



INDEX OF DRAWINGS

EX-1 & EX-2	EXISTING CONDITIONS PLAN
SP-1	SITE PLAN
GD-1	GRADING AND DRAINAGE PLAN
UT-1	UTILITY PLAN
EC-1	EROSION AND SEDIMENT CONTROL PLAN - PHASE 5
EC-2	EROSION AND SEDIMENT CONTROL PLAN - PHASE 4
DN-1 to DN-7	DETAIL SHEET
OSP-1	OVERALL SITE PLAN

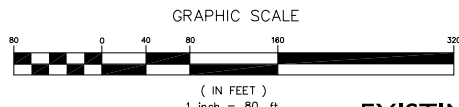
Z:\Undersources\matters\2010 jobs\10-1086-Beckley Farms Phase 3-4-5\Map\Sheet\Phase 3\Unde Wetlands Submission Plan Set
6-16-19 10:11:17.6mg



Vicinity Map
Scale: 1"=1,500'

Legend

- | | | | |
|----------|---|----------|----------------------|
| --- | Property Line | [Symbol] | Concrete Surface |
| --- | Easement Line | [Symbol] | Existing Spot Grade |
| --- | Concrete Monument Found | [Symbol] | Guy Wire |
| --- | Iron Pipe / Rebar Found | [Symbol] | Deciduous Tree |
| --- | Angle Point | [Symbol] | Coniferous Tree |
| --- | Drill Hole | [Symbol] | Shrub |
| --- | Sanitary Sewer | [Symbol] | Fence Post |
| --- | Water Main | [Symbol] | Lamp Post |
| --- | Gas Main | [Symbol] | Span Pole |
| --- | Electric Line | [Symbol] | Light Pole |
| --- | Telephone Line | [Symbol] | Sign |
| --- | Overhead Wire | [Symbol] | Bollard |
| --- | Utility Pole | [Symbol] | Hydrant |
| --- | Water Gate | [Symbol] | Mailbox |
| --- | Gas Gate | [Symbol] | Yard Drain |
| --- | Gas Valve | [Symbol] | Curbside Catch Basin |
| --- | Drainage Manhole | [Symbol] | Catch Basin |
| --- | Sanitary Manhole | [Symbol] | Benchmark |
| --- | Electric Manhole | [Symbol] | Infiltration Test |
| --- | Telephone Manhole | [Symbol] | Testpit |
| --- | Well | [Symbol] | Perc Test |
| --- | Wetland Flag | [Symbol] | Phase Line |
| --- | Index Contour | [Symbol] | |
| --- | Intermediate Contour | [Symbol] | |
| --- | Treeline | [Symbol] | |
| --- | Hedge/Shrub Line | [Symbol] | |
| --- | Stone Wall | [Symbol] | |
| --- | Retaining Wall | [Symbol] | |
| --- | Wire Fence | [Symbol] | |
| --- | Chain Link Fence | [Symbol] | |
| --- | Guide Rail | [Symbol] | |
| --- | Stream/Edge of Water | [Symbol] | |
| --- | Limit of Wetlands | [Symbol] | |
| [Symbol] | Limit of Easement Granted to The Mattabassett Sewer District Recorded in Volume 708 page 756, dated March 13, 2015 | | |
| [Symbol] | Limit of Easement Granted to The Town of Berlin Water Control Commission Recorded in Volume 709 page 214, dated March 13, 2015 | | |
| [Symbol] | Limit of Easement Granted to The Connecticut Light & Power Company more formerly Eversource Energy recorded in Volume 580 page 802, dated December 13, 2008 Modified in Volume 707 page 171, dated January 22, 2015 and again in Volume 738 page 539, dated July 7, 2017. | | |
| [Symbol] | Limit of Access Easement in favor of the Estates of Berlin, LLC | | |



EXISTING CONDITIONS

Deed References
Volume 615 Page 787
Total Parcel Area
2,556,549 S.F.
58.692 Acres

Certification
To my knowledge and belief this map is substantially correct as noted hereon.

JOHN F. WAGENBLATT L.S. No. 17,791

Map Notes

- This survey and map have been prepared pursuant to the regulations of Connecticut State Agencies, section 20-300b-1 through 20-300b-20 and the "Standards For Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
The type of Survey performed and the mapped features depicted hereon are in accordance with the requirements of a Property & Topographic Survey.
Boundary determination opinion is based upon a resurvey of the map referenced in note 3-A.
This survey conforms to class A-2.
This survey conforms to class T-2.
- Bearings are referenced to map referenced in note 3-A.
- Reference is made to the following maps:
A. "Property Survey, Open Space Land Plan of Beckley Farms, LLC to be Conveyed to Town of Berlin, Beckley Rd., Wethersfield Rd., and Beckley Mill Rd., Berlin, Connecticut," scale 1"=100', dated December 14, 2005, sheets 1 & 2 of 2, prepared by BL Companies, map on file in the Berlin Town Clerks Office as maps #513 and #514.
B. "New Haven Trap Rock Co., Berlin, Connecticut," scale 100', dated May, 1967, prepared by Cohn Engineers, New Haven, Connecticut, map on file in the Berlin Town Clerks office as map 1929.
C. "Map of Properties of Gustav & Annie Bodach, West St. & Wethersfield Rd., Berlin, Conn., Showing Conveyance June 1950 to May 1959" scale 1"=100', dated October 1, 1963, revised October 30, 1963, prepared by Joseph D. Williams, map on file in the Berlin Town Clerks Office as map 712.
D. "Land to be Purchased From Harry N. Jackaway, Berlin, Conn., The Hartford Electric Light Co., scale 1"=200', dated July 14, 1971, prepared by The Hartford Electric Light Co., map on file in the Berlin Town Clerks Office as map 1064.

- "Land to be Purchased From Harry N. Jackaway, Berlin, Conn., The Hartford Electric Light Co., scale 1"=200', dated July 14, 1971, prepared by The Hartford Electric Light Co., map on file in the Berlin Town Clerks Office as map 1064.
- "Property to be Transferred to Robert Horton, West Street and Wethersfield Road, Berlin, Conn., scale 1"=40', dated October 1, 1963, prepared by J.D. Williams, map on file in the Berlin Town Clerks Office as map 713.
- "Compilation Plan C&P File No. W060860, Map Showing Easement Area to be Granted to The Connecticut Light & Power Company Across the Property of Beckley Farms, LLC, Beckley Road, Berlin, Connecticut," scale 1"=100', dated November 8, 2006, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3659.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3660.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised January 19, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3674.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through March 23, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3698.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through April 4, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3694.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through May 10, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3702.

- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through June 15, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3724.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through July 20, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3736.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through November 20, 2007, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3795.
- "Improvement Location Survey, Declaration of Condominium, Beckley Farms Condominium, Beckley Road, Town of Berlin, Connecticut," scale 1"=100', dated December 21, 2006 revised through June 6, 2008, prepared by BL Companies, map on file in the Berlin Town Clerks Office as map #3836.
- "Access Easement Plan, Berlin Water Control Commission, Beckley Farms Phases 1, 2, 3, 4 and 5, Beckley Road, Town of Berlin, Connecticut," scale 1"=80', dated December 8, 2014, prepared by the LRC Group.
- "Access Easement Plan, Mattabassett Sewer District, Beckley Farms Phases 1, 2, 3, 4 and 5, Beckley Road, Town of Berlin, Connecticut," scale 1"=80', dated December 8, 2014, prepared by the LRC Group, map on file in the Berlin Town Clerks Office as map #4241.

- "Compilation Plan Map Showing Existing Easement to be Modified and Easement Area to be Granted to The Connecticut Light & Power Company Across The Property of Estates of Berlin, LLC, Phase 3, Beckley Road, Berlin, Connecticut," scale 1"=40' dated November 3, 2014, CL&P drawing #W4131, prepared by the LRC Group, map on file in the Berlin Town Clerks Office as map #4173.
- "Easement Plan Map Showing Existing Easement to be Modified and Easement Area to be Granted to The Connecticut Light & Power Company d/b/o Eversource Energy Across The Property of Estates of Berlin, LLC, Phase 4, Beckley Road, Berlin, Connecticut," scale 1"=40' dated March 29, 2017, CL&P drawing #W7045-W4131, prepared by the LRC Group, map on file in the Berlin Town Clerks Office as map #4281.
- Parcel is depicted as Lot 41 Block 133 on Assessors Map 11-2.
- Property is located within Flood Zone X as depicted on FRM, Town of Berlin, Connecticut, Hartford County, Panel 513 and 514, Community Panel Number 090022 Suffix F with an effective date of September 26, 2008.
- Location of all underground utilities depicted hereon are approximate and are based on field location of visible structures such as catch basins, manholes, water gates, etc. and compiling information from plans supplied by the respective utility companies and government agencies. All contractors are required by State Regulations to contact Call-Before-You-Dig at 1-800-922-4435 for locations and stake out of utilities prior to any excavation.

		PROPERTY & TOPOGRAPHIC SURVEY	
		BECKLEY FARMS DEVELOPMENT AN AGE RESTRICTED COMMUNITY	
		BECKLEY ROAD TOWN OF BERLIN STATE OF CONNECTICUT	
Designed	CAD File	EX111173.dwg	Sheet No.
Drawn	Project No.	11-1173	EX-1
Checked	Date	8/16/19	
Approved	Scale	1"=80'	

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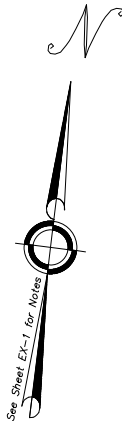
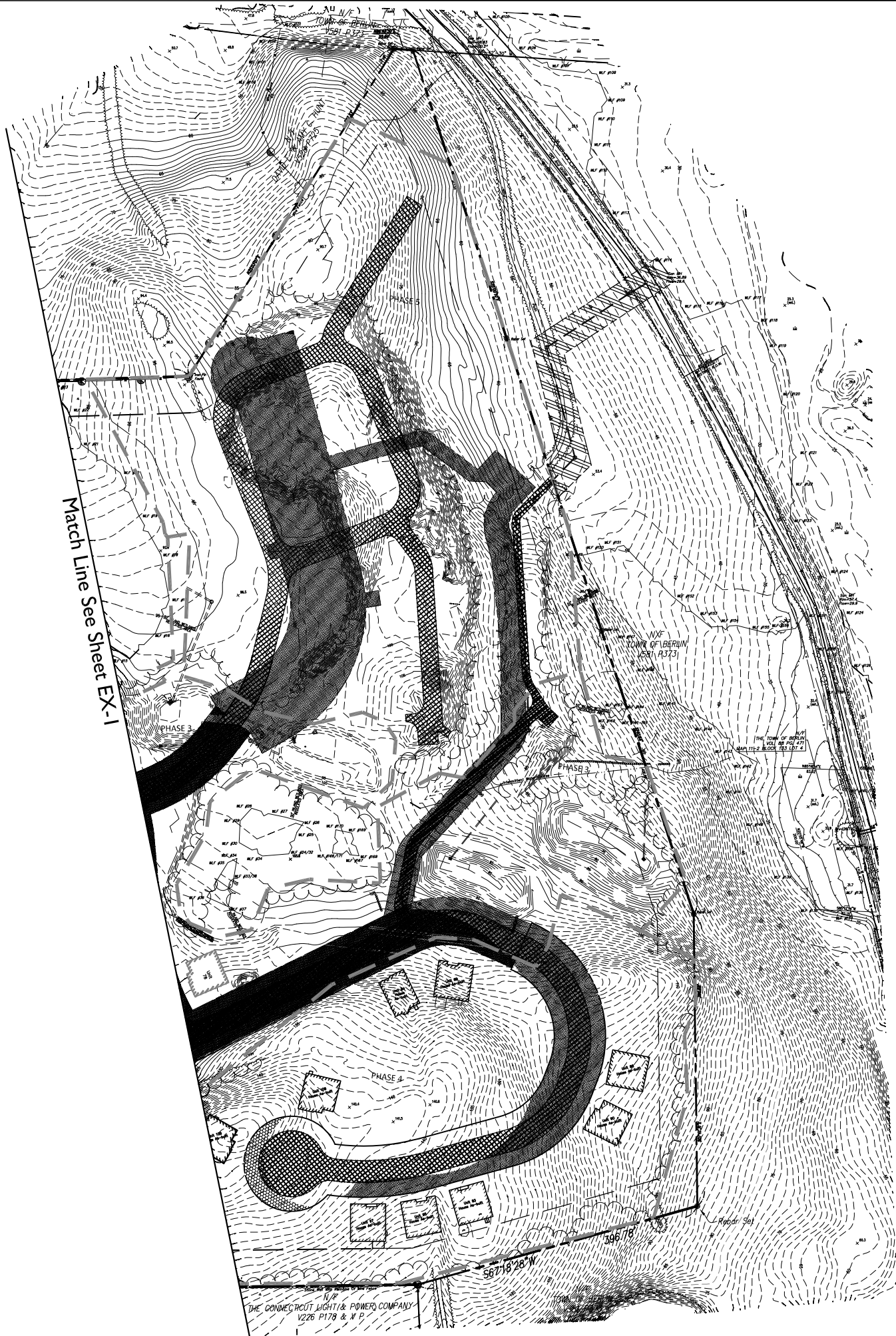
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8-16-19\19\19\117172.dwg

Certification

To my knowledge and belief this map is substantially correct as noted hereon.

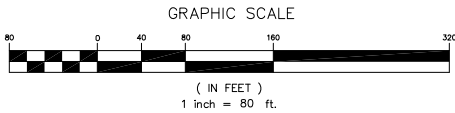
JOHN F. WAGENBLATT

L.S. No. 17,791



Legend

---	Property Line	[Pattern]	Concrete Surface
---	Easement Line	234+0	Existing Spot Grade
●	Concrete Monument Found	[Symbol]	Guy Wire
○	Iron Pipe / Rebar Found	[Symbol]	Deciduous Tree
●	Angle Point	[Symbol]	Coniferous Tree
○	Drill Hole	[Symbol]	Shrub
S --- S	Sanitary Sewer	[Symbol]	Fence Post
W --- W	Water Main	[Symbol]	Lamp Post
G --- G	Gas Main	[Symbol]	Span Pole
E --- E	Electric Line	[Symbol]	Light Pole
T --- T	Telephone Line	[Symbol]	Sign
	Overhead Wire	[Symbol]	Bollard
○	Utility Pole	[Symbol]	Hydrant
○	Water Gate	[Symbol]	Mailbox
○	Gas Gate	[Symbol]	Yard Drain
[Symbol]	Gas Valve	[Symbol]	Curbside Catch Basin
[Symbol]	Drainage Manhole	[Symbol]	Catch Basin
[Symbol]	Sanitary Manhole	[Symbol]	Benchmark
[Symbol]	Electric Manhole	[Symbol]	Infiltration Test
[Symbol]	Telephone Manhole	[Symbol]	Testpit
[Symbol]	Well	[Symbol]	Perc Test
[Symbol]	Wetland Flag	[Symbol]	Phase Line
---	Index Contour		
---	Intermediate Contour		
---	Treeline		
---	Hedge/Shrub Line		
---	Stone Wall		
---	Retaining Wall		
---	Wire Fence		
---	Chain Link Fence		
---	Guide Rail		
---	Stream/Edge of Water		
---	Limit of Wetlands		
[Pattern]	Limit of Easement Granted to The Mattabossett Sewer District Recorded in Volume 708 page 706, dated March 13, 2015		
[Pattern]	Limit of Easement Granted to The Town of Berlin Water Control Commission Recorded in Volume 709 page 214, dated March 13, 2015		
[Pattern]	Limit of Easement Granted to The Connecticut Light & Power Company more formerly Eversource Energy recorded in Volume 580 page 802, dated December 13, 2008 Modified in Volume 707 page 171, dated January 22, 2015 and again in Volume 738 page 539, dated July 7, 2017.		



EXISTING CONDITIONS

PROPERTY & TOPOGRAPHIC SURVEY

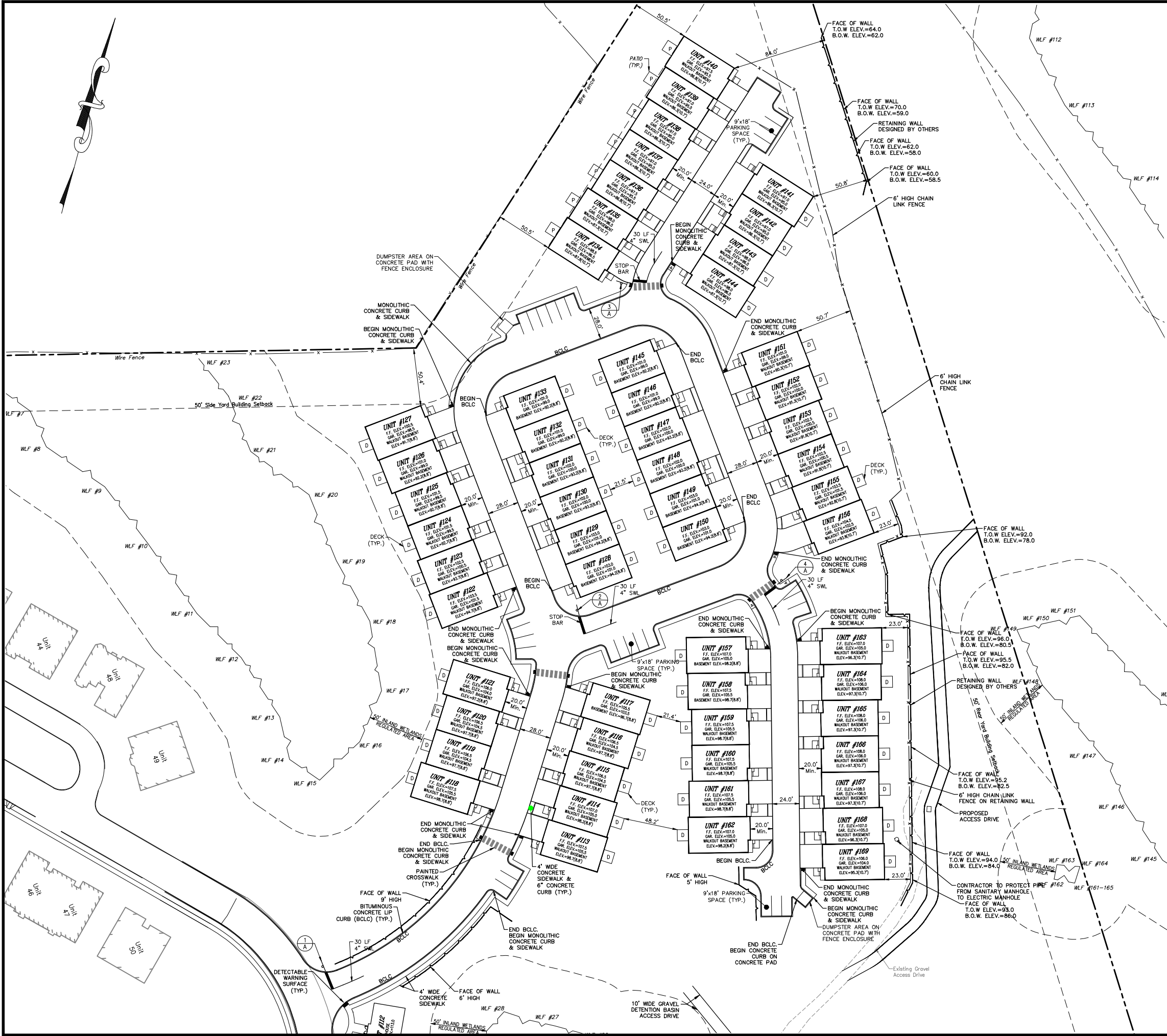
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Designed	CAD File	EX111173.dwg	Sheet No.
Drawn	Project No.	11-1173	
Checked	Date	8/16/19	
Approved	Scale	1"=80'	

EX-2



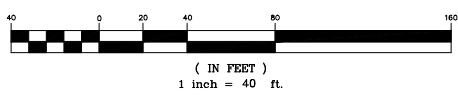
- GENERAL NOTES:**
1. REFER TO OTHER PLANS, DETAILS AND PROJECT MANUAL FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS IN THE FIELD AND CONTACT THE SITE ENGINEER IF THERE ARE ANY QUESTIONS OR CONFLICTS REGARDING THE CONSTRUCTION DOCUMENTS AND/OR FIELD CONDITIONS SO THAT APPROPRIATE REVISIONS CAN BE MADE.
 2. THE CONTRACTOR SHALL FOLLOW THE SEQUENCE OF CONSTRUCTION NOTES PROVIDED ON THE DETAIL SHEETS.
 3. THE CONTRACTOR SHALL REFERENCE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS AND CONSTRUCTION DETAILS OF BUILDING AND DUMPSTER ENCLOSURE.
 4. SHOULD ANY UNCHARTED OR INCORRECTLY CHARTED EXISTING PIPING OR OTHER UTILITY BE UNCOVERED DURING EXCAVATION, CONSULT THE ENGINEER IMMEDIATELY FOR DIRECTIONS BEFORE PROCEEDING FURTHER WITH WORK IN THIS AREA.
 5. DO NOT INTERRUPT EXISTING UTILITIES SERVICING FACILITIES OCCUPIED AND USED BY THE OWNER OR OTHERS DURING OCCUPIED HOURS EXCEPT WHEN SUCH INTERRUPTIONS HAVE BEEN AUTHORIZED IN WRITING BY THE OWNER AND THE LOCAL MUNICIPALITIES. INTERRUPTIONS SHALL ONLY OCCUR AFTER ACCEPTABLE TEMPORARY SERVICE HAS BEEN PROVIDED.
 6. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURBS OR EDGE OF PAVING UNLESS OTHERWISE NOTED. ALL BUILDING DIMENSIONS ARE REFERENCED TO THE OUTSIDE FACE OF THE STRUCTURE.
 7. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC DEVICES FOR PROTECTION OF VEHICLES AND PEDESTRIANS CONSISTING OF DRUMS, BARRIERS, SIGNS, LIGHTS, FENCES AND UNIFORMED TRAFFIC OFFICERS AS REQUIRED, ORDERED BY THE ENGINEER OR REQUIRED BY THE LOCAL GOVERNING AUTHORITIES.
 8. REFER TO DETAIL SHEETS FOR PAVEMENT, CURBING AND SIDEWALK INFORMATION.
 9. TRAFFIC CONTROL SIGNAGE SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. SIGNS SHALL BE INSTALLED PLUMB WITH THE EDGE OF THE SIGN 2' OFF THE FACE OF THE CURB.
 10. THE CONTRACT LIMIT IS THE PROPERTY LINE UNLESS OTHERWISE SPECIFIED.
 11. OSHA REGULATIONS MAKE IT UNLAWFUL TO OPERATE CRANES, BOOMS, HOISTS, ETC. WITHIN TEN (10) FEET OF ANY ELECTRIC LINE UNDER 50KV. IF CONTRACTOR MUST OPERATE EQUIPMENT CLOSE TO ELECTRIC LINE(S), CONTACT POWER COMPANY TO MAKE ARRANGEMENTS FOR PROPER SAFEGUARDS.
 12. THE CONTRACTOR SHALL SUBMIT A SHOP DRAWING OF THE PAINT MIXTURE PRIOR TO STRIPING.
 13. PAVEMENT MARKING KEY:
4" SYDL - 4" SOLID YELLOW DOUBLE LINE
4" SYL - 4" SOLID YELLOW LINE
4" SWL - 4" SOLID WHITE LINE
12" SWSB - 12" SOLID WHITE STOP BAR
 14. PARKING SPACES SHALL BE STRIPED WITH 4" SWL.
 15. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER AT THE END OF CONSTRUCTION.
 16. ALL CONSTRUCTION SHALL COMPLY WITH TOWN STANDARDS AND SPECIFICATIONS.
 17. THE DEVELOPER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS REQUIRED BY GOVERNMENT AGENCIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN ALL STATE AND TOWN PERMITS FOR WORK WITHIN ROAD RIGHT OF WAYS, INCLUDING SEWER AND WATER CONNECTION PERMITS. AN EROSION CONTROL BOND IS REQUIRED BEFORE THE START OF ANY ACTIVITY. THE CONTRACTOR SHALL POST ALL BONDS, PAY ALL FEES, PROVIDE PROOF OF INSURANCE, AND PROVIDE TRAFFIC PROTECTION NECESSARY FOR THIS WORK.
 18. EXISTING PROPERTY AND TOPOGRAPHY BASED ON MAPPING PREPARED BY LRC ENGINEERING & SURVEYING, LLC.
 19. ALTERNATIVE METHODS AND PRODUCTS OTHER THAN THOSE SPECIFIED MAY BE USED IF REVIEWED AND APPROVED BY THE OWNER, SITE ENGINEER AND TOWN ENGINEER PRIOR TO INSTALLATION.
 20. INFORMATION ON EXISTING UTILITIES HAS BEEN COMPILED FROM AVAILABLE INFORMATION INCLUDING UTILITY COMPANY AND MUNICIPAL RECORD MAPS AND FIELD SURVEY AND IS NOT GUARANTEED CORRECT OR COMPLETE. UTILITIES ARE SHOWN TO ALERT THE CONTRACTOR TO THEIR PRESENCE AND THE CONTRACTOR IS SOLELY RESPONSIBLE OF DETERMINING ACTUAL LOCATIONS AND ELEVATIONS OF ALL UTILITIES INCLUDING SERVICES. PRIOR TO DEMOLITION OR CONSTRUCTION, THE CONTRACTOR SHALL CONTACT CALL BEFORE YOU DIG 72 HOURS BEFORE COMMENCEMENT OF WORK AT (800)922-4455 AND VERIFY ALL LOCATIONS.
 21. PAVEMENT MARKINGS SHALL BE 15 MINUTE FAST DRYING TYPE.
 22. THE SITE IS CURRENTLY SERVICED BY PUBLIC WATER, SANITARY SEWER AND GAS.
 23. 12" SWSB (STOP BAR) AND 4" SYDL AND SWL PAVEMENT MARKINGS LOCATED IN DRIVEWAYS TO BE EPOXY RESIN TYPE.
 24. ALL CURB/HANDICAP RAMP DESIGNS SHALL CONFORM TO ANS STANDARDS OR THE TOWN SITE PLAN STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
 25. BEFORE THE START OF ANY WORK ON SITE THE CONTRACTOR SHALL SETUP A PRE-CONSTRUCTION MEETING WITH TOWN STAFF, WHICH SHALL INCLUDE BUT NOT LIMITED TO, BUILDING INSPECTORS OFFICE, HEALTH DEPARTMENT, PUBLIC WORKS DEPARTMENT AND PLANNING DEPARTMENT.
 26. SIGNS SHALL CONFORM TO THE MUTCD FOR SHAPE, COLOR, SIZE, LEGEND AND RETROREFLECTIVITY.
 27. BCLC - BITUMINOUS CONCRETE LIP CURB.

NOTE: The minimum spacing between adjacent structures shall be 20 feet.

SIGN LEGEND

SYM.	LEGEND	QTY.
P	PATIO	
D	DECK	
A	STOP 30"	4
#	SIGNS	
#	SIGN LEGEND SYMBOL	

GRAPHIC SCALE



WLI

Revisions

Date	
#	
1	7/2/20
2	7/2/20

RAISED SITE GRADING & UPDATE DRAINAGE DATA

RAISED RETAINING WALLS & ADDED UNDERGROUND DETENTION

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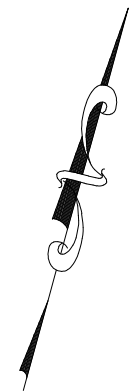
SITE PLAN

**BECKLEY FARMS
PHASE 5 REDESIGN**

**BECKLEY ROAD
TOWN OF BERLIN
STATE OF CONNECTICUT**

Designed	RHR	CAD File	SP10108601.dwg	Sheet No.
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Checked	JW/RHM	Date	2/22/18	
Approved	JW/REM	Scale	1"=40'	

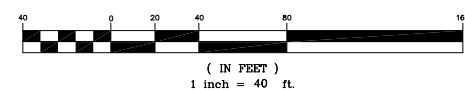
SP-1



EROSION CONTROL LEGEND

CONTROL MEASURE	ILLUSTRATION
INLET PROTECTION	
SILT FENCE	
CONSTRUCTION ENTRANCE	
LIMIT OF CLEARING	
STOCKPILE AREA	

GRAPHIC SCALE



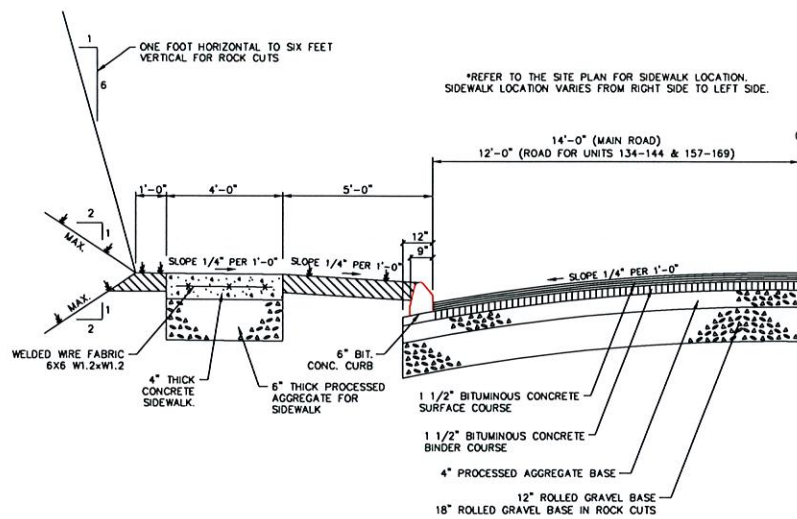
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EROSION AND SEDIMENT CONTROL PLAN - PHASE 4

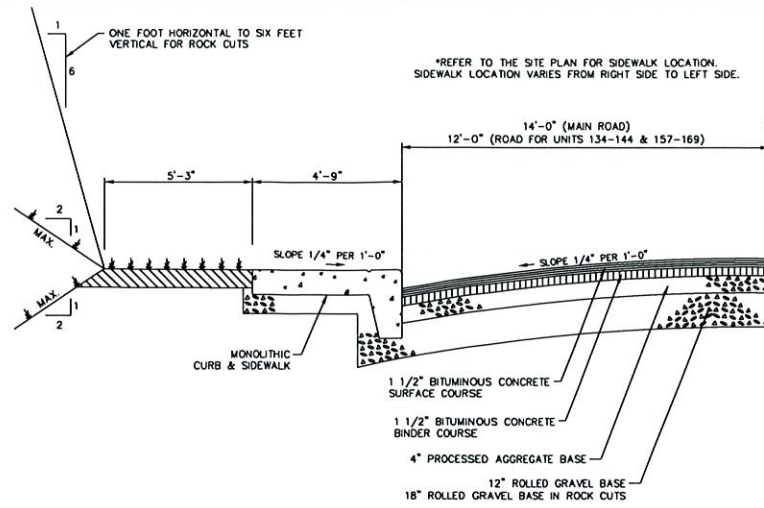
BECKLEY FARMS DEVELOPMENT
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TOWN OF BERLIN
STATE OF CONNECTICUT

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Approved	Scale	1"=40'	

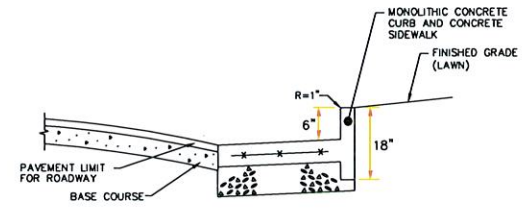
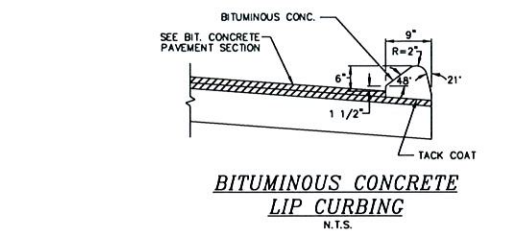
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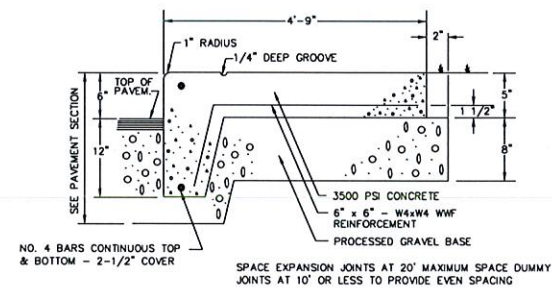
**BITUMINOUS CONCRETE
PAVEMENT & SIDEWALK SECTION**
N.T.S.



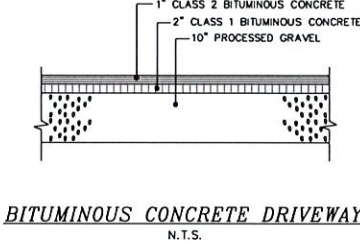
**BITUMINOUS CONCRETE PAVEMENT &
MONOLITHIC SIDEWALK SECTION**
N.T.S.



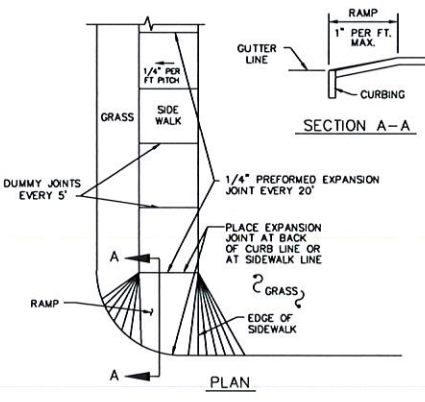
**MONOLITHIC CONCRETE CURB AND
CONCRETE SIDEWALK DETAIL
BETWEEN DRIVEWAYS**
N.T.S.



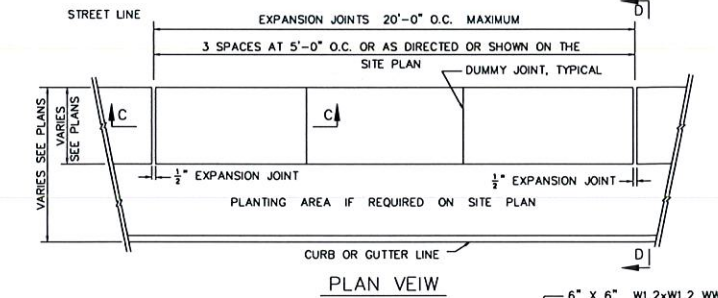
MONOLITHIC CONCRETE WALK
N.T.S.



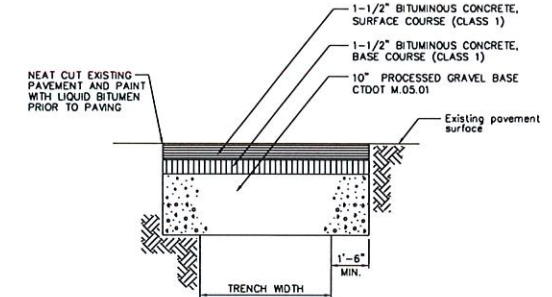
BITUMINOUS CONCRETE DRIVEWAYS
N.T.S.



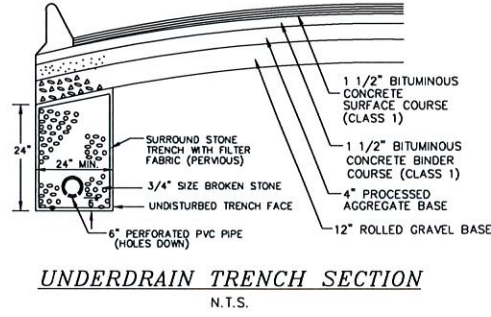
SIDEWALK RAMP DETAIL
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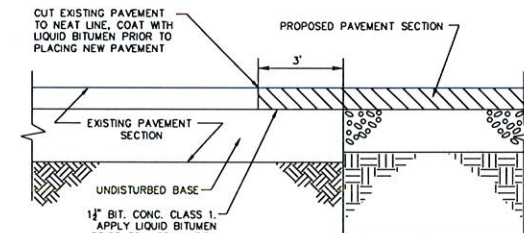
TYPICAL CONCRETE SIDEWALK DETAIL
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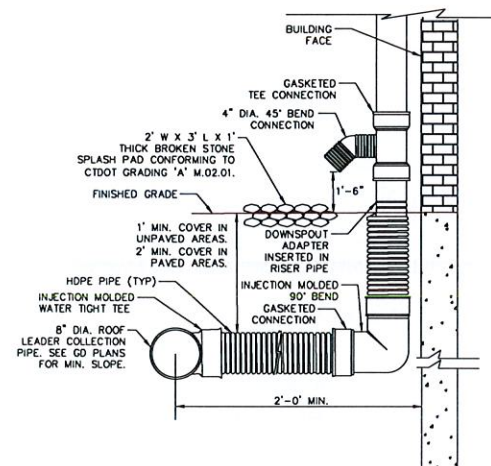
PAVEMENT REPAIR OVER TRENCH
N.T.S.



UNDERDRAIN TRENCH SECTION
N.T.S.



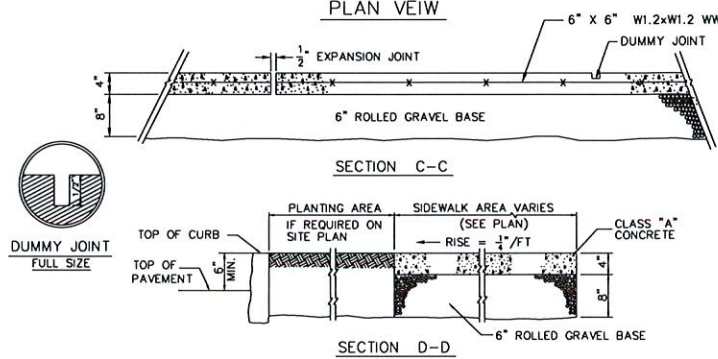
PAVEMENT MATCHING DETAIL
N.T.S.



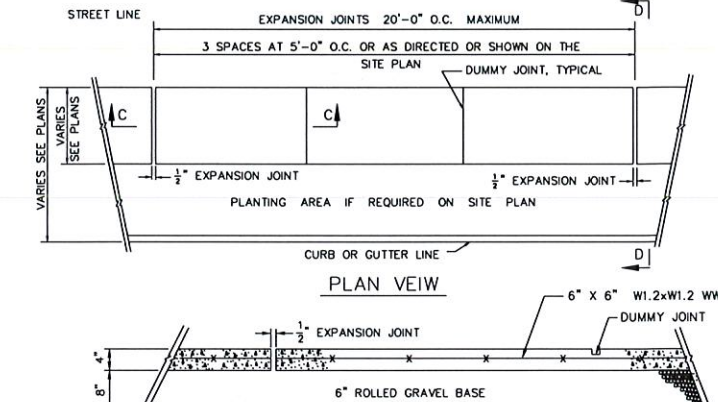
ROOF DRAIN COLLECTION PIPE WITH OVERFLOW DETAIL
N.T.S.



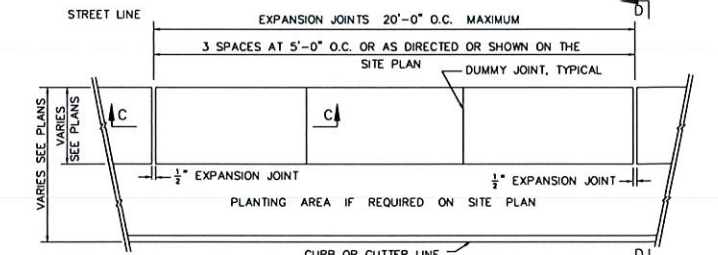
**DUMMY JOINT
FULL SIZE**



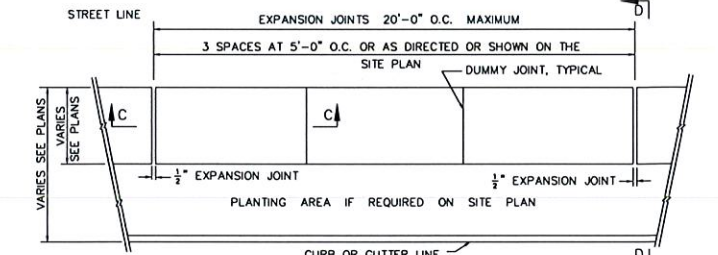
SECTION C-C



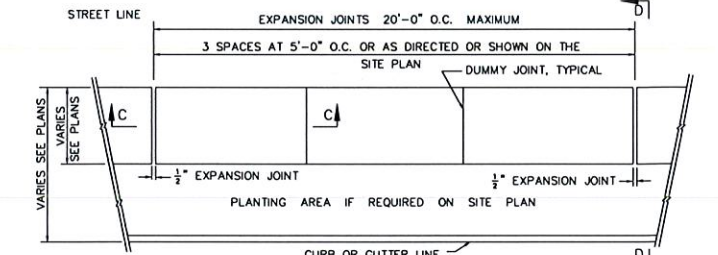
SECTION D-D



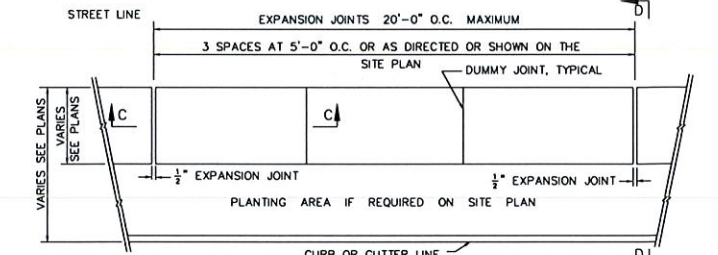
PLAN VIEW



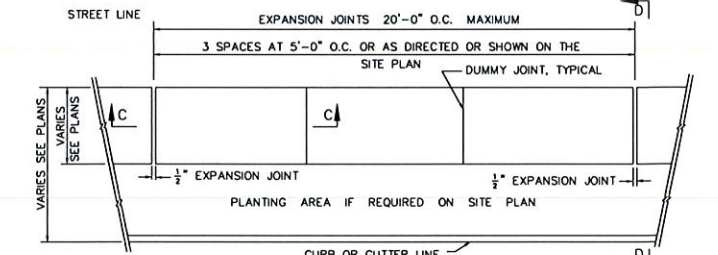
SECTION A-A



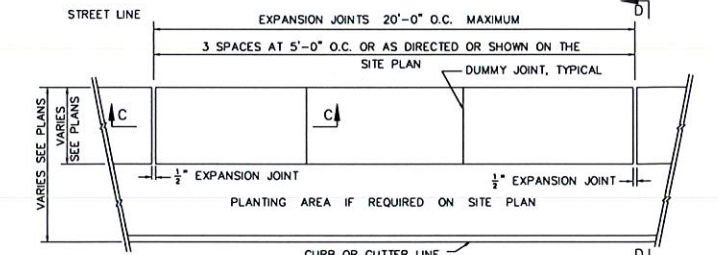
SECTION B-B



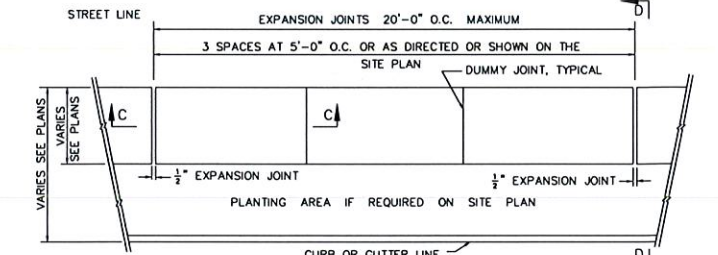
SECTION E-E



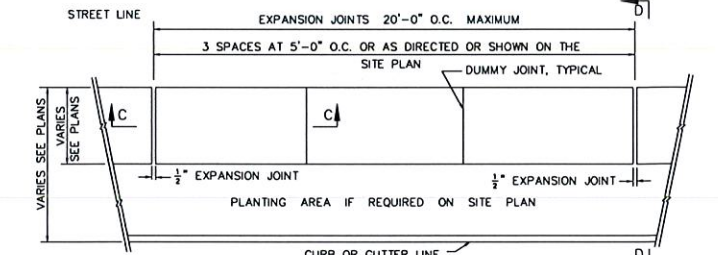
SECTION F-F



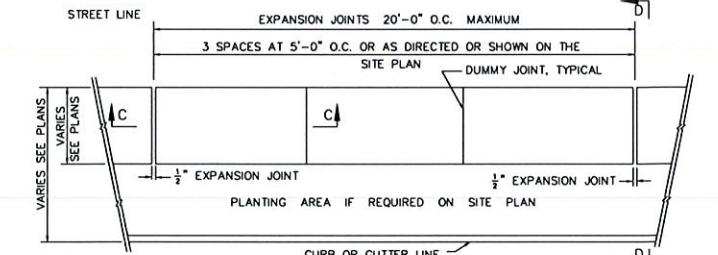
SECTION G-G



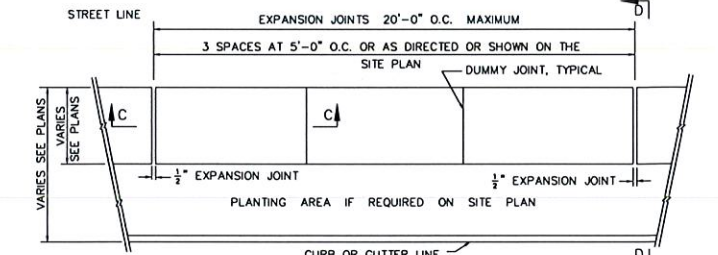
SECTION H-H



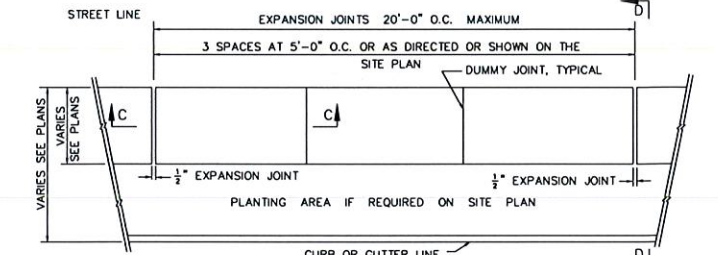
SECTION I-I



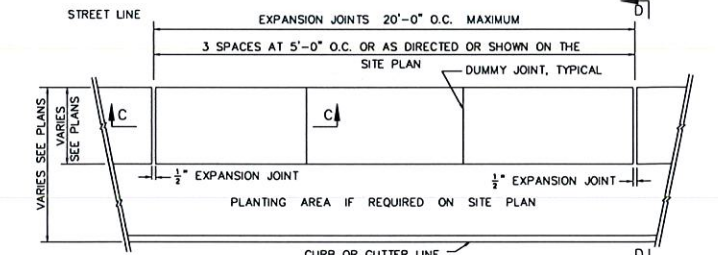
SECTION J-J



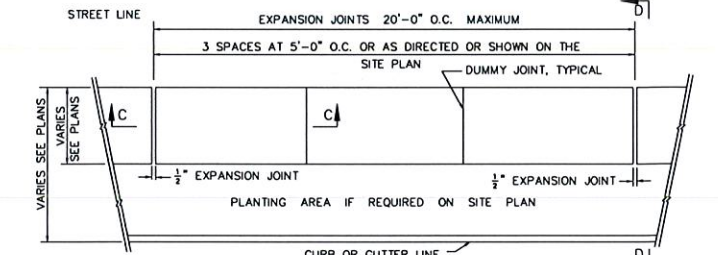
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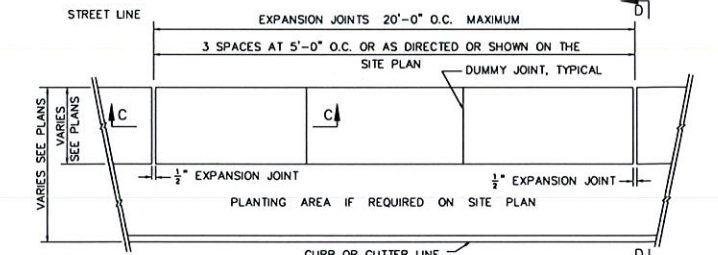
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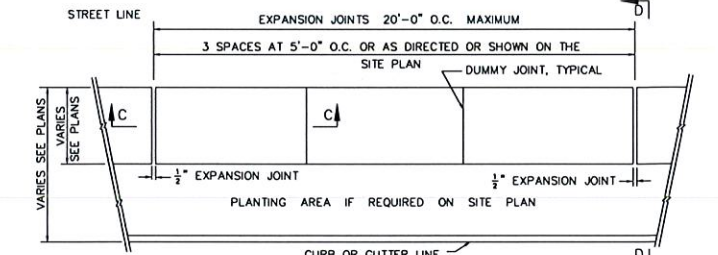
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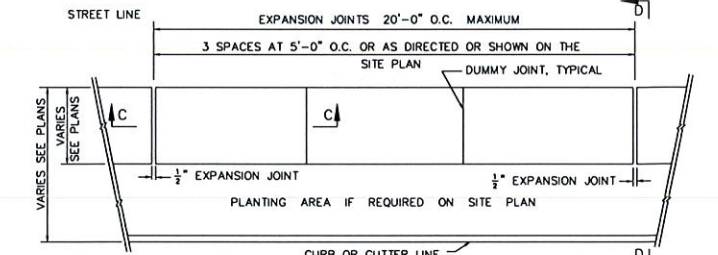
SECTION N-N



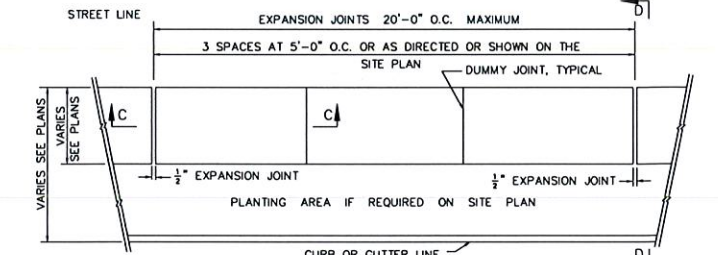
SECTION O-O



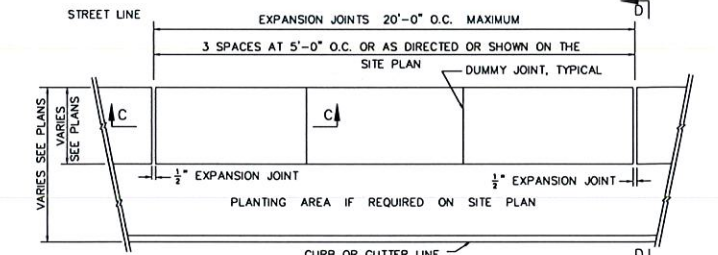
SECTION P-P



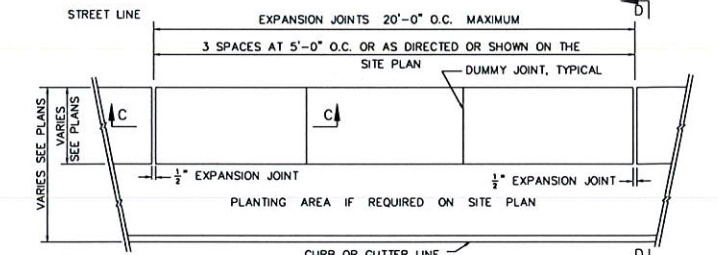
SECTION Q-Q



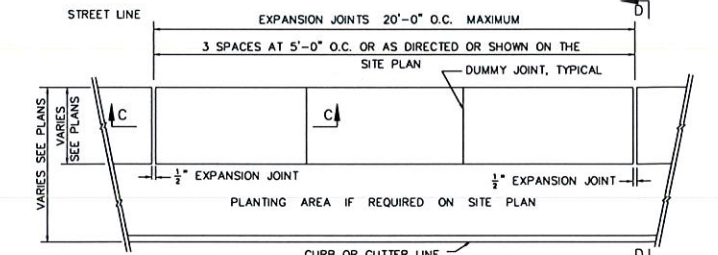
SECTION R-R



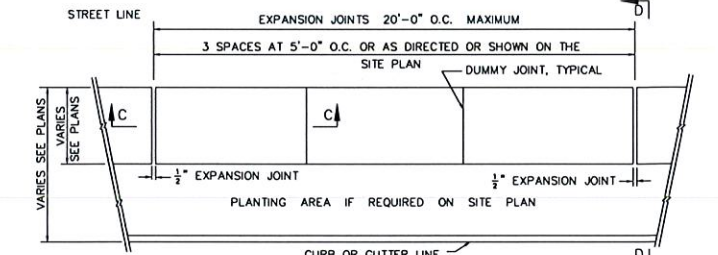
SECTION S-S



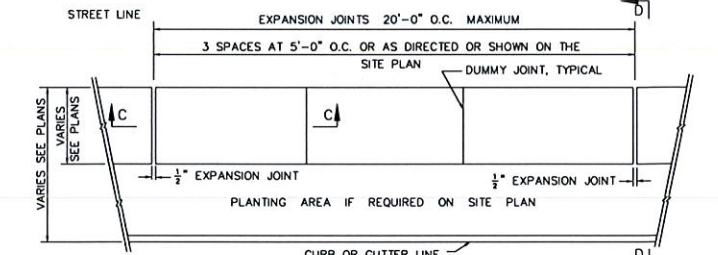
SECTION T-T



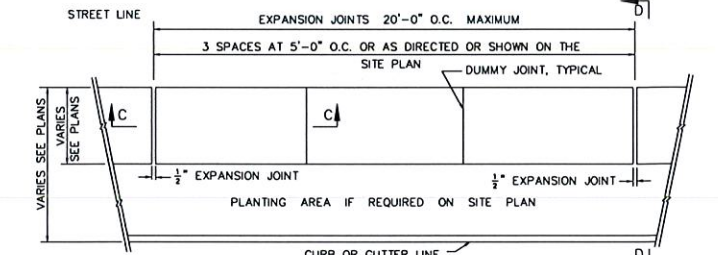
SECTION U-U



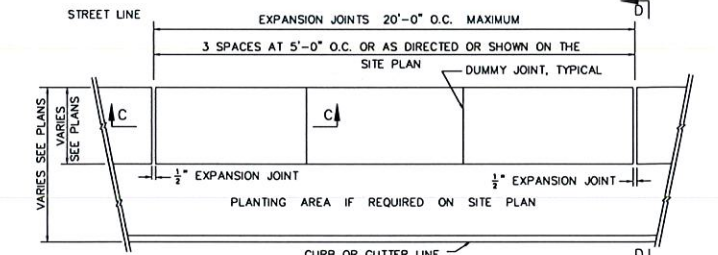
SECTION V-V



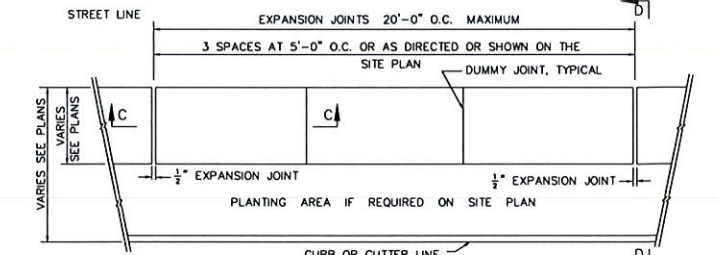
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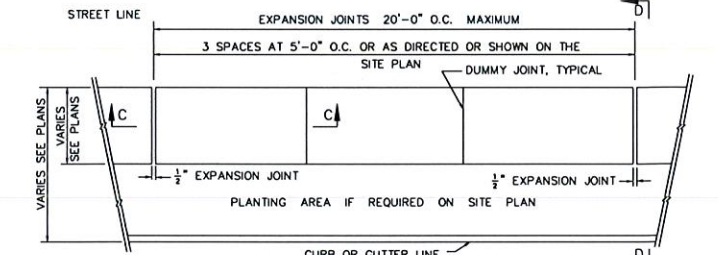
SECTION X-X



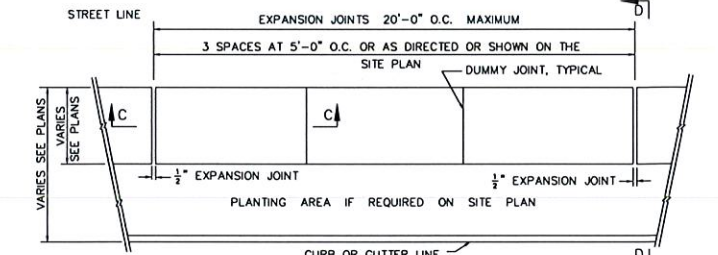
SECTION Y-Y



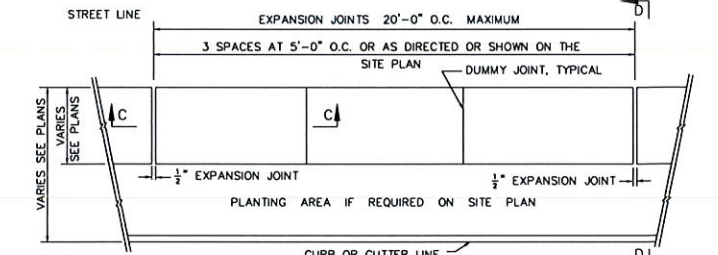
SECTION Z-Z



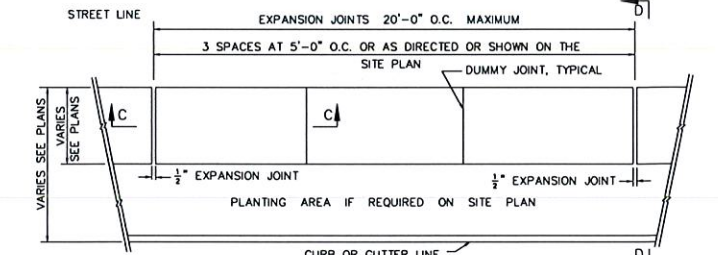
SECTION AA-AA



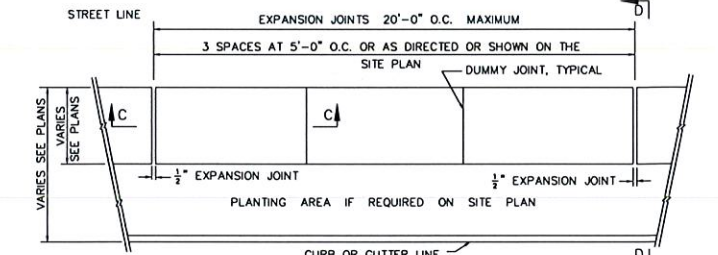
SECTION BB-BB



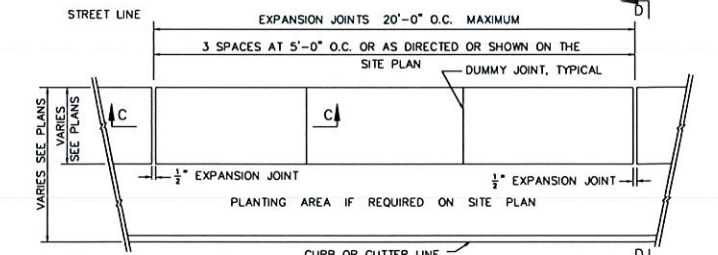
SECTION CC-CC



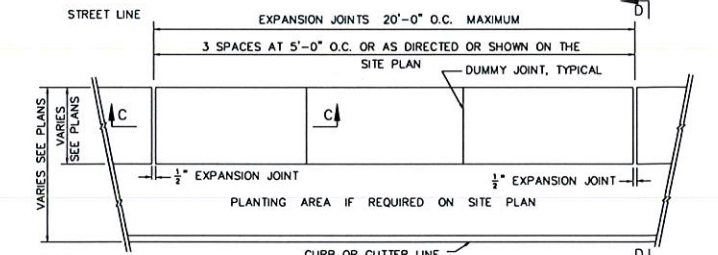
SECTION DD-DD



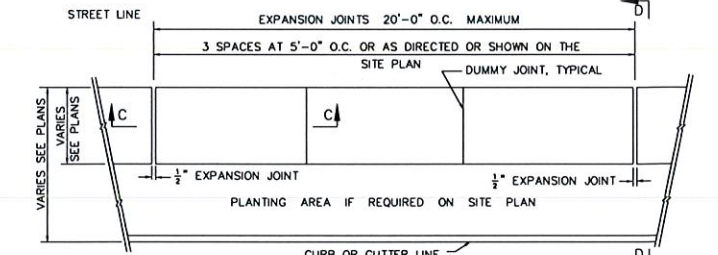
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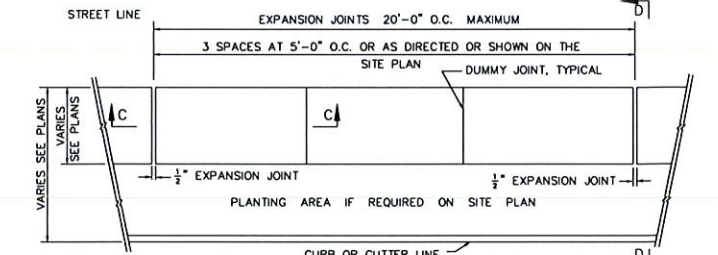
SECTION FF-FF



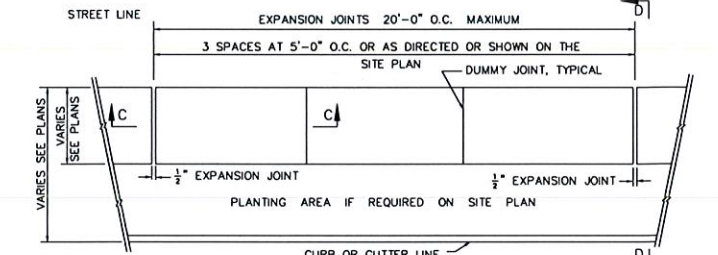
SECTION GG-GG



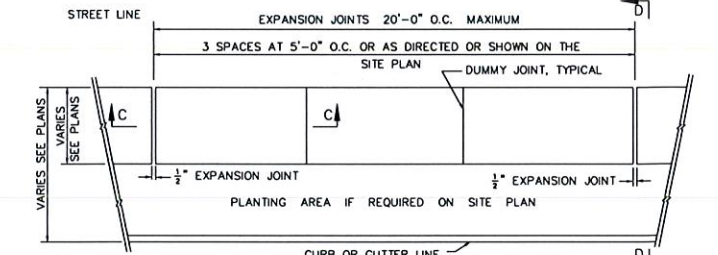
SECTION HH-HH



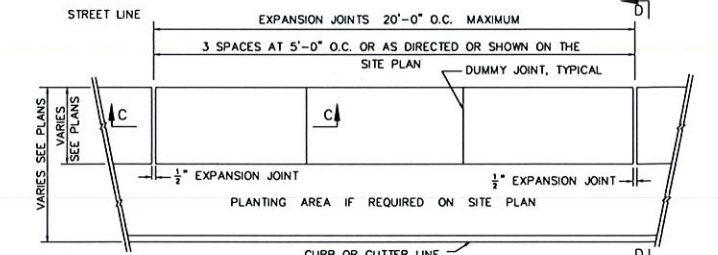
SECTION II-II



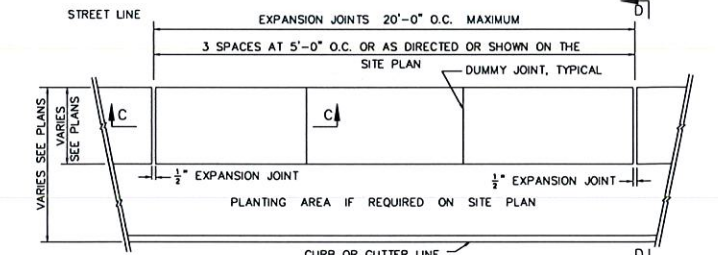
SECTION JJ-JJ



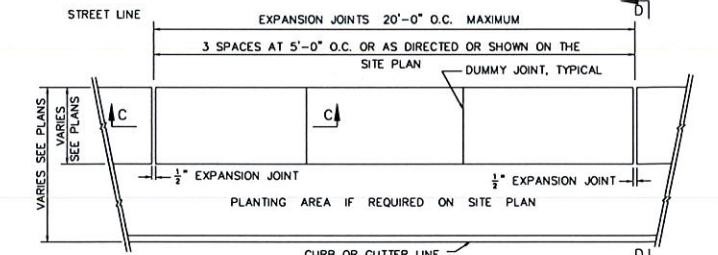
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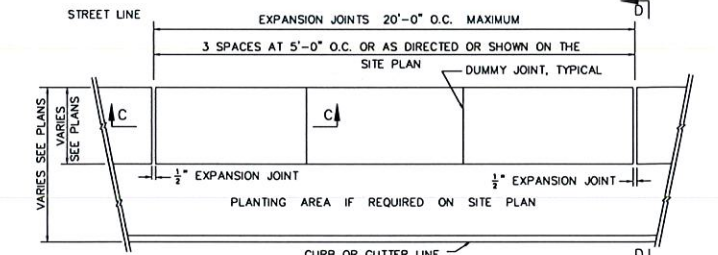
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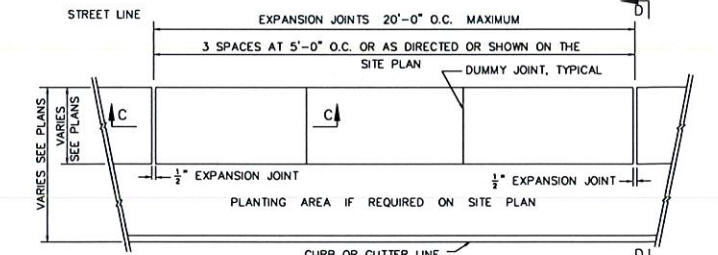
SECTION MM-MM



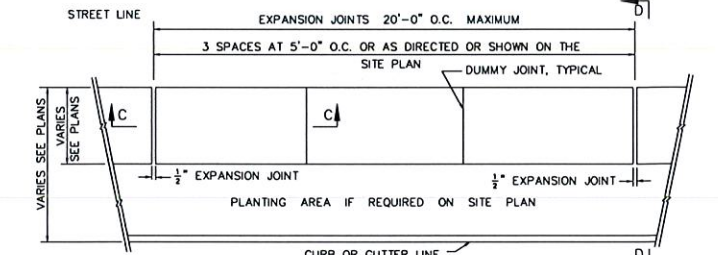
SECTION NN-NN



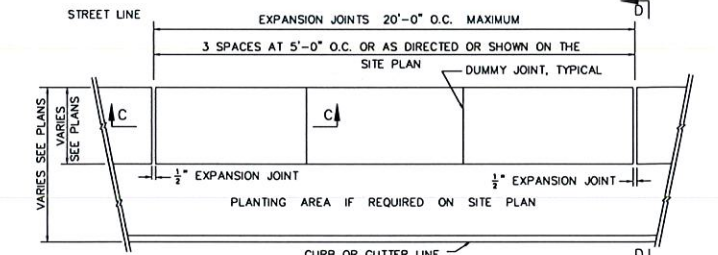
SECTION OO-OO



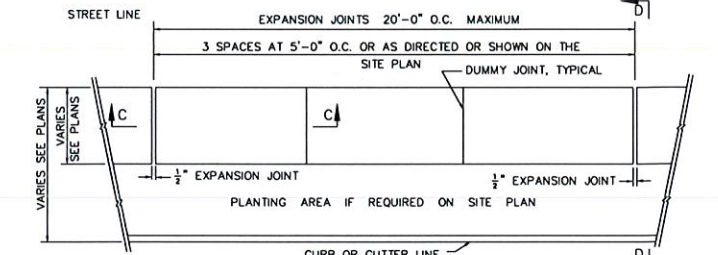
SECTION PP-PP



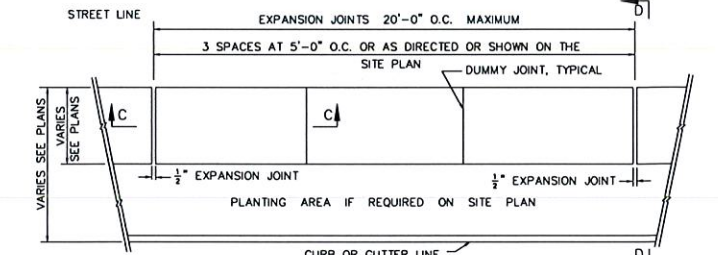
SECTION QQ-QQ



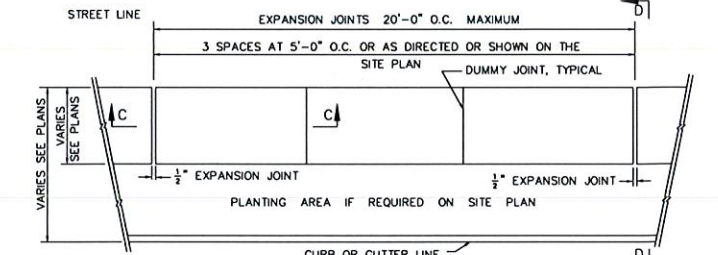
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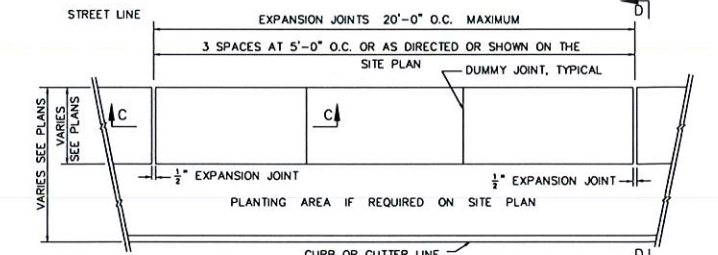
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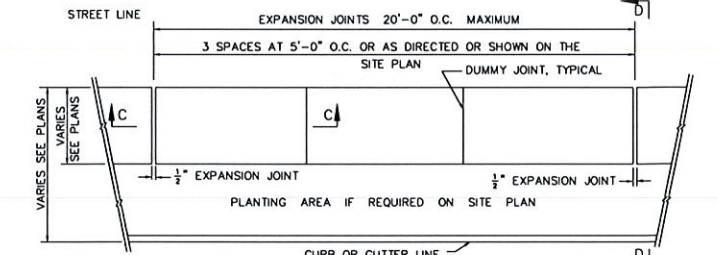
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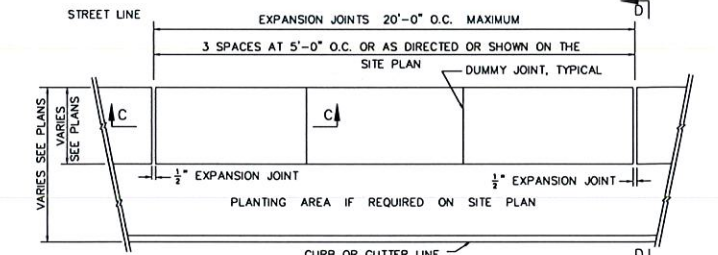
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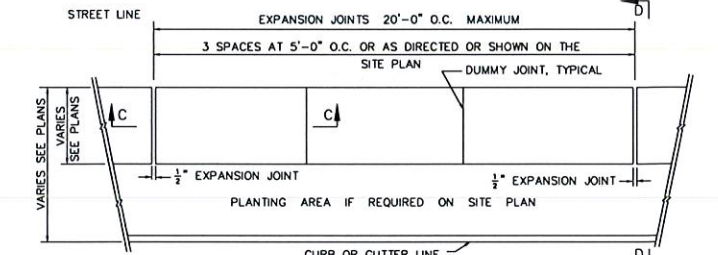
SECTION VV-VV



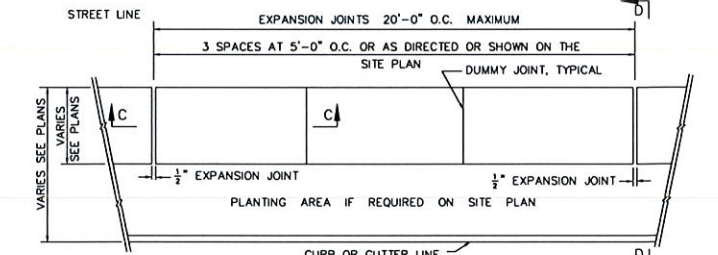
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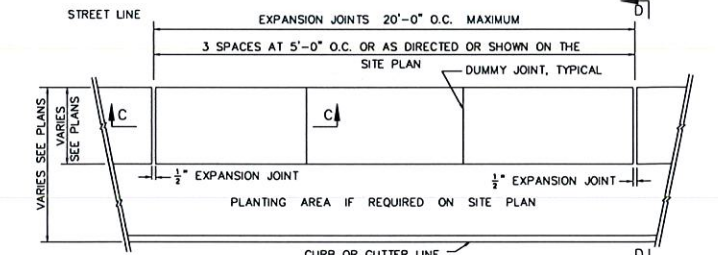
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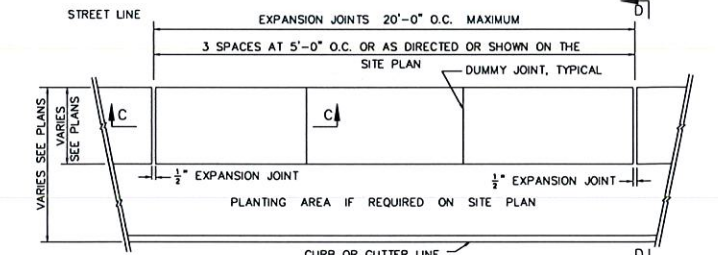
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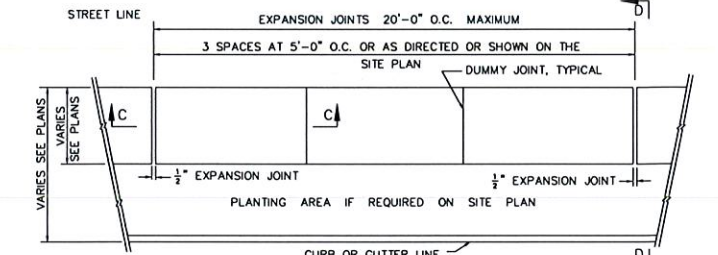
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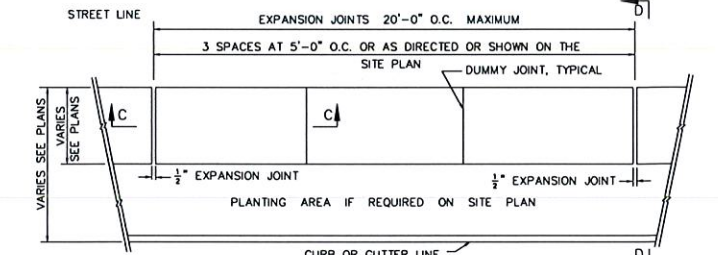
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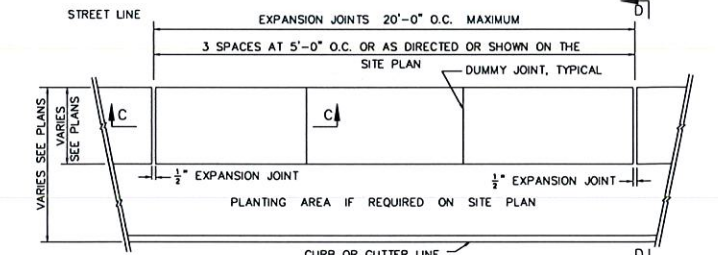
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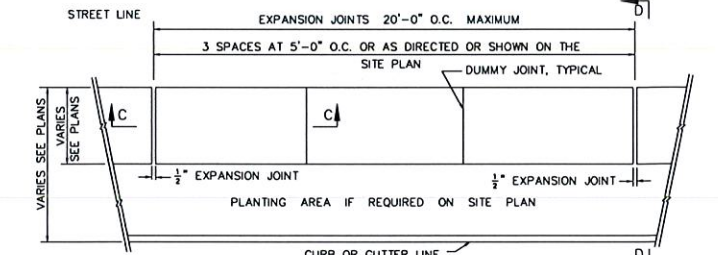
SECTION CC-CC



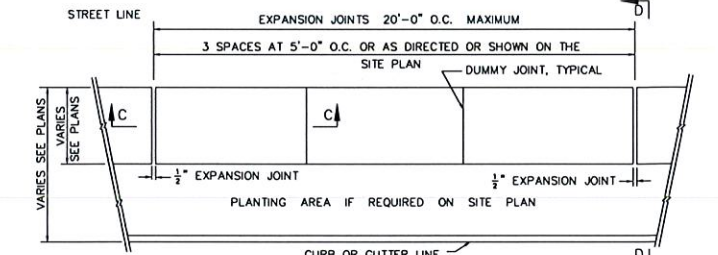
SECTION DD-DD



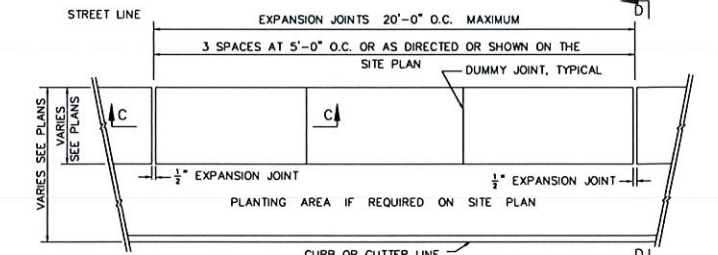
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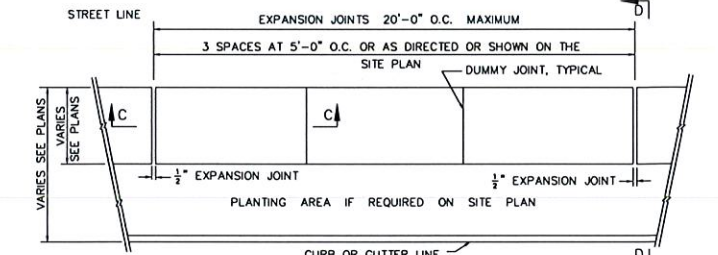
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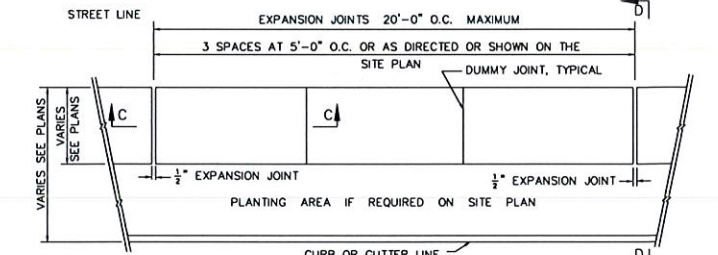
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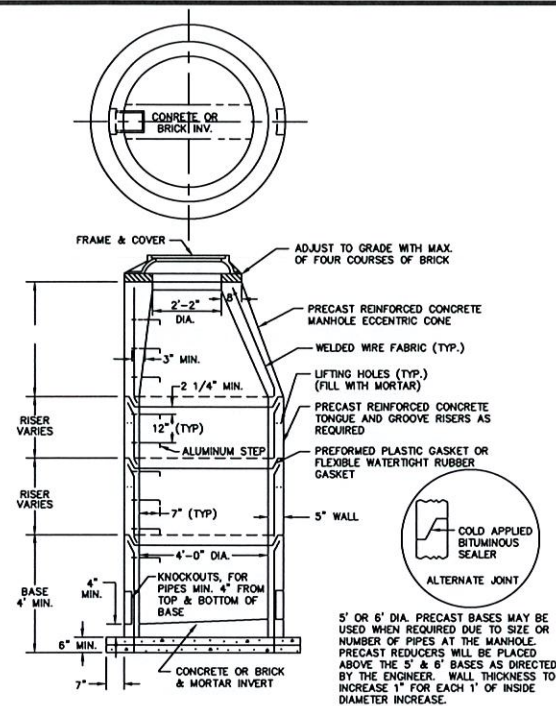


SECTION HH-HH

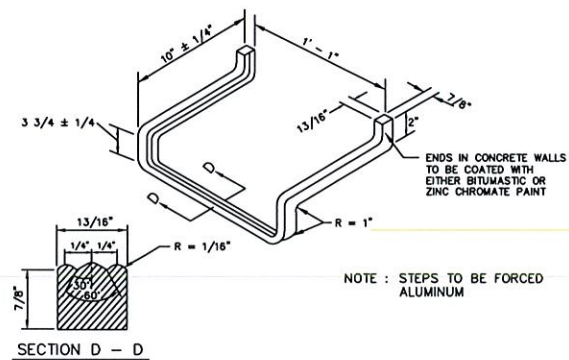


SECTION II-II

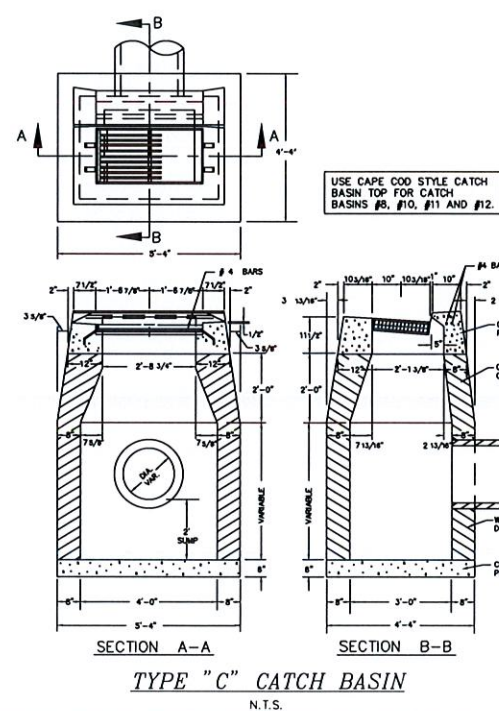




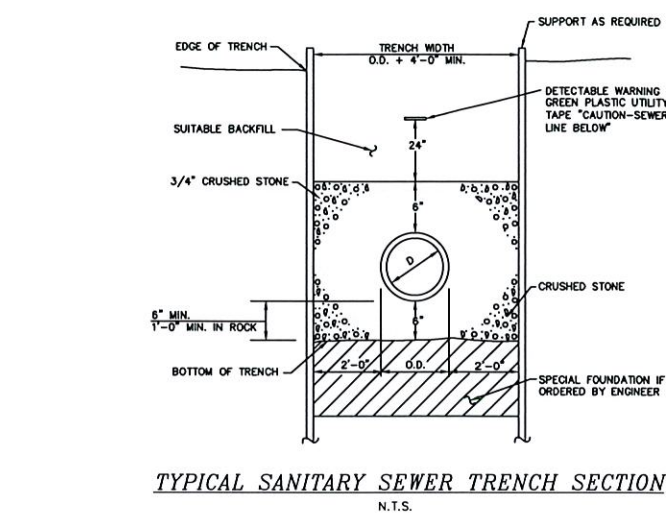
SANITARY MANHOLE
N.T.S.



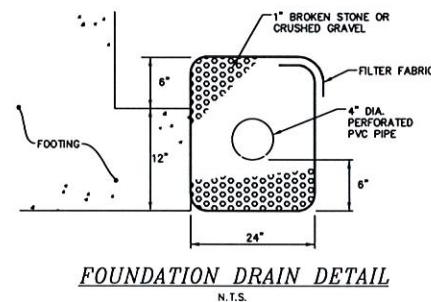
STANDARD MANHOLE STEP
N.T.S.



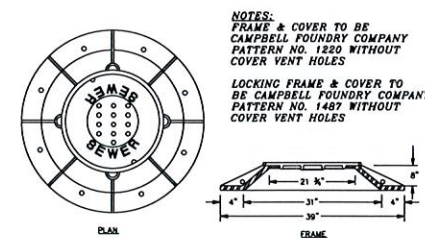
TYPE "C" CATCH BASIN
N.T.S.



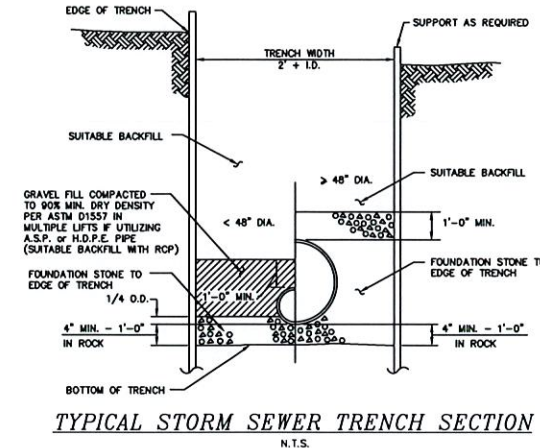
TYPICAL SANITARY SEWER TRENCH SECTION
N.T.S.



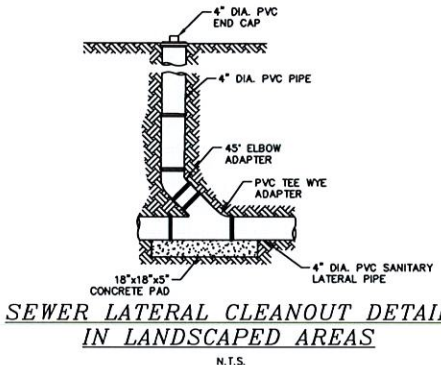
FOUNDATION DRAIN DETAIL
N.T.S.



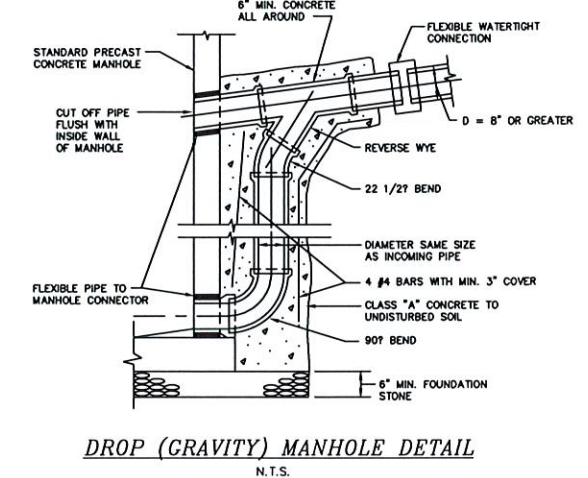
TYPICAL SANITARY MANHOLE FRAME AND COVER DETAIL
N.T.S.



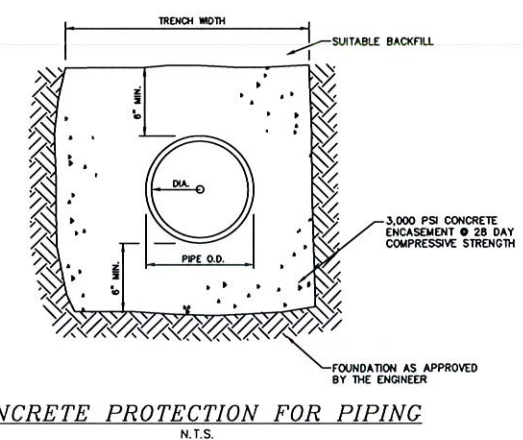
TYPICAL STORM SEWER TRENCH SECTION
N.T.S.



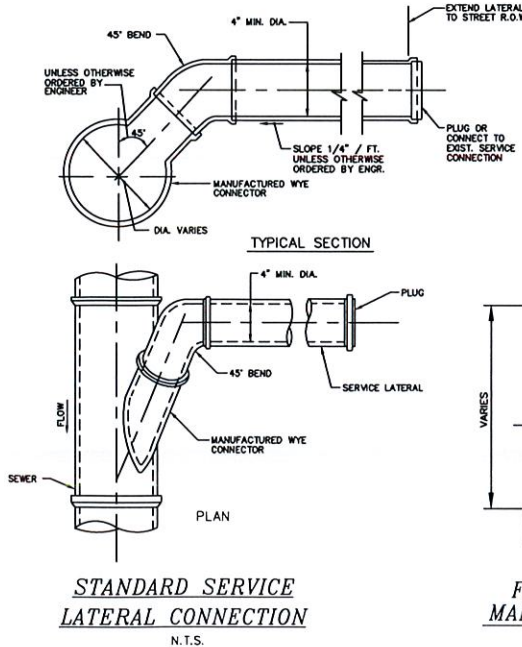
SEWER LATERAL CLEANOUT DETAIL IN LANDSCAPED AREAS
N.T.S.



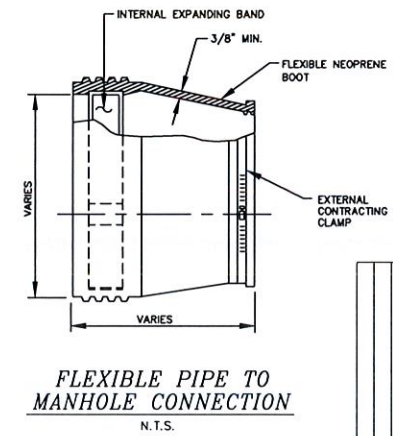
DROP (GRAVITY) MANHOLE DETAIL
N.T.S.



CONCRETE PROTECTION FOR PIPING
N.T.S.

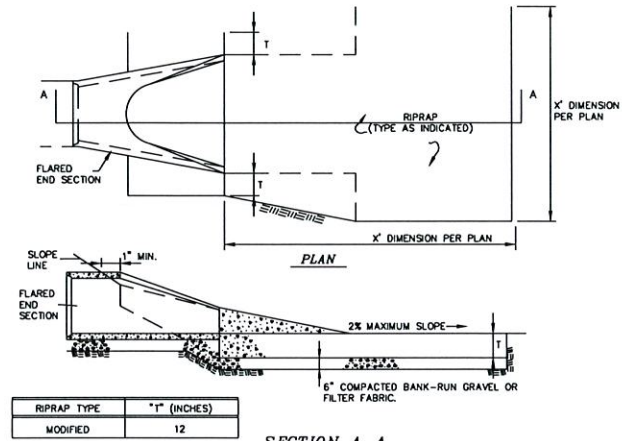


STANDARD SERVICE LATERAL CONNECTION
N.T.S.

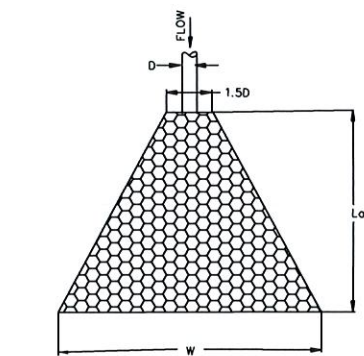


FLEXIBLE PIPE TO MANHOLE CONNECTION
N.T.S.

		DETAIL SHEET	
• Land Planning • Civil Engineering • Environmental Services • Land Surveying • Landscape Architecture 160 West Street, Suite E Cromwell, CT 06408 Tel 860.652.2877 85 Civic Center Plaza, Suite 103 Plainville, CT 06061 Tel 860.243.2880 90 Beaver Ave., Suite 5 Clinton, NJ 08809 Tel 908.665.5790 www.lrcconsult.com Land Resource Consultants, Inc. LRC Engineering and Surveying, D.P.C. LRC Environmental Services, Inc. LRC Engineering and Surveying, LLC		BECKLEY FARMS PHASE 5 REDESIGN BECKLEY ROAD TOWN OF BERLIN STATE OF CONNECTICUT	
Designed: RHR Drawn: RHR Checked: JW/REM Approved: JW/REM	CAD File: DN10108402.dwg Project No.: 11-1173 Date: 2/22/18 Scale: AS NOTED	Sheet No.: DN-2	

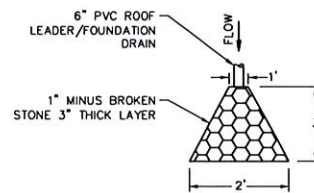


SECTION A-A
RIPRAP AT FLARED SECTION
N.T.S.

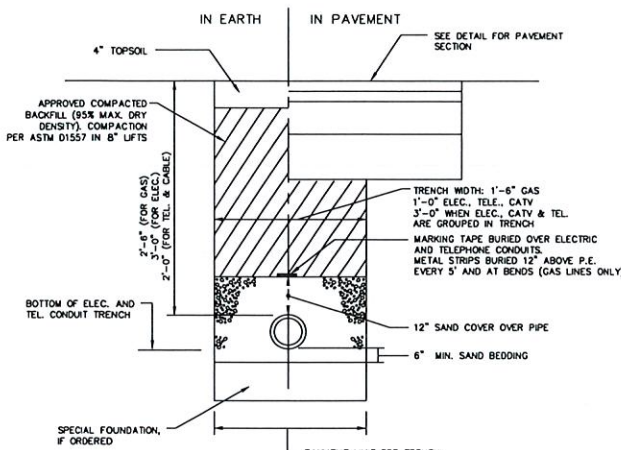


NOTE:
1. SEE SHEET GU-1; FOR EXACT DIMENSIONS AND ORIENTATIONS OF PAD.
2. ALL PADS WERE SIZED TO MEET REQUIREMENTS OF THE CTDOT AND OR CTDEP.
3. MINIMUM DEPTH OF PAD IS 18\"/>

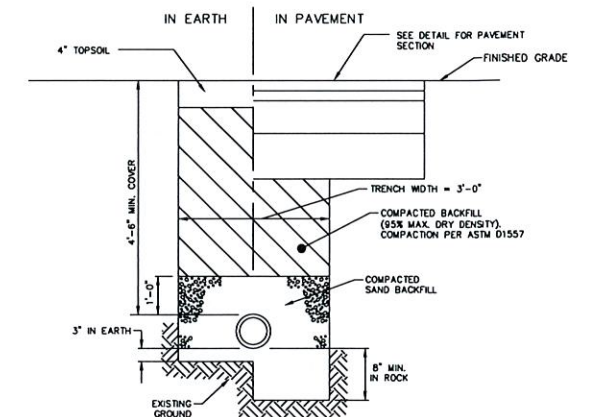
RIP RAP OUTLET PROTECTION
N.T.S.



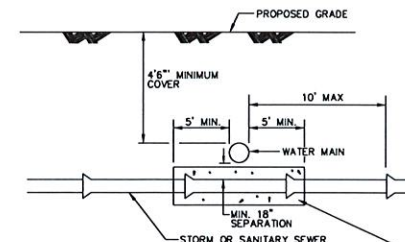
**ROOFLEADER/FOUNDATION
DRAIN OUTLET SPLASH PAD DETAIL**
N.T.S.



UTILITY TRENCH DETAIL
N.T.S.

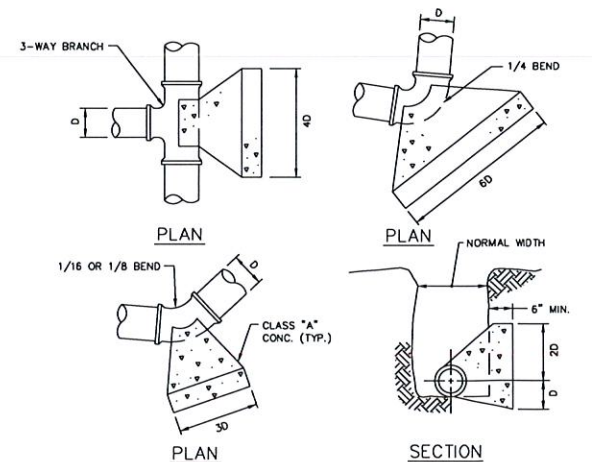
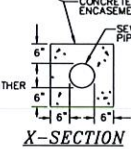


WATER MAIN AND SERVICE TRENCH DETAIL
N.T.S.

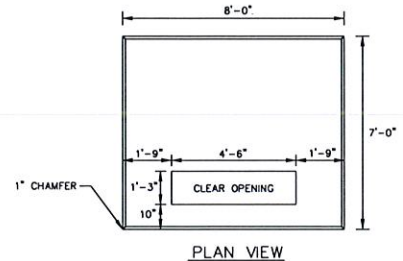


NOTES:
1. IF THERE IS MORE THAN 18\"/>

**WATER MAIN/SEWER CROSSING
CONCRETE ENCASEMENT**
N.T.S.

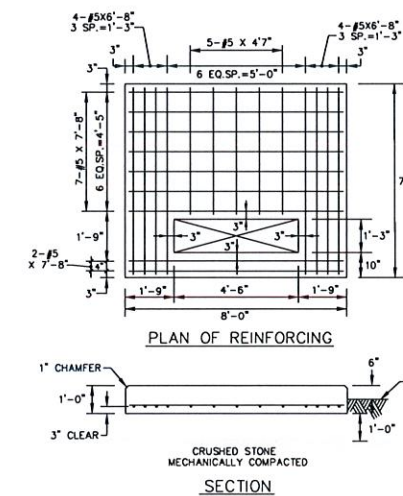


THRUST BLOCKS FOR BENDS AND TIES
N.T.S.

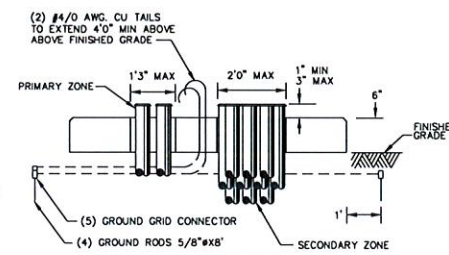


PLAN VIEW

- FOUR COPPERWELD GROUND RODS AND A #4/0 AWG BARE COPPER GROUNDING GRID SHALL BE INSTALLED AND CONNECTED WITH (5) APPROVED GROUND GRID CONNECTORS AS SHOWN.
- THE GROUND GRID 'TAILS' SHALL BE BROUGHT, BELOW GRADE, INTO THE FOUNDATION WINDOW AS SHOWN.
- THE GROUND RODS, GROUND GRID, PRIMARY NEUTRALS, SECONDARY NEUTRALS, TRANSFORMER TANK AND METAL CONDUITS SHALL ALL BE EFFECTIVELY BONDED TOGETHER.
- ALL GROUNDING AND BONDING SHALL BE DONE WITH COPPER WIRE. THE MINIMUM CONDUCTOR SIZE FOR BONDING METAL CONDUITS IS #4 AWG BARE COPPER; ALUMINUM WIRE IS NOT ACCEPTABLE.
- GROUNDING BUSHINGS SHALL BE USED FOR BONDING ALL METAL CONDUITS.
- THE GROUND GRID AND ASSOCIATED CONNECTIONS REQUIRE UI INSPECTION PRIOR TO BACKFILLING THE AREA.
- A COMPACTED BASE OF 12\"/>

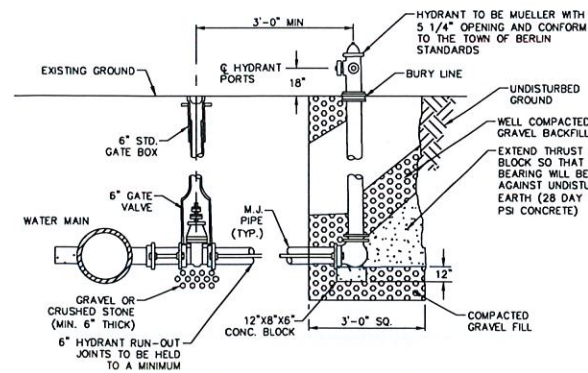


PLAN OF REINFORCING



SECTION
N.T.S.

TRANSFORMER PAD DETAIL
N.T.S.



**TYPICAL HYDRANT &
GATE VALVE DETAIL**
N.T.S.

DETAIL SHEET			
BECKLEY FARMS PHASE 5 REDESIGN BECKLEY ROAD TOWN OF BERLIN STATE OF CONNECTICUT			
Designed	RHR	CAD File	DN10108403.dwg
Drawn	RHR	Project No.	11-1173
Checked	JW/REM	Date	2/22/18
Approved	JW/REM	Scale	AS NOTED

DN-3

1.0 POST CONSTRUCTION INSPECTION & MAINTENANCE

Post-construction, regularly scheduled inspections and maintenance will be necessary to ensure the permanent structural features such as the stormwater management basins, underground detention, water quality units and the conveyance system components remain optimally functional and continue to reduce the risk of sediment loading of surface water bodies.

When construction is complete, the Contractor will remain responsible for the site until the entire site has reached final stabilization. The site is considered stabilized when all soil disturbing activities have been completed and a full uniform, perennial vegetative cover has been established or equivalent stabilization measures such as the use of mulches or geotextiles have been employed on all unpaved areas and areas not covered by permanent structures. Weekly inspections should continue until the site has reached this point. Additionally, inspections should be performed after every rain event of 0.5 inches or more in 24-hours.

At the time of final stabilization, the Owner's Engineer shall perform a final inspection of the site and certify that the site has successfully undergone final stabilization using either vegetative or structural stabilization methods and that all temporary erosion and sediment controls such as silt fence, not needed for long term use, have been removed. At this point, the Owner is responsible for the following:

1. Submit to the CTDEP a Notice of Termination prepared by the Owners' Engineer. Identify all permanent stormwater management structures that have been constructed and provide the Land Owner with an Operations and Maintenance (O&M) manual that will be necessary in order for the structures to function properly after the site has been stabilized. Section 1.0 of this report satisfies the O&M requirements.
2. Transfer the Water Quality and Quantity Report and Stormwater Pollution Prevention Control Plan (SWPPP) to the Land Owner.
3. Certify that the permanent structures have been constructed as described by this plan and the drawings.

The Land Owner shall overtake responsibility of inspecting and maintaining drainage and erosion control features over the lifetime of the structures. Maintenance personnel, employed by the Land Owner, must be aware of the SWPPP and should be trained to recognize signs that stabilization measures may not be performing optimally or are failing. The inspection of on-site stabilization measures will become part of routine preventative maintenance practiced by the Land Owner. Inspections should be performed after rain events of 0.5 inches or greater in a 24-hour period and at a minimum of twice per year (April 1st and Nov 1st). Inspections and maintenance should be performed as described below within this section.

1.1 Inspection

Overall Site Inspection

The overall site, embankments, vegetation and stormwater conveyance system components including water quality units, outlet structures, structure sumps, culverts, swales, and pond spillways should be inspected regularly after every major rain event of 0.5 inch or greater in a 24-hour period and twice per year (April 1st and Nov 1st). A rain gauge should be installed and permanently maintained at the site. The inspections should include but are not limited to:

1. Density and condition of vegetation and ground cover.
2. Erosion, differential settlement or cracking of embankment.
3. Bulging or sliding of toe of embankments.
4. Sedimentation of on-site or downstream water bodies.
5. Sedimentation of culverts or swales.
6. Sedimentation of lawn areas, paved areas, underground detention outlet structure, water quality units or outlet structure sumps.
7. Accumulation of pollutants, including oils or grease in water quality units and outlet structure sumps.
8. Damage or fatigue of storm sewer structures or associated components.
9. Accumulation of sediment and debris at catch basin grates.

Stormwater Basin/ Water Quality Practice Inspection

Stormwater management basins and other water quality practices and all associated features such as spillways, inlets, outlets, forebays and rip rap filter berms should be inspected regularly after every major rain event of 0.5 inch or greater in a 24-hour period and twice per year (April 1st and Nov 1st). A rain gauge should be installed and permanently maintained at the site. The inspections should include but are not limited to:

1. Density and condition of vegetation and ground cover.
2. All features of the basin should be clear of brush and tree growth.
3. Erosion, differential settlement or cracking of basin embankments.
4. Bulging or sliding of toe of embankments.
5. Presence of animal burrows.
6. Evidence of clogging or sedimentation at inlets or outlets, including paved leak-offs.
7. Erosion or sedimentation of the extended flow path through the detention basin.
8. Spillways should be inspected for structural integrity.
9. Spillways should be clear of obstructions.
10. Inlet/outlet riprap should be inspected for scour and dislodged stones and obstructions should be removed.
11. Accumulation of sediments at inlets, outlets, silt traps, and catch basin grates.
12. All forays and rip rap berms should be inspected to ensure proper function and structural integrity.

1.2 Maintenance

Overall Site Maintenance

Maintaining vegetative and structural measures for soil protection is necessary to keep the storm water system functioning properly. Maintenance should occur on a regular basis and should include but is not limited to:

Seasonal Maintenance

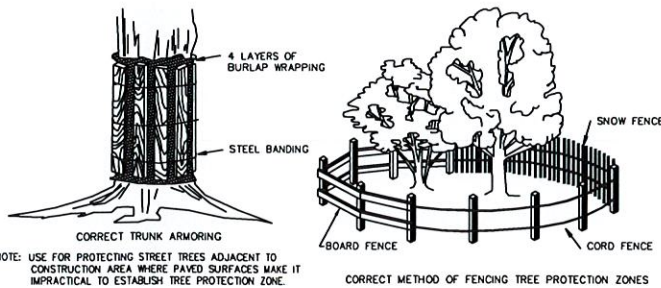
1. Vegetated areas should be maintained to promote vigorous and dense growth. Lawn areas should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
2. Accumulation of litter and debris should be removed during each mowing or sweep operation.
3. Structural components of the storm sewer system such as culverts, water quality units and outlet structures (including sumps) which require repair or replacement should be addressed immediately following identification.
4. Swale and drainage maintenance will include periodic mowing, occasional spot reseed and weed control. Weeds and woody plants should be eradicated or cut back since they reduce the efficiency of the drainage way.
5. Rip rap lined outlets that show signs of scour should be repaired. Weed and brush growth at the inlets and outlets should be controlled as needed.
6. Catch basin sumps shall be inspected at least 3 times per year starting in April. Cleaning of sills and debris using a vacuum type truck shall be performed if the accumulated sediment depth is greater than 12 inches. Removed material shall be disposed of on off site location. The location of disposal shall be provided to the owner as necessary.

Winter Maintenance

1. Remove snow and ice from catch basin grates, basin inlet and outlet structures and away from culvert end sections.
2. Snow removed from paved areas should not be piled at inlets/outlets of the storm water management basin or on the catch basin grates.
3. Use of deicing materials should be limited to sand and environmentally friendly chemical products. Use of salt mixtures should be kept to a minimum.
4. Sand used for deicing should be clean, coarse material free of fines, silt, and clay.
5. Materials used for deicing should be removed during the early spring by sweeping and/or vacuuming.

Stormwater Management/Water Quality Maintenance

1. Side slope, embankments, inlets and overflow spillways should be mowed at least three times a year but may require more frequent mowings depending on the growth rate.
2. Trees and shrubs should be removed at the inlets and outlets.
3. Accumulation of litter and debris should be removed during each mowing or sweep operation.
4. Structural components of the basin which require repair or replacement should be addressed immediately following identification.
5. Sedimentation of stormwater management basins is dependent on storage capacity, inflow and sediment load. Basins and forebays should be monitored periodically for sediment accumulation. Sediments should be removed when capacity has been reduced by 10%, inlets/outlets become clogged or restricted, or when 6 inches has accumulated. When sediment removal is required, original grades should be restored as shown on the Construction Plans.
6. The water quality units should be maintained by manufacturer's specifications after construction is complete, when the site has reached a full uniform, perennial vegetative cover. The water quality units should also be maintained twice a year (April 1st and Nov 1st) per manufacturer's specifications; which typically involves measurements of sludge depth with a "sludge judge" followed by removal with a "vac-truck". These maintenance measures are to be performed at the Land Owners expense.
7. Spillways should be cleared of obstructions.
8. Inlet / outlet riprap damage due to scour and sedimentation should be repaired.



MECHANICAL TREE PROTECTION

N.T.S.

SLOPE SEEDING MIXTURE (NO MOW MIX)

To be used on slopes 3:1 or greater.

TYPE OF SEED PERCENT BY WEIGHT

Crownvetch (Coronilla Varia)	20%
Birdsfoot Trefoil (Lotus Corniculatus Var. Arvensis)	40%
Annual Ryegrass (Lolium Multiflorum)	40%
Alsike Clover (Trifolium Hybridum)	10%
Leguminous See to be inoculated	

WETLAND SEEDING MIXTURE

To be used in or around wetland areas as shown on the Contract Drawings.

TYPE OF SEED PERCENT BY WEIGHT

Fox Sedge (Carex vulpinoidea)	30%
Fringed Sedge (Carex crinita)	22%
Canada Manna Grass (Glyceria Canadensis)	10%
Chufa (Cyperus esculentus)	10%
Soft Rush (Juncus effusus)	5%
Bearded Sedge (Carex comosa)	4%
Lurid Sedge (Carex lurida)	4%
Woolgrass (Scirpus cyperinus)	3%
Boneset (Eupatorium perfoliatum)	3%
Hop Sedge (Carex lupulina)	3%
Blue Vervain (Verbena hastata)	2%
Green Bulrush (Scirpus atrovirens)	2%
Joe-Pye Weed (Eupatorium fistulosum)	2%

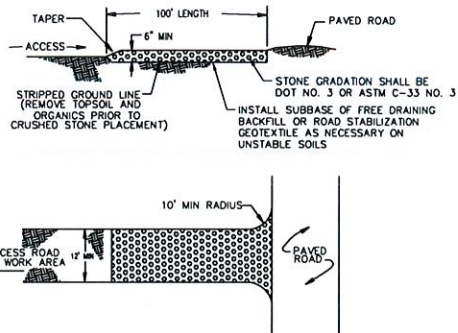
EROSION CONTROL BLANKETS

3:1 slopes or steeper where indicated on the Contract Drawings:

Erosion Control Blanket shall be North American Green SC 150 or shall be a green, wood fiber mat constructed from 100% Aspen curled fibers with a green, photo-degradable netting applied to one side. Erosion Control Blanket to be as manufactured by American Excelsior Company, Arlington, TX, "Quick Grass" or approved equal.

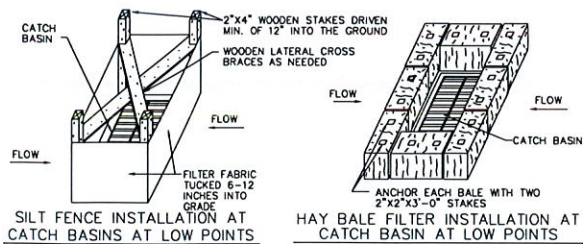
SEDIMENTATION CONTROL BARRIER WITH HAY BALE BARRIER

N.T.S.



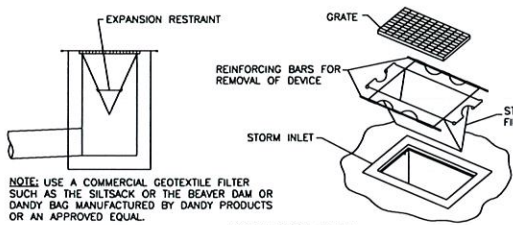
CONSTRUCTION ENTRANCE

N.T.S.



CATCH BASIN EROSION CONTROL

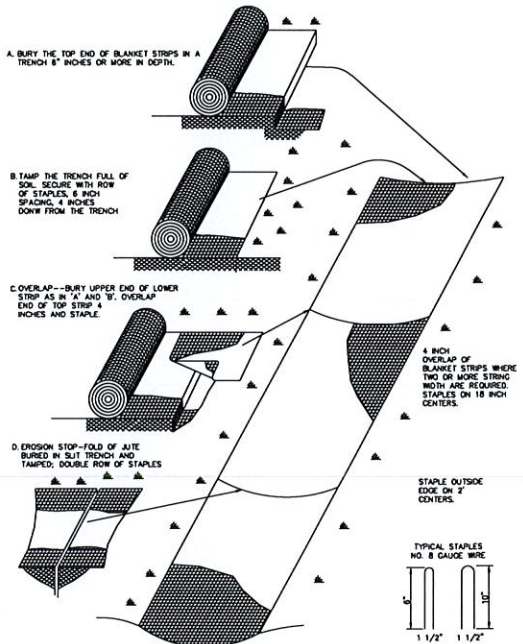
N.T.S.



INSTALLATION DETAIL

SILT SACK INLET PROTECTION

N.T.S.



NOTE: BLANKET IS TO BE INSTALLED ON ANY FINISHED SLOPES THAT ARE 3:1 OR GREATER

EROSION CONTROL BLANKET INSTALLATION DETAIL

N.T.S.



• Land Planning
• Civil Engineering
• Environmental Services
• Land Surveying
• Landscape Architecture
160 West Street, Suite E
Cheshire, CT 06410
Tel: 860-535-2977
44 Civic Center Plaza, Suite 103
Bridgewater, NY 12601
Tel: 845-343-2840
90 Beaver Ave., Suite 5
Clinton, NJ 08809
Tel: 908-605-5750
www.lrcconsult.com
Lead Resource Consultants, Inc.
LRC Engineering and Surveying, L.P.C.
LRC Environmental Services, Inc.
LRC Engineering and Surveying, L.L.C.

DETAIL SHEET

BECKLEY FARMS
PHASE 5 REDESIGN
BECKLEY ROAD
TOWN OF BERLIN
STATE OF CONNECTICUT

Designed	RHR	CAD File	DN10108604.dwg	Sheet No.
Drawn	RHR	Project No.	11-1173	
Checked	JW/REM	Date	2/22/18	
Approved	JW/REM	Scale	AS NOTED	

DN-4

No.	Seed Mixture (Variety)*	Lbs./Acre	Lbs./1,000 Sq. Ft.
1 st	Kentucky Bluegrass Creeping Red Fescue (Pennlawn, Wintergreen) Perennial Ryegrass (Norie, Manhattan)	20 20 5	.45 .45 .10
		Total 45	1.00
2 nd	Creeping Red Fescue (Pennlawn, Wintergreen) Redtop (streaker, Common) Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20 2 20	.45 .05 .45
		Total 42	.95
3 rd	Creeping Red Fescue (Pennlawn, Wintergreen) Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln)	20 8 20	.45 .20 .45
		Total 48	1.10
4 th	Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31) Redtop (streaker, Common) Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	20 2 30	.45 .05 .70
		Total 50	1.20
5 th	White Clover Perennial Ryegrass	10 2	.50 .05
		Total 12	.30
6 th	Creeping Red Fescue Redtop (streaker, Common) Perennial Ryegrass	10 2 20	.50 .05 .50
		Total 42	1.05
7 th	Smooth Bromegrass (Saratoga, Lincoln) Perennial Ryegrass (Norie, Manhattan) Bird's-foot Trefoil (Empire, Viking) with inoculant ¹	15 5 10	.35 .10 .25
		Total 30	.70
8 th	Switchgrass (Blackwell, Shelter, Cave-in-rock) Weeping Lovegrass Little Bluestem (Blaze, Aldous, Camper)	10 ¹ 3 7	.25 .07 .25
		Total 23	.57
9 th	Creeping Red Fescue (Pennlawn, Wintergreen) Crown Vetch (Chernung, Pennplit) with inoculant ¹ (or Platago (Lathco) with inoculant ¹) Tall Fescue (Kentucky 31) or Smooth Bromegrass (Saratoga, Lincoln) Redtop (streaker, Common)	10 15 30 15 2	.25 .35 (.75) .35 .05
		Total 42 (or 57)	1.00 (or 1.40)
10 th	Creeping Red Fescue (Pennlawn, Wintergreen) Redtop (streaker, Common) Crown Vetch (Chernung, Pennplit) with inoculant (or Platago (Lathco) with inoculant ¹)	20 2 150 (30)	.45 .05 (.75) (.75)
		Total 37 (or 52)	.85 (or 1.25)
11 th	Bird's-foot Trefoil (Empire, Viking) with inoculant ¹ Crown Vetch (Chernung, Pennplit) with inoculant ¹ Creeping Red Fescue (Pennlawn, Wintergreen) or Tall Fescue (Kentucky 31)	8 15 15	.20 .35 .35
12 th	Switchgrass (Blackwell, Shelter, Cave-in-rock) Perennial Ryegrass (Norie, Manhattan) Crown Vetch (Chernung, Pennplit) with inoculant ¹	101 5 15	.25 .10 .35
		Total 45	1.05
13-15	Not used		
16 th	Tall Fescue (Kentucky 31) Platago (Lathco) with inoculant ¹	20 30	.45 .75
		Total 50	1.20
17 & 18	Not used		
19 th	Chewing Fescue Hard Fescue Colonial Bentgrass Bird's-foot Trefoil (Empire, Viking) Perennial Ryegrass	35 30 5 10 20	.80 .70 .10 .50 1.0
		Total 100	2.3
21 st	Creeping Red Fescue (Pennlawn, Wintergreen)	Total 60	1.35
22 nd	Creeping Red Fescue (Pennlawn, Wintergreen) Tall Fescue (Kentucky 31)	40 20	.90 .45
		Total 60	1.35
23 rd	Creeping Red Fescue (Pennlawn, Wintergreen) Platago (Lathco) with inoculant ¹	15 30	.35 .75
		Total 45	3.60
24-28	Not Used		
29	Full Type Tall Fescue (Bonanza, Mustang, Rebel II, Spartan, Jaguar) or Perennial Ryegrass (Tulare 2000 mix, Fiesta II, Bozoe II, and Dasher II)	175 to 250	6 to 8

* Use proper inoculant for legume seeds, use four times recommended rate when hydroseeding.
¹ Use Pure Live Seed (PLS) = $\frac{\% \text{ Germination} \times \% \text{ Purity}}{100}$
EXAMPLE: Common Bermuda seed with 70% germination and 80% purity = $\frac{70 \times 80}{100} = 56\%$
 $\frac{10 \text{ lbs PLS/acre}}{56\%} = 17.9 \text{ lbs/acre of bagged seed}$

² Odd Fall purpose mix
³ Considered to be a cool season mix.
⁴ Considered to be a warm season mix.

Species ⁴	Seeding Rates (pounds per acre)	Optimum Seed Depth (inches)	Optimum Seeding Dates ⁵										Plant Characteristics
			3/15 4/15 5/15 6/15 7/15 8/15 9/15 10/15										
			3/1	4/1	5/1	6/1	7/1	8/1	9/1	10/1			
Annual ryegrass <i>Lolium multiflorum</i>	40	1.0	0.5										May be added in mixes. Will mow out of most stands.
Perennial ryegrass <i>Lolium perenne</i>	40	1.0	0.5										Use for winter cover. Tolerates cold and low moisture.
Winter rye <i>Secale cereale</i>	120	3.0	1.0										Quick germinating and heavy spring growth. Dies back in June with little regrowth.
Oats <i>Avena sativa</i>	86	2.0	1.0										In northern CL, will winter kill with the first killing frost and may throughout the state in severe winters.
Winter Wheat <i>Triticum aestivum</i>	120	3.0	1.0										Quick germination with moderate growth. Dies back in June with no regrowth.
Millet <i>Echinochloa crusgalli</i>	20	0.5	1.0										Warm season small grain. Dies with frost in September.
Sudangrass <i>Sorghum sudanense</i>	30	0.7	1.0										Tolerates warm temperatures and draughty conditions.
Sudangrass <i>Sorghum sudanense</i>	15	0.4	1.0										Hardy plant that will seed itself and be good as a green manure crop.
Weeping Lovegrass <i>Eragrostis curvula</i>	5	0.2	0.25										Warm-season perennial. May bunch. Tolerates hot, dry slopes, acid infertile soils. Excellent nurse crop. Usually winter kills.
DOT All Purpose Mix ⁶	150	3.4	0.5										Suitable for all conditions.

- ¹ May be planted throughout summer if soil moisture is adequate or can be irrigated. Fall seeding may be extended 15 days in the coastal lowlands.
- ² Seed at twice the indicated depth for sandy soils.
- ³ See Permanent Seeding Figure PS-3 for seeding mixture requirements.
- ⁴ Listed species may be used in combinations to be obtain a broader time spectrum. If used in combinations, reduce each species' planting rate by 20% of that listed.

ALL SEEDING AREAS SHALL BE WATERED UNTIL AREAS ARE FULLY STABILIZED. RE-SEED, RE-MULCH AND CONTINUE TO WATER UNDERDEVELOPED AREAS AS NECESSARY.

THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED FOR THE PROJECT.

PHASE 5

1. CONTACT THE TOWN OF BERLIN AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. CLEARING LIMITS SHALL BE MARKED IN THE FIELD AND APPROVED BY THE TOWN OF BERLIN BEFORE ENFORCEMENT OFFICER PRIOR TO START OF WORK ON THE SITE.
3. INSTALL CONSTRUCTION ENTRANCE, SILT SACKS, SILT FENCE AND OTHER REQUIRED EROSION CONTROL MEASURES AS SHOWN ON THE PLAN.
4. CLEAR AND GRADE THE SITE, STOCKPILE TOPSOIL, INSTALL DOUBLE ROW OF SILT FENCE AROUND STOCKPILE AREAS.
5. CONSTRUCT DETENTION BASIN AND TEMPORARY SEDIMENT TRAP. DETENTION BASIN TO ACT AS A TEMPORARY SEDIMENT TRAP FOR CONSTRUCTION. REMOVE ACCUMULATED SEDIMENT IN BASIN WHEN IT REACHES SIX INCHES IN DEPTH.
6. CONTINUE EARTHWORK, PLACE TOPSOIL, SEED AND MULCH ON DISTURBED AREAS THAT ARE PROPOSED TO BE BUILT UP.
7. CONSTRUCTION STAKEOUT OF ROAD AND UTILITIES.
8. ROUGH GRADE THE ROAD AND SHOULDER AREAS.
9. PROPOSED SANITARY SEWER MAINS AND WATER MAINS TO BE INSTALLED TO A POINT 10' BEHIND CURB.
10. INSTALL STORM DRAINAGE SYSTEM. INSTALL GAS AND WATER MAINS AND SERVICE LATERALS TO A POINT 10' BEHIND CURB.
11. INSTALL GRAVEL BASE FOR ROAD AND BITUMINOUS CONCRETE BINDER PAVEMENT.
12. INSTALL CONCRETE SIDEWALK AND BITUMINOUS CONCRETE CURB.
13. INSTALL SITE LIGHTING.
14. CONSTRUCT FINAL LANDSCAPING PLAN. PLACE TOPSOIL, SEED, FERTILIZER AND MULCH IN ACCORDANCE WITH THE PERMANENT SEEDING SCHEDULE ON ALL DISTURBED AREAS.
15. INSTALL WEARING SURFACE OF BITUMINOUS CONCRETE PAVEMENT.
16. THE EROSION CONTROL MEASURES OF THE TOWN OF BERLIN ENFORCEMENT OFFICER, EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED FOLLOWING STABILIZATION OF THE SITE.

Area To Be Seeded	Mixture Number ¹	
	Mowing Desired	Mowing Not Req.
BORROW AREAS, ROADSIDE, DIKES, LEAVES, POND BANKS AND OTHER SLOPES AND BANKS		
A) Well or excessively drained soils ²	1,2,3,4,5, or 8	5,6,7,8,9,10,11
B) Somewhat poorly drained soils ²	2	12,16, 22
C) Variable drainage soils ²	2	5,6
		5,6,11
DRAINAGE DITCH AND CHANNEL BANKS		
A) Well or excessively drained soils ²	1,2,3 or 4	9,10,11,12
B) Somewhat poorly drained soils ²	2	
C) Variable drainage soils ²	2	
DIVERSIONS		
A) Well or excessively drained soils ²	2,3 or 4	9,10,11
B) Somewhat poorly drained soils ²	2	
C) Variable drainage soils ²	2	
GULLIED AND ERODED AREAS		3,4,5,8,10,11,12
SLOO WATERWAYS AND SPILLWAYS	1,2,3,4,6,7, or 8	1,2,3,4,6,7, or 8
SUNNY RECREATION AREAS (Picnic areas and playgrounds or driving and archery ranges, nature trails)	1,2, or 22	
LAWNS AND HIGH MAINTENANCE AREAS	1,10, 22 or 23	

1 The numbers following in these columns refer to seed mixtures in **Figure PB-3**. Mixes for shady areas are in **bold-italics** print (including mixes 20 through 24)

Diagram illustrating a temporary diversion channel and culvert structure. The diagram shows a cross-section of a channel bed with a culvert structure. Labels include:

- PROPOSED TEMPORARY DIVERSION CHANNEL
- TEMPORARY CULVERT ON TEMPORARY DIVERSION CHANNEL BED
- 8' MIN

NOTES:

1. PIPE SHOULD EXTEND BEYOND THE ROADWAY.
2. ROADWAY SHOULD BE DEPRESSED OVER THE CULVERT TO ALLOW FOR OVERFLOW.
3. CLEAN ROCK FILL SHALL BE USED GUARD AGAINST EROSION AND SEDIMENTATION.
4. MINIMUM CULVERT SIZE IS 12 INCHES.
5. APPROACHES TO CROSSINGS ARE NOT TO EXCEED 6 INCHES ABOVE ORIGINAL GRADE.

N.T.S

N.T.S

NOTES:

1. PLACE 15 INCH DIAMETER PERFORATED HDPE PIPE AND CRUSHED STONE BELOW TRENCH BOTTOM AHEAD OF WORK AREA. SET INTAKE OF PUMP INSIDE PIPE AND DEWATER TRENCH.
2. DISCHARGE MUDDY WATER TO OUTLET PROTECTION OF A DIRT BAG, TANK TRUCK, PUMP OUTLET BARREL, SETTLING BASIN OR OTHER APPROVED OUTLET. DO NOT DISCHARGE MUDDY WATER TO THE ROAD GUTTER, STORM DRAINAGE SYSTEM, WETLANDS OR STREAMS.
3. MAINTAIN INLET PER SECTION 5-13 DEWATERING OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL.

N.T.S.

NOTES

1. PERVIOUS STONE DIKE SHALL BE CONSTRUCTED OF CT	H (1.1)	W (2.0)
DO MODIFIED RIPRAP WITH #3 STONE ON FACE.	1.5	2.5
2. NON-OVERFLOW PORTIONS AND ABUTMENTS OF	2.0	2.0
TEMPORARY SEDIMENT TRAPS MAY BE CONSTRUCTED	2.5	2.5
OR COMPACTED EARTHILL.	3.0	3.0
3. SEDIMENT TRAP SHALL HAVE A STORAGE VOLUME OF	3.5	3.5
134 CUBIC YARDS PER CONTRIBUTING DRAINAGE AREA,	4.0	4.0
HALF OF WHICH SHALL BE IN THE FORM OF WET	4.5	4.5
STORAGE VOLUME.	5.0	5.0

N.T.S.

A schematic diagram of a vegetative filter structure. It shows a rectangular area defined by wooden stakes. Inside this area, there is a layer of modified riprap (labeled 'ONE LAYER OF MODIFIED RIPRAP CT DGT M-12-02') with a row of haybales embedded along the top edge. A support hose is shown on the left, connected to a discharge hose from a dewatering pump. Arrows on the right indicate the overflow discharge or other stable outlet.

Labels in the diagram include:

- ONE ROW OF HAYBALES EMBEDDED AND STAKED
- WOODEN STAKES
- ONE LAYER OF MODIFIED RIPRAP CT DGT M-12-02
- SUPPORT HOSE ON HAYBALE
- DISCHARGE HOSE FROM DEWATERING PUMP
- OVERFLOW DISCHARGE TO VEGETATIVE FILTER OR OTHER STABLE OUTLET

N.T.S.

CHANNEL IDENTIFICATION	SHAPE	SIDE SLOPES	DESIGN SLOPE (%)	BOTTOM WIDTH (ft.)	DESIGN DISCHARGE (cfs)	DESIGN VELOCITY (fps)	CALCULATED FLOW DEPTH (ft.)	DESIGN DEPTH (ft.) (D)	PROPOSED LINING TYPE
TEMPORARY DIVERSION	TRAP.	2:1	5.0 (MAX.)	2.0	7.90 (MAX.)	3.90 (MAX.)	0.62	1.12	NORTH AMERICAN GREEN SC150

N.T.S.

BECKLEY FARMS
PHASE 5 REDESIGN
BECKLEY ROAD
TOWN OF BERLIN
STATE OF CONNECTICUT

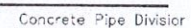
Designed	RHR	CAD File	DN10108605.dwg	Sheet No.
Drawn	RHR	Project No.	11-113	
Checked	JW/REM	Date	2/22/18	
Approved	JW/REM	Scale	AS NOTED	

DN-5



Plasticity index (p) less than or equal to 10 and a liquid limit less than or equal to 40, reinforced back fill shall be placed and compacted in lifts not exceeding 8 inches. Reinforced back fill shall be compacted to 95 percent of the maximum density as determined by ASTM-1557. The moisture content of the back fill material prior to and during compaction shall be within 2 percentage points of dry optimum.

If conditions are different than those stated in these drawings and specifications, the contractor must contact the engineer prior to proceeding with the construction of the slope.



IF CONDITIONS ARE DIFFERENT THAN THOSE STATED IN THESE DRAWINGS AND SPECIFICATIONS, THE CONTRACTOR MUST CONTACT THE ENGINEER PRIOR TO PROCEEDING WITH THE CONSTRUCTION OF THE SLOPE.



STORMCEPTOR STC 2400
N.T.S.

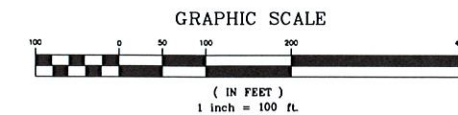
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Planning & Zoning Department
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BECKLEY FARMS DEVELOPMENT AN AGE RESTRICTED COMMUNITY

BECKLEY ROAD TOWN OF BERLIN STATE OF CONNECTICUT

Designed	RHR	CAD File/overall Site Plan: OSP-1.dwg	Sheet No.
Drawn	RHR	Project No.	11-1173
Checked	JW/REM	Date	8/16/19
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