



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

 FILE COPY

Town of Berlin
Received

JAN 07 2021

Planning & Zoning Department
Berlin, Connecticut

SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: Murphy Road Recycling Building Addition

Property Owner(s): Christian Lane Realty, LLC.

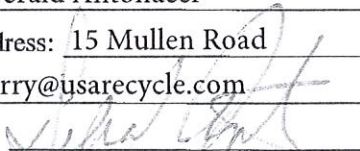
Project Address*: 655 Christian Lane

| | | | | |
|-----------------|-------------------|----------------|--------------------|-------------------------|
| Map: <u>3-4</u> | Block: <u>76A</u> | Lot: <u>1C</u> | Zone(s): <u>GI</u> | Lot Area: <u>5.4 ac</u> |
| <u>3-2</u> | <u>76A</u> | <u>1B</u> | <u>GI</u> | <u>1.26 ac</u> |
| | | | | <u>6.66 ac total</u> |

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☒ Property is within 500 feet of a Municipal Boundary of New Britain
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

| | |
|--|--|
| Name: <u>Gerald Antonacci</u> | Firm Name: <u>Christian Lane Realty, LLC.</u> |
| Street Address: <u>15 Mullen Road</u> | City: <u>Enfield</u> ST: <u>CT</u> Zip: <u>06082</u> |
| Email: <u>jerry@usarecycle.com</u> | Phone: <u>(860) 729-0601</u> |
| Signature:  | Date: <u>January 7, 2021</u> |

Property Owner(s) Information (If Not the Applicant)

| | |
|--|--|
| Name: <u>Christian Lane Realty, LLC.</u> | Principal: <u>Gerald Antonacci</u> |
| Street Address: <u>15 Mullen Road</u> | City: <u>Enfield</u> ST: <u>CT</u> Zip: <u>06082</u> |
| Email: <u>jerry@usarecycle.com</u> | Phone: <u>(860) 729-0601</u> |

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

JAN 07 2021

Planning & Zoning Department
Berlin, Connecticut

This Site Plan Involves:

☒ Additions ☐ Alterations ☐ Demolition ☐ New Construction

Description of Project*: Application to construct a 36,900 sf building addition, truck scale house at the applicant's existing recycling facility located at 655 Christian Lane. The two subject parcels identified on page 1 of this application will be merged.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

| | <u>EXISTING</u> | <u>PROPOSED</u> | <u>REQUIRED</u> |
|--------------------|-----------------|-----------------|-----------------|
| USE(S) | | | |
| | | | |
| | | | |
| COMMERCIAL | | | |
| Gross Floor Area | | | |
| Parking Spaces | | | |
| INDUSTRIAL | | | |
| Gross Floor Area | 72,133 s.f. | 109,033 s.f. | |
| Parking Spaces | 29 | 29 | see narative |
| RESIDENTIAL | | | |
| Number of Units | | | |
| Number of Bedrooms | | | |
| Gross Floor Area | | | |
| Parking Spaces | | | |
| OTHER USES | | | |
| Gross Floor Area | | | |
| Parking Spaces | | | |

To be completed by P&Z staff only:

Fee Paid \$ 310.- (Refer to current Fee Schedule) #6637

Received by: JMS

JAN 07 2021Planning & Zoning Department
Berlin, Connecticut **FILE COPY****STATEMENT OF USE**

PROJECT DESCRIPTION

The project site is an existing recycling facility located on the west side of Christian Lane (#655). The site contains 6.6 acres and is in the General Industrial (GI) zone. The Amtrak rail line runs along the western property line of the site. The applicant is proposing site improvements to construct a 36,900 square foot building addition and install an outbound truck scale with associated scale house. The existing impervious coverage on the site is 77% and will remain the same with the proposed improvements.

SITE ACCESS AND OFF-STREET PARKING

This parcel's site access drives will remain unchanged and no work is proposed within the Town's ROW. Internal traffic flow will be reversed to accommodate the new outbound truck scale as part of this application therefore, internal entrance and exit signage will be revised and installed to inform drivers of these on-site modifications. The proposed building addition is to be used for recycling and processing equipment and will not increase the number of employees currently at this facility so parking will remain unchanged for this project. Since our approved use within the GI zone is not specifically listed within the parking calculations for industrial uses under Sec. IX.B.5.d of the Regulations we anticipate we fall under Sec. IX.B.5.e of the Regulations and anticipate our request to not increase the current number of on-site parking spaces will require a determination by the Commission.

SITE DRAINAGE & STORMWATER MANAGEMENT

The proposed building will eliminate the need for the two 8" diameter pipe connections and these will be abandoned. The existing catch basin will remain to collect any stormwater on the pavement south of the building. The stormwater from the roof of the proposed addition will be collected and roof leaders will connect to the existing storm piped systems at the north and south of the building, in the same manner as the paved area drains.

The building addition is proposed on an area that is currently 100% paved, therefore the stormwater flows and their discharge location, will be unchanged with the addition of the building. With the addition of the building, the proposed stormwater will now fall onto a roof instead of a bituminous storage/truck loading area and this will eliminate the potential introduction of pollutants that may be encountered on the paved surface and improve the quality of stormwater runoff discharged to the existing system.

UTILITY IMPACT NARRATIVE

The proposed improvements will be utilizing existing utilities which are located within Christian Lane and currently service the subject property.

Water Service

Water service will remain connected to an existing water main located on Christian Lane. Based upon the water service location depicted on the plan there is no off-site disturbance anticipated within the Town's R.O.W. as part of this project and any modifications to the existing service will be minor in nature and addressed at the time of building permit application.

Sanitary Sewer Service

Sanitary Sewer service will remain connected to an existing sewer main located on Christian Lane. Based upon the sewer service location depicted on the plan there is no off-site disturbance anticipated within the Town's R.O.W. as part of this project. No increasing to sewer flow are anticipated from the site based upon the proposed building addition.

Electric Service

Electric service improvements and upgrades that will be required for the proposed building addition, truck scale and scale house will be connected to existing on site services. No off-site disturbance is anticipated within the Town's R.O.W. as part of this service connection.

LANDSCAPING BUFFERS & SCREENING

Site landscaping will be adjusted along the north side of the property where existing arborvitaes serve as a landscaping buffer along the northern access. Several of these trees will need to be relocated for the proposed scale house and will be relocated or replaced in kind to assure the same coverage and aesthetics as the existing landscape buffer. No other modifications to the existing vegetation are proposed at this time.

EROSION & SEDIMENT CONTROL PLAN

The potential impact of the project on the surrounding areas is related to the temporary transport of soils and sediments associated with the future construction phases of the project. The impact of the project on the surrounding areas will be controlled as follows:

1. Erosion and sediment control measures shall be installed at the project site prior to construction.
2. Since the site is entirely paved and the improvements are anticipated to yield minimal site disturbance related only to foundation excavation, an Anti-Tracking Apron is not proposed at this time. If the transport of sediments off the construction site by truck and construction equipment traffic become troublesome, a tracking pad will be installed at the entrance to the construction site to prevent such transport.

3. Existing and proposed catch basins within the project area will be protected with silt sacks throughout the construction period. These controls shall remain in place until the areas disturbed during the construction phase are stabilized.
4. An erosion control system shall be installed around all on-site stockpiles of soil.
5. Dust control measures shall be applied throughout the construction period and until all disturbed areas have been stabilized.

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Berlin, Connecticut**

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Berlin, Connecticut

Drainage Summary Report
Christian Lane Realty/Murphy Road Recycling – Proposed Building Addition
655 Christian Lane, Kensington, CT
January 6, 2021

PROJECT DESCRIPTION

The project site is an existing recycling facility located on the west side of Christian Lane (#655). The site contains 6.6 acres and is in the General Industrial (GI) zone. The Amtrak rail line runs along the western property line of the site. The applicant is proposing site improvements to construct a 36,900 square foot building addition and install an outbound truck scale with associated scale house. The existing impervious coverage on the site is 77% and will remain the same with the proposed improvements. Stormwater on the site is collected by a series of catch basins which drain to an existing detention area in the southwest corner of the parcel.

EXISTING CONDITIONS

The area of the site where the building addition is proposed is currently paved with bituminous concrete, or existing canopy or portion of the existing buildings that will be demolished and removed. This area currently includes a truck loading area, material storage areas and residue containers and compactor. The proposed addition will allow these activities to be in an enclosed building rather than in an open outdoor area.

This paved area currently drains overland to an existing catch basin on the south side of the property which is piped to the west and outlets into the existing detention area. There are also two 8" diameter pipes that collect stormwater from this area and they also outlet to the detention area.

PROPOSED CONDITIONS

The proposed building will eliminate the need for the two 8" diameter pipe connections and these will be abandoned. The existing catch basin will remain to collect any stormwater on the pavement south of the building. The stormwater from the roof of the proposed addition will be collected and roof leaders will connect to the existing storm piped systems at the north and south of the building, in the same manner as the paved area drains.

The building addition is proposed on an area that is currently 100% paved, therefore the stormwater flows and their discharge location, will be unchanged with the addition of the building. With the addition of the building, the proposed stormwater will now fall onto a roof instead of a bituminous storage/truck loading area and this will eliminate the potential introduction of pollutants that may be encountered on the paved surface and improve the quality of stormwater runoff discharged to the existing system.

The area of the proposed building roof (and the existing bituminous pavement) = 36,900 SF. The 10
 Year Peak Flow is:

Area= 0.847 acres;

C= 0.9;

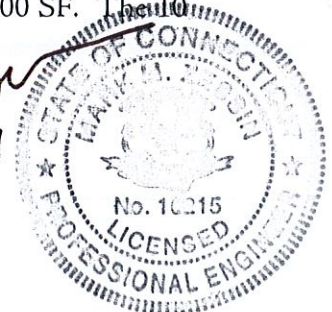
TC= 5 min.;

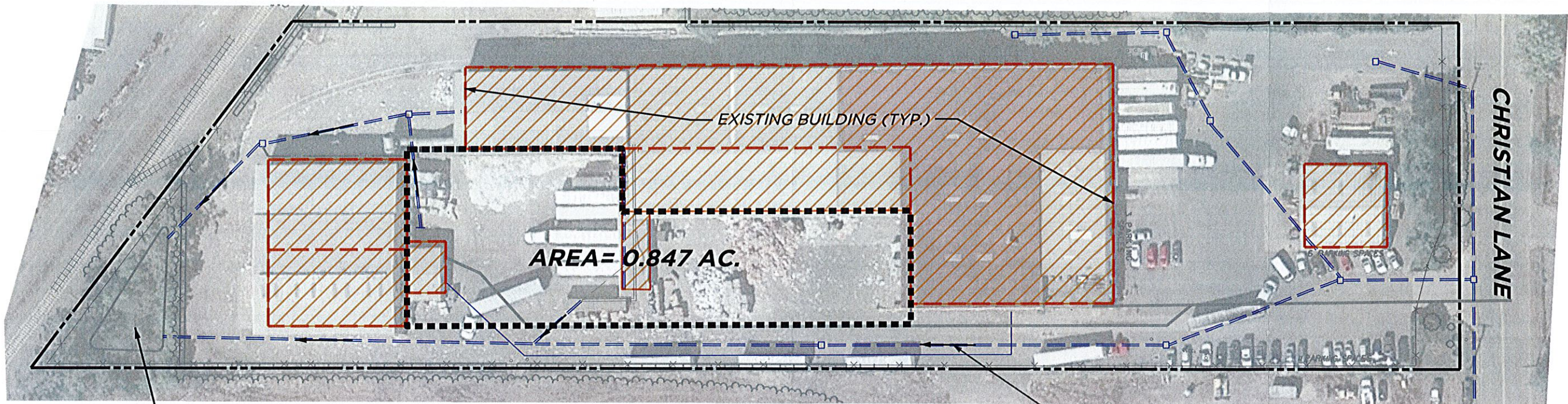
I10 (NOAA)= 7.50

Q10= $0.847 \times 0.90 \times 7.50 = 5.7$ CFS

The existing storm drainage pipes on the site currently carry this flow and are adequate.

Mark M. Jr.
1/7/21

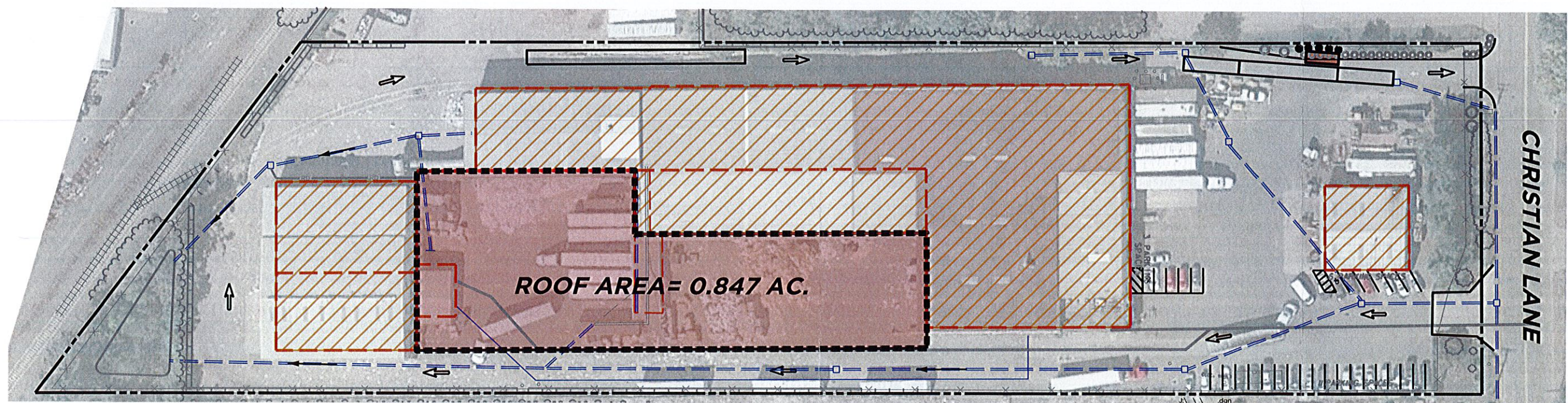




EXISTING DETENTION
AREA (TYP.)

EXISTING CONDITIONS

EXISTING STORM
DRAINAGE (TYP.)

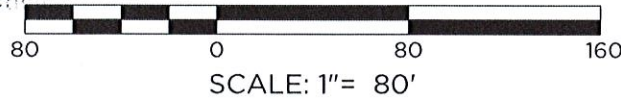


PROPOSED CONDITIONS

Town of Berlin
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JAN 07 2021

Planning & Zoning Department
Berlin, Connecticut



41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-8770
Fax: (860) 633-5971
www.bandlct.com

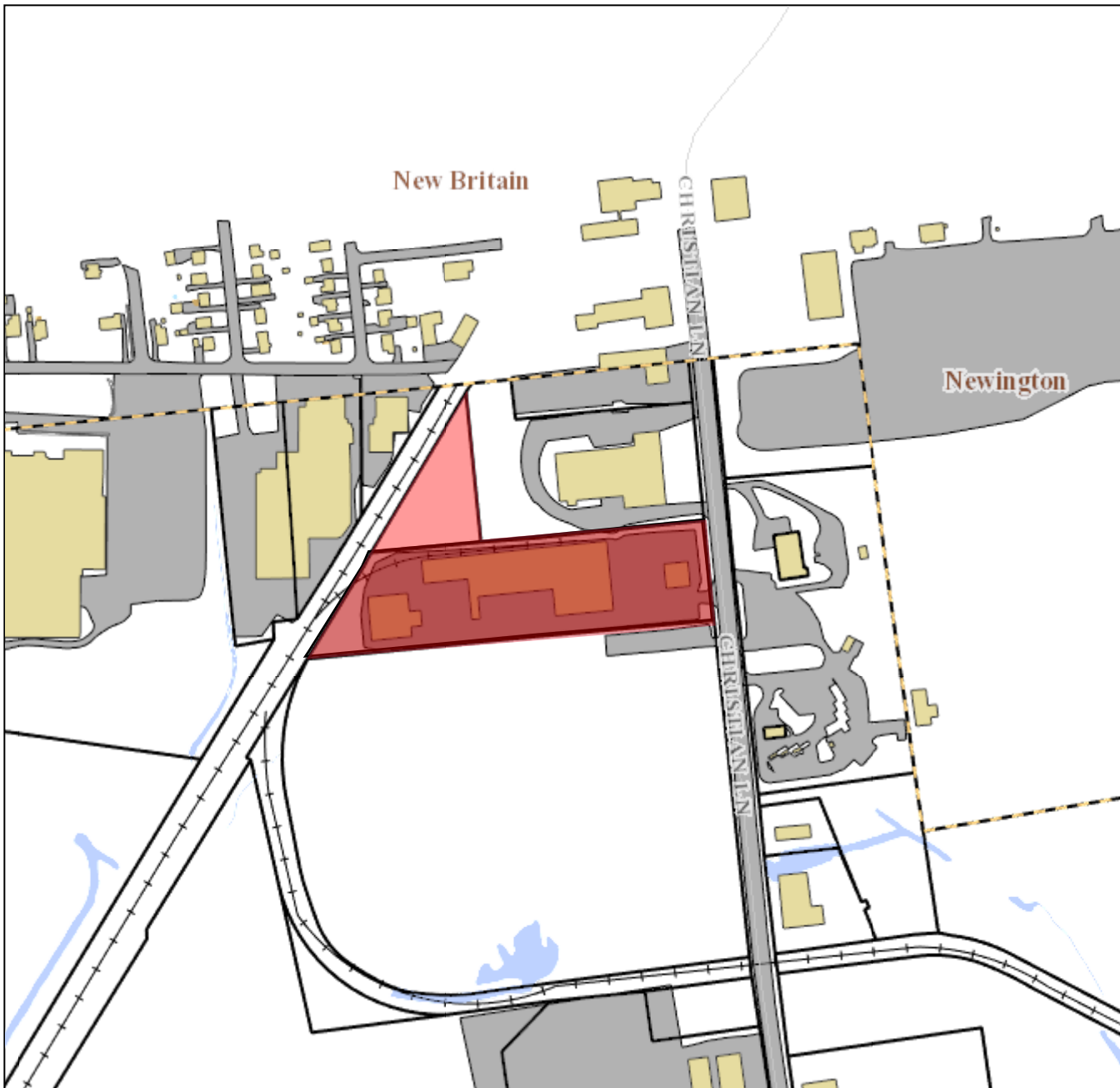
| | | | |
|---|-----|--|----------|
| Civil Engineering • Environmental Consulting • Land Surveying • Construction Management | | | |
| PROJ. ENGINEER | DPL | WATERSHED PLAN PREPARED FOR CHRISTIAN LANE REALTY/MURPHY ROAD RECYCLING REGIONAL RECYCLING FACILITY 655 CHRISTIAN LANE KENSINGTON, CT | |
| PROJ. MANAGER | MMZ | | |
| OFFICE REVIEW | KRG | | |
| REVISIONS | | PROJECT | DATE |
| | | 285-115 | 01/06/21 |
| SCALE: 1"= 80' | | SHEET NO. | 1 OF 1 |

Town of Berlin

Geographic Information System (GIS)



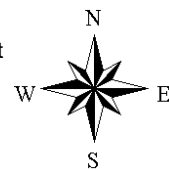
Date Printed: 1/13/2021



MAP DISCLAIMER - NOTICE OF LIABILITY

This map is for assessment purposes only. It is not for legal description or conveyances. All information is subject to verification by any user. The Town of Berlin and its mapping contractors assume no legal responsibility for the information contained herein.

Approximate Scale: 1 inch = 400 feet



Town of Berlin

Department of Economic Development

January 20, 2021

Zoning Board of Appeals
Town of Berlin
240 Kensington Road
Berlin, CT 06037

Dear Commission Members:

I am writing today in support of Murphy Road Recycling, which operates a facility at 655 Christian Lane in Berlin. This firm has been operating there for over 10 years and processes all of the curbside recycling for all of Berlin as well as surrounding communities.

As their business and the technology to run it has changed, opportunity has come about. This opportunity comes in the form of a \$25,000,000 piece of equipment that will allow them to better manage, sort and reuse materials that we toss to the curb. In addition to this large investment, they will be expanding their footprint by over 36,000 square feet as well as creating jobs. The benefit to the Town is great.

At its January 4th meeting, the Economic Development Commission unanimously supported the variance for the additional 3% of coverage for this expansion. Due to the location in our heavy industrial (GI) zone and the inability to expand in any direction, this makes sense for Murphy Road Recycling and the Town of Berlin.

I would ask for your support of this variance as it will help a local firm grow, add new machinery to the tax rolls and create employment for our residents.

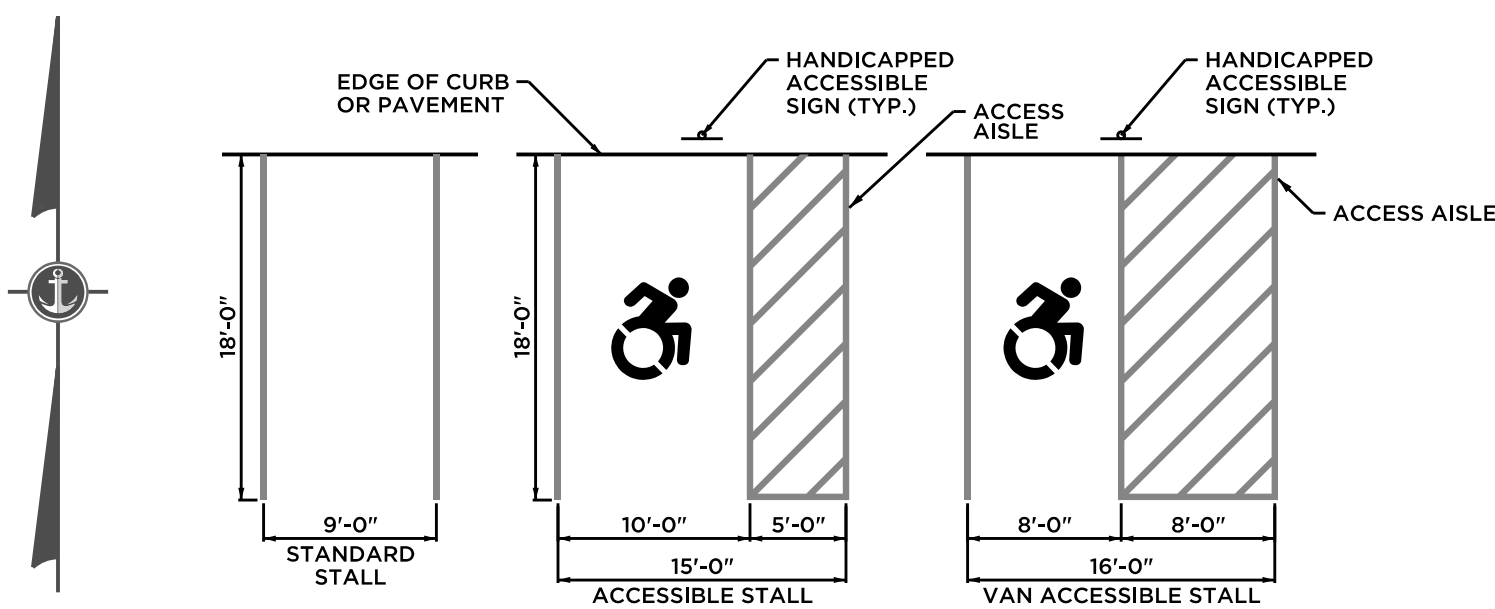
Thank you very much for your time this evening !

Sincerely,



Christopher Edge
Economic Development Director

Visit our Web Site <http://www.town.berlin.ct.us>



PARKING STALL DETAILS

NOT TO SCALE

GENERAL NOTES:

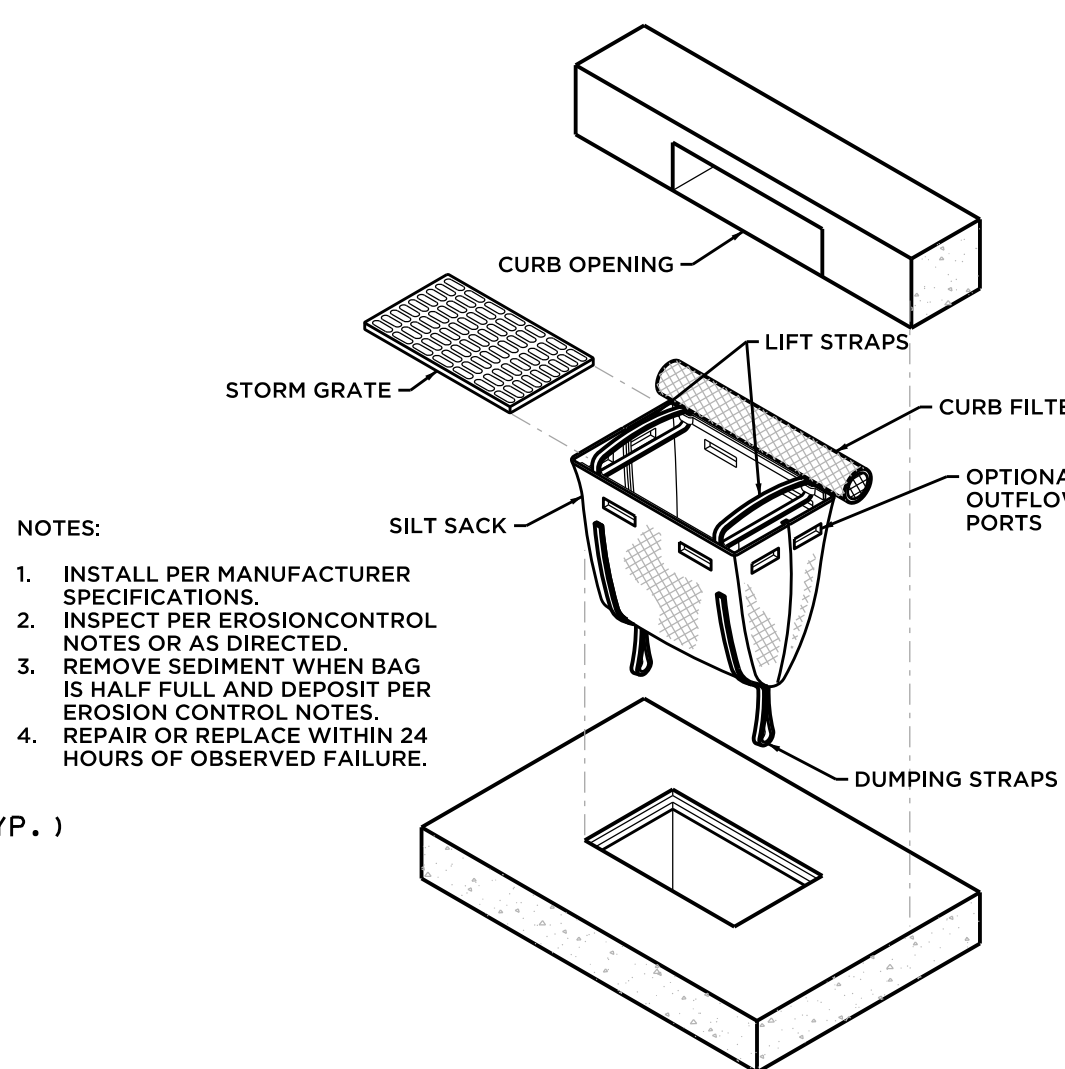
- ACCESS AISLES SHALL ADJOIN AN ACCESSIBLE ROUTE.
- ACCESS AISLES (CROSS HATCH) SERVING CAR PARKING SPACES SHALL BE 60 INCHES (1525 mm) MINIMUM IN WIDTH. ACCESS AISLES SERVING VAN PARKING SPACES SHALL BE 96 INCHES (2440 mm) MINIMUM IN WIDTH. TWO PARKING SPACES SHALL BE PERMITTED TO SHARE A COMMON ACCESS AISLE. IF A CAR AND A VAN SPACE SHARE A COMMON ACCESS AISLE, THAT AISLE SHALL BE 96 INCHES MINIMUM IN WIDTH.
- PARKING SPACES MAY HAVE ACCESS AISLES PLACED ON EITHER SIDE OF THE CAR OR VAN PARKING SPACE. VAN PARKING SPACES THAT ARE ANGLED SHALL HAVE ACCESS AISLES LOCATED ON THE PASSENGER SIDE OF THE PARKING SPACE.
- ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY ABOVE GRADE SIGNS IN ACCORDANCE WITH DETAILS.

HANDICAP SIGN

NOT TO SCALE



RESERVED PARKING PERMIT REQUIRED VAN ACCESSIBLE VIOLATORS WILL BE FINE \$100



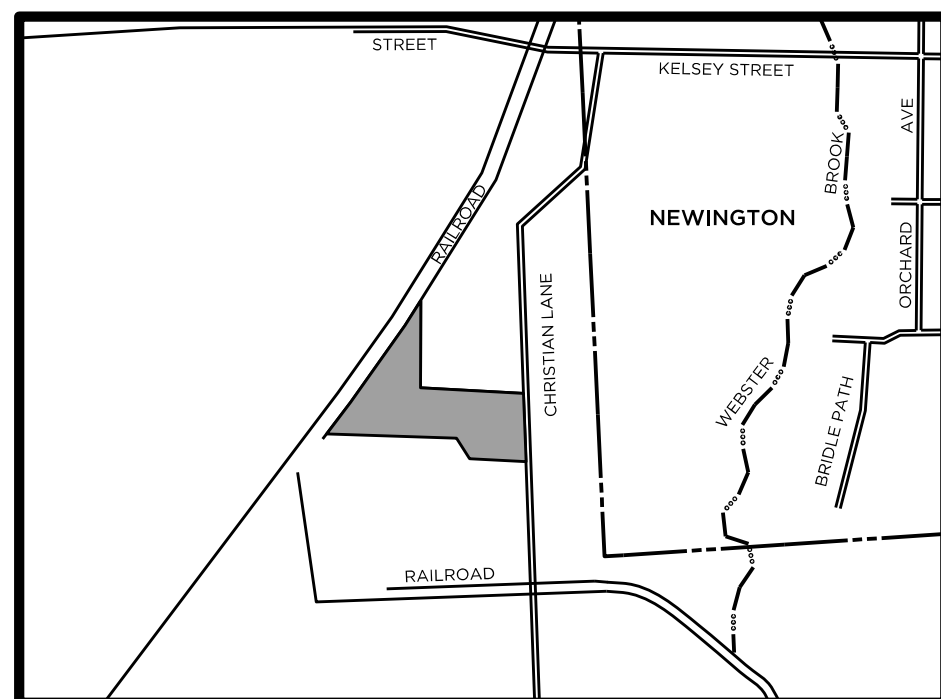
- NOTES:
- INSTALL PER MANUFACTURER SPECIFICATIONS.
 - INSPECT PER EROSION CONTROL NOTES OR AS DIRECTED.
 - REMOVE SEDIMENT WHEN BAG IS HALF FULL AND DEPOSIT PER EROSION CONTROL NOTES.
 - REPAIR OR REPLACE WITHIN 24 HOURS OF OBSERVED FAILURE.

INLET SEDIMENT CONTROL DEVICE

NOT TO SCALE

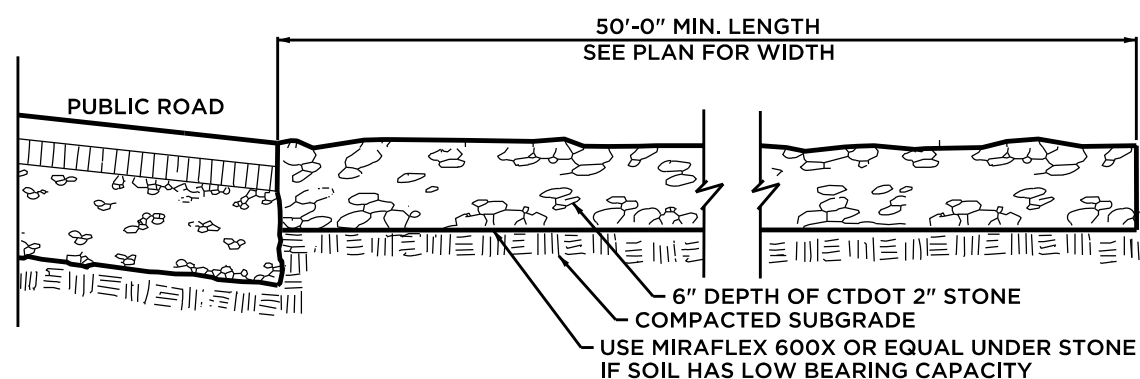
| ZONING COMPLIANCE TABLE | | | |
|-------------------------------|------------------------------------|----------------------|---------------------|
| ZONE: GENERAL INDUSTRIAL (GI) | | | |
| | SEC. VIIL AREA & BULK REQUIREMENTS | EXISTING CONDITIONS | PROPOSED CONDITIONS |
| LOT SIZE | 0.5 ACRES | 288,532 SF (6.62 AC) | --- |
| FRONT YARD | 30' | 51' | 51' |
| SIDE YARD | 25' | 30' | 30' |
| REAR YARD | 25' | 67' | 46' |
| PARKING/LOADING SETBACK | 5' | 5' | 5' |
| MAX. BLDG HGT. | 3 STORIES | 2 STORIES | 3 STORIES (MAX.) |
| MAX. BLDG COVERAGE | 45' | 30' +/- | 45' (MAX.) |
| MAX. IMPERVIOUS COVERAGE | 35% (100,986 SF) | 25% (72,133 SF) | 38% (109,033 SF) ① |
| MIN. LOT WIDTH | 100' | 250' | 250' |
| MAX. FLOOR AREA RATIO | 0.40 | 0.25 | 0.38 ② |
| DETACHED ACCESSORY BLDG. | | | (SCALE HOUSE) |
| FRONT YARD | 30' | - | >100' |
| SIDE YARD | 5' | - | 5.5' |
| REAR YARD | 15' | - | >700' |

- PROPOSED BUILDING ADDITION EXCEEDS THE ALLOWABLE BUILDING AREA SET FORTH IN THE ZONING REGULATIONS BY APPROXIMATELY 8,000 SQ. FT.
- FLOOR AREA RATIO (F.A.R.) CALCULATIONS BASED UPON PROPERTY CARD FLOOR AREAS INCLUDING A 2ND FLOOR AREA OF 1,104 SF.



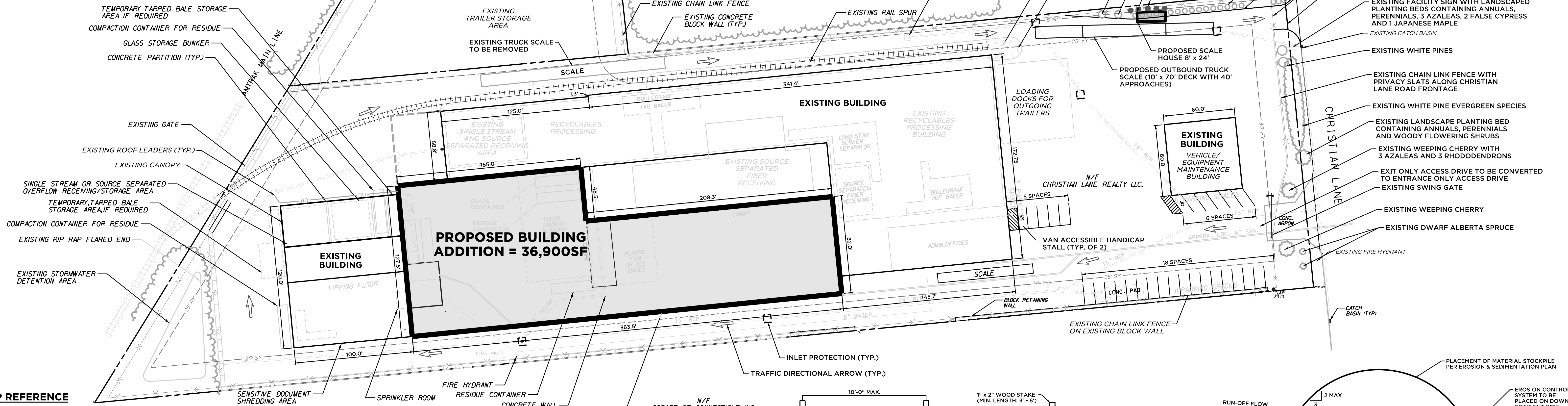
SITE LOCATION MAP

SCALE= 1"= 1000'



ANTI-TRACKING PAD DETAIL

NOT TO SCALE



MAP REFERENCE

- RECORD SITE PLAN PREPARED FOR RAA REGIONAL PAPER & CARDBOARD RECYCLING FACILITY, 655 CHRISTIAN LANE, KENSINGTON, CT, SCALE 1"=40', 8/19/03, SHEET NUMBER 1 OF 1, PROJECT NUMBER 321-16 BY ANCHOR ENGINEERING SERVICES, INC.
- SITE PLAN PREPARED FOR RESOURCE RECOVERY SYSTEMS, INC., KENSINGTON, CT, SCALE 1"=40', NOVEMBER 19, 1996, SHEET NUMBER 1 OF 1 IDENT. NO. M585-1A, ROBERT C. SUMON - LICENSED LAND SURVEYOR OF OLD SAYBROOK, CT.
- SITE PLAN, AUTOMATED MATERIALS HANDLING CO., KENSINGTON, CT, SCALE 1"=40', 11/20/96, SHEET NO. 1 OF 1 IDENT. NO. M585 BY DOANE ENGINEERING COMPANY OF CENTERBROOK, CT.
- SITE PLAN PREPARED FOR AUTOMATED MATERIALS HANDLING CO., KENSINGTON, CT, SCALE 1"=40', 3/25/98, SHEET NO. 1 OF 1 IDENT. NO. M585-5 BY DOANE ENGINEERING COMPANY OF CENTERBROOK, CT.
- SITE PLAN, LAND OF AUTOMATED SALVAGE TRANSPORT INC., BERLIN, CT, SCALE 1"=40', 11/26/93, SHEET NO. 1 OF 1 BY DOANE ENGINEERING COMPANY OF CENTERBROOK, CT.
- SITE PLAN PREPARED FOR RESOURCE RECOVERY SYSTEMS, INC., KENSINGTON, CT, SCALE 1"=40', NOV. 19, 1996, SHEET NO. 1 OF 1 IDENT. NO. M583-1A ROBERT C. SUMON - LICENSED LAND SURVEYOR OF OLD SAYBROOK, CT.
- AS-BUILT 655 CHRISTIAN LANE, INTERMEDIATE PROCESSING CENTER, BERLIN, CT, SCALE 1"=40', JOB NO. A-398-1, SHEET NO. 1, FILE 91623, CLASS A-2 SURVEY BY SCHULL ASSOCIATES INC. OF WEST HAVEN, CT.
- SITE PLAN PREPARED FOR MURPHY ROAD RECYCLING, LLC., KENSINGTON, CT, SCALE 1"=40', 4/7/8, SHEET 1 OF 1 BY ANCHOR ENGINEERING SERVICES, INC., REVISED THROUGH 9/21/9

NOTES

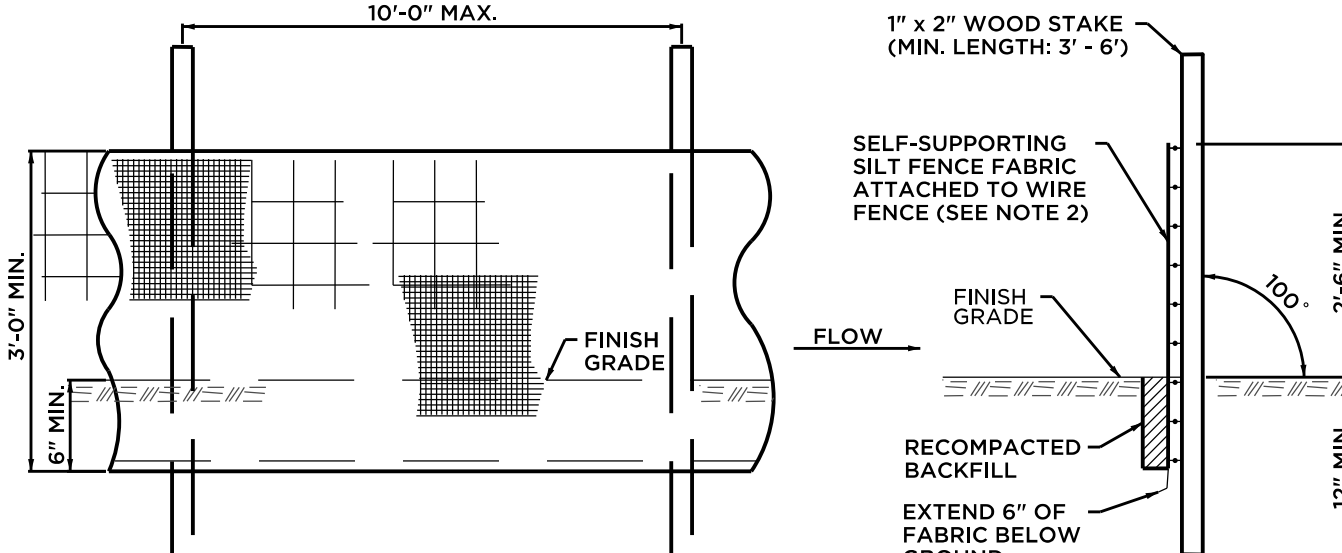
- BUILDINGS, SCALES, EXIT DRIVEWAY, AND SCALE HOUSE AREA ARE BASED UPON A RECORD FIELD SURVEY BY ANCHOR ENGINEERING SERVICES, INC. ON AUGUST 12 AND 13, 2003. ALL OTHER SITE FEATURES SHOWN ARE BASED UPON AND COMPILED FROM EXISTING PLANS BY OTHERS (SEE MAP REFERENCE) AND SITE OBSERVATIONS BY BARTON & LOGUIDICE, LLC. ON DECEMBER, 2020.
- SITE LANDSCAPING WILL BE ADJUSTED ALONG THE NORTH SIDE OF THE PROPERTY WHERE EXISTING ARBORVITAE SERVE AS A LANDSCAPING BUFFER ALONG THE NORTHERN ACCESS. SEVERAL OF THESE TREES WILL NEED TO BE RELOCATED FOR THE PROPOSED SCALE HOUSE AND WILL BE RELOCATED OR REPLACED IN KIND TO ASSURE THE SAME COVERAGE AND AESTHETICS AS THE EXISTING LANDSCAPE BUFFER.
- SINCE OUR APPROVED USE WITHIN THE GI ZONE IS NOT SPECIFICALLY LISTED WITHIN THE PARKING CALCULATIONS FOR INDUSTRIAL USES UNDER SEC. IX.B.5.D OF THE REGULATIONS WE ANTICIPATE WE FALL UNDER SEC. IX.B.5.E OF THE REGULATIONS AND ANTICIPATE OUR REQUEST TO NOT INCREASE THE CURRENT NUMBER OF ON-SITE PARKING SPACES WILL REQUIRE A DETERMINATION BY THE COMMISSION.

EROSION & SEDIMENTATION CONTROL PLAN:

- ALL EROSION AND CONTROL MEASURES WILL BE INSTALLED AT THE PROJECT SITE PRIOR TO CONSTRUCTION WHEREEVER POSSIBLE.
- INSTALL SILT SACKS IN CATCH BASINS AS SHOWN ON PLANS.
- AN EROSION CONTROL SYSTEM SHALL BE INSTALLED AROUND ALL ON-SITE STOCKPILES OF SOIL.
- DUST CONTROL MEASURES SHALL BE APPLIED THROUGHOUT THE CONSTRUCTION PERIOD AND UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED.

SEQUENCE OF CONSTRUCTION

- INSTALL EROSION & SEDIMENT CONTROL MEASURES AS INDICATED. SEE DETAILS.
- REMOVE EXISTING PAVEMENT, WALLS, DRAINAGE, SHRUBS AND BUILDINGS. EXCAVATE FOR FOOTINGS AND FOUNDATION WALLS, AND INSTALL.
- BACKFILL TRENCHES AND FOUNDATION WALLS.
- INSTALL UNDERGROUND UTILITIES AND CONSTRUCT BUILDINGS AND SCALE.
- MAINTAIN ALL SEDIMENT AND EROSION CONTROL MEASURES THROUGHOUT PROJECT DURATION.
- CONSTRUCTION SHALL START IN THE SPRING OF 2021 AND FINISH IN THE FALL OF 2021.



ELEVATION

SECTION

NOTES:

- INSTALL SILT FENCE & WOOD STAKES AS RECOMMENDED BY MANUFACTURER.
- SILT FENCE SUBJECT TO HEAVY LOADS SHALL BE REINFORCED WITH FARM FENCING & STEEL POSTS (0.5 # STEEL/L.F.). THE MINIMUM POST LENGTH SHALL BE 5'-0".
- SILT FENCE FABRIC SHALL BE A PERVIOUS SHEET OF WOVEN PROPYLENE, NYLON, POLYESTER OR POLYETHYLENE FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER.

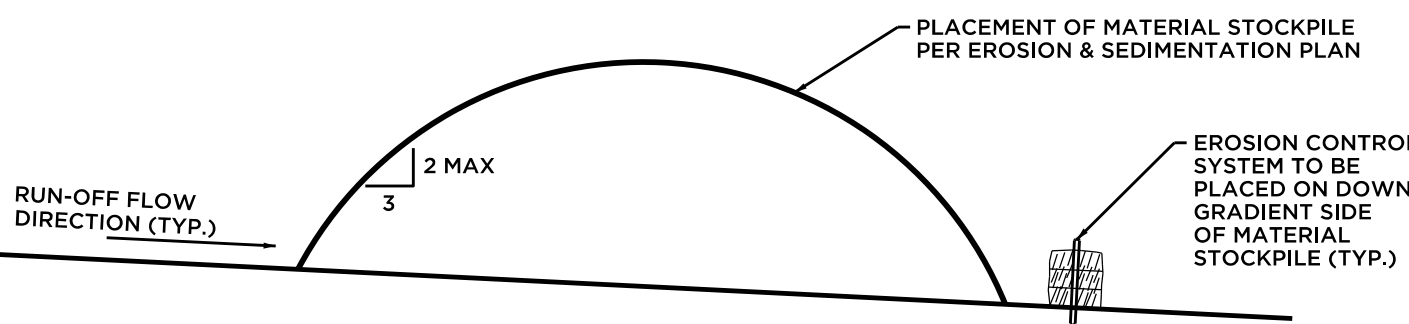
SILT FENCE

NOT TO SCALE



SOIL STOCKPILE DETAIL

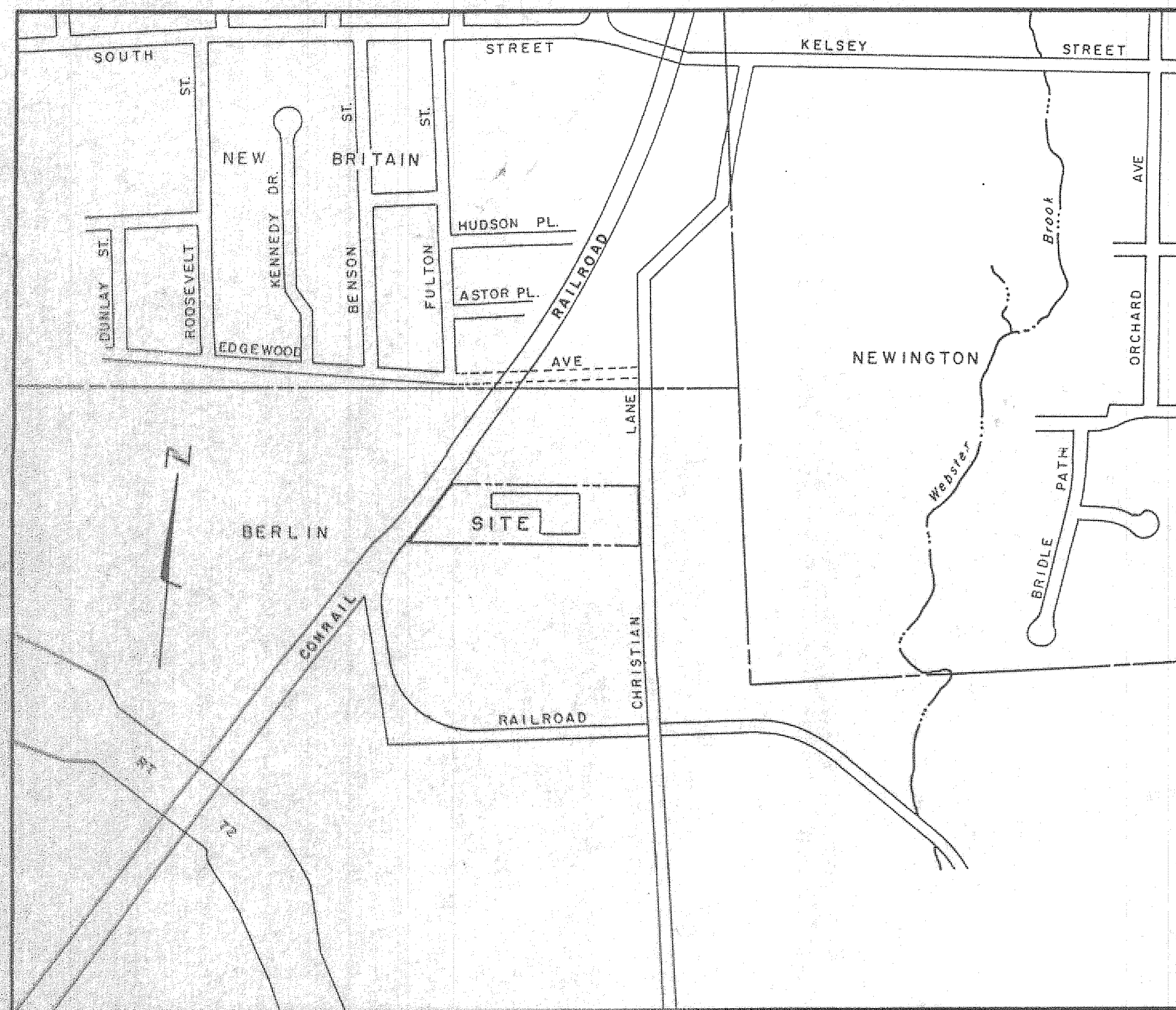
NOT TO SCALE



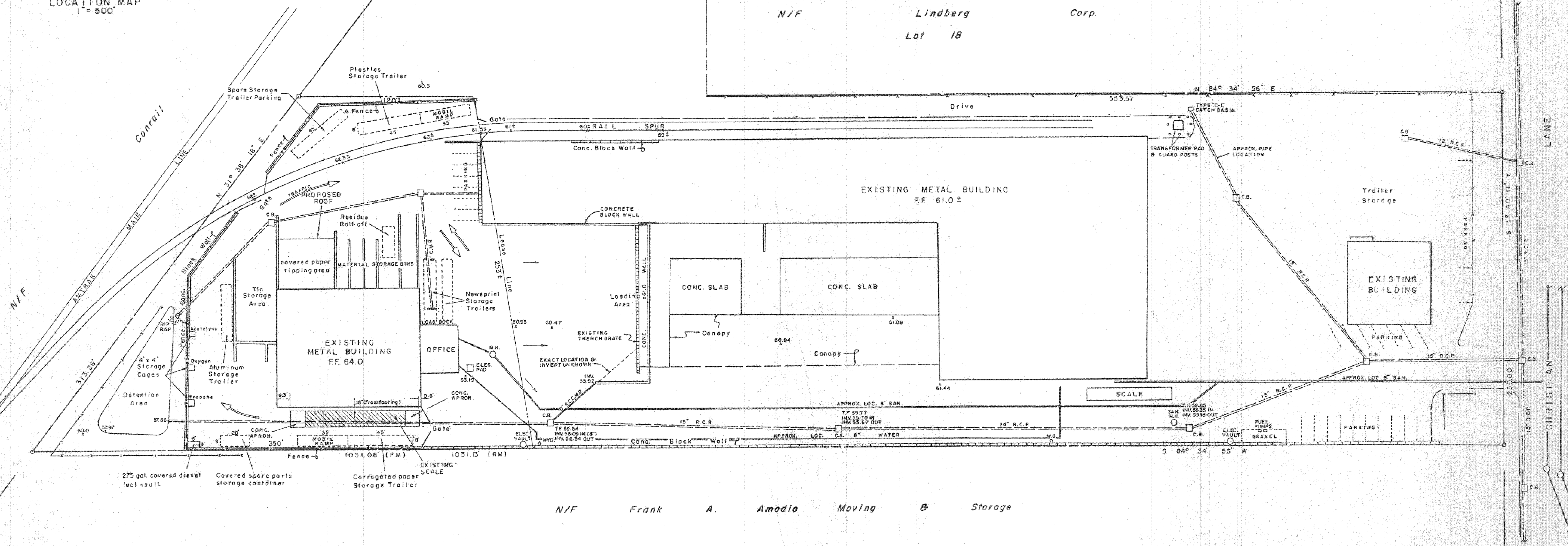
©2020 VSD Design/PLCOT, 655 Christian Lane, Old Saybrook

| ANCHOR | | | |
|------------------------------|-----|---|---|
| a Barton & Loguidice company | | | |
| Civil Engineering | • | Environmental Consulting | • |
| Land Surveying | • | Construction Management | • |
| PROJ. ENGINEER | KRG | SITE PLAN PREPARED FOR CHRISTIAN LANE REALTY/MURPHY ROAD RECYCLING REGIONAL RECYCLING FACILITY | |
| PROJ. MANAGER | MMZ | | |
| OFFICE REVIEW | MMZ | | |
| REVISIONS | | PROJECT | |
| | | DATE | |
| | | SHEET NO. 1 OF 1 | |
| SCALE: 1"= 40' | | PROJECT 285-115 | |
| | | DATE 01/07/21 | |

41 Sequin Drive
Glastonbury, CT 06033
Phone: (860) 633-9770
Fax: (860) 633-5971
www.anchorct.com



LOCATION MAP
1" = 500'



RUNOFF DIRECTION
 EXISTING GRADE
 PROPOSED GRADE
 FM FIELD MEASURED
 RM FROM REFERENCE MAP

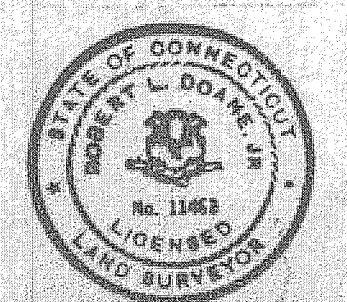
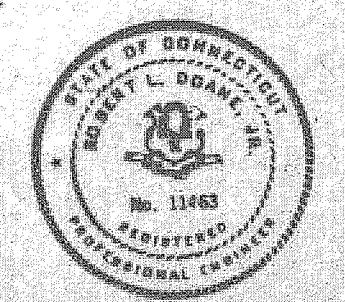
Approved by the Planning Commission of Berlin, Ct.

N/F Frank A. Amodio Moving & Storage

NOTE: THIS PLAN HAS BEEN COMPILED FROM THE REFERENCE MAPS SHOWN HEREON. THE BOUNDARY AND TOPOGRAPHIC INFORMATION IS ESTABLISHED FROM MAP # 2 WHICH MAP IS CERTIFIED CLASS "A-2". THEREFORE THE INFORMATION SHOWN HEREON IS TO "A-2" ACCURACY STANDARDS. HOWEVER, SINCE THIS PLAN WAS COMPILED, IT IS HEREBY CERTIFIED CLASS "D"

I hereby certify that this map and survey was prepared in accordance with the standards of a Class D survey as defined in the Code of Practice for Standards of Accuracy of Surveys and Maps, adopted December 10, 1975 as amended by the Connecticut Association of Land Surveyors, Inc.

ROBERT L. DOANE JR.
CONN. P.E. & L.S. LIC. NO. 11463



Reference is made to the following maps:

- "PROPOSED SIDETRACK TO SERVE AUTOMATED MATERIALS HANDLING CO., KENSINGTON, CT". Date: 12-4-91, Draw: 91-12-01. Prepared by Tracks Unlimited Inc, 1330 North Ave. Plainfield, NJ.
- "AS-BUILT 655 CHRISTIAN LANE INTERMEDIATE PROCESSING CENTER BERLIN, CT". Job #: A-398-1, Sheet: 1, Scale: 1" = 40', File #: 91623, Survey: Class A-2, prepared by Schull Associates, Inc., West Haven, CT 06512
- "SITE PLAN PREPARED FOR RESOURCE RECOVERY SYSTEMS, INC. KENSINGTON, CT". SCALE: 1" = 40', Dated: 11-19-96, prepared by Robert C. Simoni, Old Saybrook, CT 06473

DOANE ENGINEERING COMPANY
CIVIL ENGINEERING & LAND SURVEYING
P. O. BOX 113 • CENTERBROOK, CT. 06409

SITE PLAN
AUTOMATED MATERIALS HANDLING CO.
KENSINGTON, CT

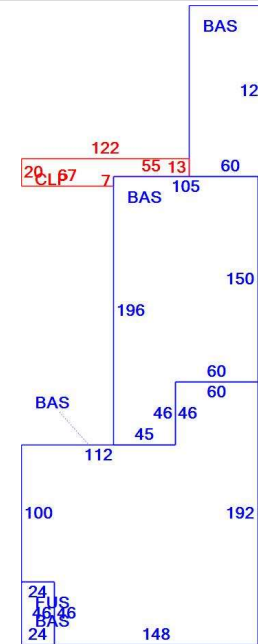
| | | | |
|-------------------|------------------|---------------------|---------------------|
| SCALE 1" = 40' | DATE 11/20/96 | SHEET NO. 1 OF 1 | IDENT. NO. M 585 |
|-------------------|------------------|---------------------|---------------------|

| CURRENT OWNER | | TOPO | | UTILITIES | | STRT / ROAD | | LOCATION | | CURRENT ASSESSMENT | | | | <div>6007</div> <div>BERLIN, CT</div> <div>VISION</div> | | | | | | | | |
|----------------------------------|------------|--|-------------|-------------------|-----------|-------------------------------|------------|--------------------------|------------------------|--|-------|---|-----------|---|-----------------|-----------|----------------------|-----------|------------|---------|---------|-----------|
| CHRISTIAN LANE REALTY LLC | | 1 Level | | 1 All Public | | 1 Paved | | | | Description | Code | Appraised | Assessed | | | | | | | | | |
| | | | | | | | | | | IND LAND | 3-1 | 648,000 | 453,600 | | | | | | | | | |
| | | | | | | | | | | IND BLDG | 3-2 | 1,829,600 | 1,280,800 | | | | | | | | | |
| 15 MULLEN RD | | SUPPLEMENTAL DATA | | | | | | | | | | IND IMPR | 3-3 | 333,400 | 233,400 | | | | | | | |
| ENFIELD CT 06082 | | Alt Prcl ID 03-4 076A 00001C CENSUS 4001 (not used) Medium Incomeexp YES: | | | | Section: W dc CB Letter | | | | | | | | | | | | | | | | |
| | | GIS ID 3-4-76A-1C | | | | Assoc Pid# | | | | <div>Total</div> <div>2,811,000</div> <div>1,967,800</div> | | | | | | | | | | | | |
| RECORD OF OWNERSHIP | | BK-VOL/PAGE | | SALE DATE | | Q/U | | V/I | | SALE PRICE | | VC | | PREVIOUS ASSESSMENTS (HISTORY) | | | | | | | | |
| CHRISTIAN LANE REALTY LLC | | 0585 0198 | | 04-03-2007 | | U I | | | | 4,000,000 | | 27 | | Year | Code | Assessed | Year | Code | Assessed | Year | Code | Assessed |
| AUTOMATED SALVAGE TRANSPORT | | 0585 0197 | | 04-03-2007 | | U I | | | | 0 | | 34 | | 2019 | 3-1 | 453,600 | 2018 | 3-1 | 453,600 | 2017 | 3-1 | 453,600 |
| AUTOMATED SALVAGE TRANSPT INC | | 0332 0892 | | 09-08-1992 | | U I | | | | 800,000 | | | | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 |
| | | | | | | | | | | | | | | | 3-3 | 233,400 | | 3-3 | 233,400 | | 3-3 | 233,400 |
| | | | | | | | | | | | | | | Total | | 1967800 | Total | | 1967800 | Total | | 1967800 |
| EXEMPTIONS | | | | OTHER ASSESSMENTS | | | | | | | | This signature acknowledges a visit by a Data Collector or Assessor | | | | | | | | | | |
| Year | Code | Description | | Amount | Code | Description | | Number | Amount | Comm Int | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| Total | | | | 0.00 | | | | | | | | | | | | | | | | | | |
| ASSESSING NEIGHBORHOOD | | | | | | | | | | | | <div>APPRaised VALUE SUMMARY</div> <div>Appraised Bldg. Value (Card)</div> <div>1,724,300</div> <div>Appraised Xf (B) Value (Bldg)</div> <div>105,300</div> <div>Appraised Ob (B) Value (Bldg)</div> <div>333,400</div> <div>Appraised Land Value (Bldg)</div> <div>648,000</div> <div>Special Land Value</div> <div>0</div> <div>Total Appraised Parcel Value</div> <div>2,811,000</div> <div>Valuation Method</div> <div>C</div> <div>Total Appraised Parcel Value</div> <div>2,811,000</div> | | | | | | | | | | |
| Nbhd | | Nbhd Name | | B | | Tracing | | Batch | | | | | | | | | | | | | | |
| 3060 | | | | | | | | | | | | | | | | | | | | | | |
| NOTES | | | | | | | | | | | | | | | | | | | | | | |
| AUTOMATED MATERIAL HANDLING LLC; | | | | | | | | | | | | | | | | | | | | | | |
| CONCRETE PAD FOR TRUCK SCALES | | | | | | | | | | | | | | | | | | | | | | |
| RECYCLING FACILITY | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING PERMIT RECORD | | | | | | | | | | | | VISIT / CHANGE HISTORY | | | | | | | | | | |
| Permit Id | Issue Date | Type | Description | Amount | Insp Date | % Comp | Date Comp | Comments | | | | Date | Id | Type | Is | Cd | Purpost/Result | | | | | |
| HP-20-0251 | 11-17-2020 | HT | Heating | 10,610 | | 0 | | ENERGY LOGIC WASTE OIL | | | | 01-28-2018 | DS | | | 41 | Change - Hearing | | | | | |
| PP-19-0017 | 02-08-2019 | PL | Plumbing | 4,000 | | 0 | | ADJUST CEILING SPRINKLE | | | | 08-04-2017 | DS | | | 26 | Data Entry Inc & Exp | | | | | |
| HP-19-0003 | 01-08-2019 | HT | Heating | 17,000 | | 0 | | ADD AIR CONDITIONING & D | | | | 06-15-2017 | DS | 6 | | 17 | Reval Comm Review | | | | | |
| PP-18-0198 | 12-31-2018 | PL | Plumbing | 10,000 | | 0 | | REPIPE EXISTING BATHROO | | | | 10-15-2007 | JL2 | 1 | | 15 | Reval Review | | | | | |
| EP-18-0347 | 12-31-2018 | EL | Electric | 16,800 | | 0 | | WIRE RENOVATIONS TO OF | | | | 11-22-2002 | JL | | | 40 | No change - Hearing | | | | | |
| CBP18-007 | 10-29-2018 | CM | Commercial | 78,000 | | 0 | | RENOVATION & UPGRD OF | | | | | | | | | | | | | | |
| 2869 | 07-31-2008 | | HEATING | 10,000 | | | | USED HVAC/250 GAL OIL TA | | | | | | | | | | | | | | |
| LAND LINE VALUATION SECTION | | | | | | | | | | | | | | | | | | | | | | |
| B | Use Code | Description | Zone | D | Front | Dept | Land Units | Unit Price | I Factor | SA | Cond. | ST.Idx | Adj. | Notes | Special Pricing | | S Adj | Adj. Unit | Land Value | | | |
| | | | | | | | | | | | | | | | Spec Use | Spec Cal | | | | | | |
| 1 | 4000 | Factory MDL-96 | GI | 1 | | | 5.400 | AC | 130,000 | 0.92307 | C | 1.00 | 2030 | 1.000 | | | 0 | | 1.000 | 648,000 | | |
| Total Card Land Units | | | | | | | 5.4000 | AC | Parcel Total Land Area | | | | | | | 5.4000 | Total Land Value | | | | 648,000 | |

| CONSTRUCTION DETAIL | | | CONSTRUCTION DETAIL (CONTINUED) | | |
|---------------------|-------|-----------------|---------------------------------|----|-------------|
| Element | Cd | Description | Element | Cd | Description |
| Style: | 62 | Manufacturing | | | |
| Model | 96 | Ind/Comm | | | |
| Grade | 05 | C | | | |
| Stories: | 2 | | | | |
| Occupancy | 1.00 | | | | |
| Exterior Wall 1 | 27 | Pre-finishMetal | | | |
| Exterior Wall 2 | | | | | |
| Roof Structure | 13 | Prestres Concr | | | |
| Roof Cover | 01 | Metal/Tin | | | |
| Interior Wall 1 | 01 | Minimum | | | |
| Interior Wall 2 | | | | | |
| Interior Floor 1 | 03 | Concrete Slab | | | |
| Interior Floor 2 | | | | | |
| Heating Fuel | 03 | Gas/Oil | | | |
| Heating Type | 04 | Forced Air-Duc | | | |
| AC Type | 01 | None | | | |
| Bldg Use | 4000 | Factory MDL-96 | | | |
| Total Rooms | | | | | |
| Total Bedrms | 00 | | | | |
| Total Baths | 0 | | | | |
| Heat/AC | 03 | HEAT ONLY | | | |
| Frame Type | 05 | STEEL | | | |
| Baths/Plumbing | 02 | AVERAGE | | | |
| Ceiling/Wall | 06 | CEIL & WALLS | | | |
| Rooms/Prtns | 02 | AVERAGE | | | |
| Wall Height | 30.00 | | | | |
| % Conn Wall | 0.00 | | | | |
| 1st Floor Use: | 4000 | | | | |

| OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B) | | | | | | | | | | |
|--|-----------------|-----|--------|------------|--------|----------|--------|-------|-----------|-------------|
| Code | Description | L/B | Units | Unit Price | Yr Blt | Cond. Cd | % Good | Grade | Grade Adj | Appr. Value |
| SPR2 | Spr Wet/Conce | B | 9,436 | 5.00 | 1977 | | 20 | | 0.00 | 9,400 |
| SPR2 | Spr Wet/Conce | B | 54,296 | 5.00 | 1977 | | 20 | | 0.00 | 54,300 |
| BK1 | Bulkhead | L | 2,000 | 21.00 | 1992 | A | 60 | | 0.00 | 25,200 |
| FN3 | FENCE-6' CHAI | L | 2,800 | 22.00 | 1973 | A | 60 | | 0.00 | 37,000 |
| PAV1 | Paving - Asphal | L | 131,00 | 3.00 | 1973 | A | 60 | | 0.00 | 235,800 |
| PAV2 | Paving - Conc | L | 770 | 5.50 | 1998 | A | 60 | | 0.00 | 2,500 |
| RRR | Railroad Spur | L | 450 | 75.00 | 1973 | A | 60 | | 0.00 | 20,300 |
| TNK4 | Compressed Air | L | 10,000 | 2.10 | 1995 | A | 60 | | 0.00 | 12,600 |
| LD1 | Loading Dock | B | 2,055 | 13.00 | 1977 | | 20 | | 0.00 | 5,300 |
| LDL1 | Load Levelers | B | 9 | 5770.00 | 1977 | | 20 | | 0.00 | 10,400 |

| BUILDING SUB-AREA SUMMARY SECTION | | | | | | |
|-----------------------------------|------------------------|-------------|------------|----------|-----------|----------------|
| Code | Description | Living Area | Floor Area | Eff Area | Unit Cost | Undeprec Value |
| BAS | First Floor | 53,192 | 53,192 | 53,192 | 49.94 | 2,656,408 |
| CLP | Loading Platform, Encl | 0 | 2,055 | 617 | 14.99 | 30,813 |
| FUS | Upper Story, Finished | 1,104 | 1,104 | 1,104 | 49.94 | 55,134 |
| Ttl Gross Liv / Lease Area | | 54,296 | 56,351 | 54,913 | | 2,742,355 |



| CURRENT OWNER | | TOPO | | UTILITIES | | STRT / ROAD | | LOCATION | | CURRENT ASSESSMENT | | | | <div>6007</div> <div>BERLIN, CT</div> <div>VISION</div> | | | | | | | | |
|-----------------------------|------------|--|-------------|-------------------|------------|------------------------|-------------|-------------------------------|----------|--------------------|-------|---|-----------|---|-----------------|-----------|----------------|-----------|------------|----------|------|-----------|
| CHRISTIAN LANE REALTY LLC | | 1 | Level | 1 | All Public | 1 | Paved | | | Description | Code | Appraised | Assessed | | | | | | | | | |
| | | | | | | | | | | IND LAND | 3-1 | 648,000 | 453,600 | | | | | | | | | |
| | | | | | | | | | | IND BLDG | 3-2 | 1,829,600 | 1,280,800 | | | | | | | | | |
| 15 MULLEN RD | | SUPPLEMENTAL DATA | | | | | | | | IND IMPR | 3-3 | 333,400 | 233,400 | | | | | | | | | |
| | | Alt Prcl ID 03-4 076A 00001C CENSUS 4001 (not used) Medium Incomeexp YES: | | | | | | Section: W dc CB Letter | | | | | | | | | | | | | | |
| | | GIS ID 3-4-76A-1C | | | | | | Assoc Pid# | | | | | | | | | | | | | | |
| ENFIELD CT 06082 | | | | | | | | | | | | Total | 2,811,000 | 1,967,800 | | | | | | | | |
| RECORD OF OWNERSHIP | | | | BK-VOL/PAGE | | SALE DATE | | Q/U V/I | | SALE PRICE | | VC | | PREVIOUS ASSESSMENTS (HISTORY) | | | | | | | | |
| | | | | | | | | | | | | | | Year | Code | Assessed | Year | Code | Assessed | Year | Code | Assessed |
| | | | | | | | | | | | | | | 2019 | 3-1 | 453,600 | 2018 | 3-1 | 453,600 | 2017 | 3-1 | 453,600 |
| | | | | | | | | | | | | | | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 |
| | | | | | | | | | | | | | | | 3-3 | 233,400 | | 3-3 | 233,400 | | 3-3 | 233,400 |
| | | | | | | | | | | | | | | Total | | 1967800 | Total | | 1967800 | Total | | 1967800 |
| EXEMPTIONS | | | | OTHER ASSESSMENTS | | | | | | | | This signature acknowledges a visit by a Data Collector or Assessor | | | | | | | | | | |
| Year | Code | Description | | Amount | | Code | Description | | Number | Amount | | | | | | | | | | Comm Int | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| | | Total | | | | | | | | | | | | | | | | | | | | |
| ASSESSING NEIGHBORHOOD | | | | | | | | | | | | <div>APPRAISED VALUE SUMMARY</div> <div> Appraised Bldg. Value (Card) 1,724,300 Appraised Xf (B) Value (Bldg) 105,300 Appraised Ob (B) Value (Bldg) 333,400 Appraised Land Value (Bldg) 648,000 Special Land Value 0 Total Appraised Parcel Value 2,811,000 Valuation Method C </div> <div>Total Appraised Parcel Value 2,811,000</div> | | | | | | | | | | |
| Nbhd | | Nbhd Name | | B | | Tracing | | Batch | | | | | | | | | | | | | | |
| 3060 | | | | | | | | | | | | | | | | | | | | | | |
| NOTES | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING PERMIT RECORD | | | | | | | | | | | | VISIT / CHANGE HISTORY | | | | | | | | | | |
| Permit Id | Issue Date | Type | Description | Amount | Insp Date | % Comp | Date Comp | Comments | | | | Date | Id | Type | Is | Cd | Purpost/Result | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| LAND LINE VALUATION SECTION | | | | | | | | | | | | | | | | | | | | | | |
| B | Use Code | Description | Zone | D | Front | Dept | Land Units | Unit Price | I Factor | SA | Cond. | ST.Idx | Adj. | Notes | Special Pricing | | S Adj | Adj. Unit | Land Value | | | |
| | | | | | | | | | | | | | | | Spec Use | Spec Cal | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | |
| Total Card Land Units | | | | | | Parcel Total Land Area | | | | | | Total Land Value | | | | | | | | | | |

Property Location 655 CHRISTIAN LN
 Vision ID 7977 Account # 1065020

Map ID 3-4/ 76A/ 1C/ 7977/
 Bldg # 1

Bldg Name
 Sec # 1 of 1

Card # 2 of 4

State Use 4000
 Print Date 1/13/2021 10:29:53 A

| CONSTRUCTION DETAIL | | | | | | CONSTRUCTION DETAIL (CONTINUED) | | | | | |
|---|---------------|----------------|------------|------------|-------------|---------------------------------|--------|-------|-----------|-------------|--|
| Element | Cd | Description | Element | Cd | Description | | | | | | |
| Style: | 62 | Manufacturing | | | | | | | | | |
| Model | 96 | Ind/Comm | | | | | | | | | |
| Grade | 05 | C | | | | | | | | | |
| Stories: | 2 | | | | | | | | | | |
| Occupancy | 1.00 | | | | | | | | | | |
| Exterior Wall 1 | 27 | Pre-finshMetal | | | | | | | | | |
| Exterior Wall 2 | | | | | | | | | | | |
| Roof Structure | 13 | Prestres Concr | | | | | | | | | |
| Roof Cover | 01 | Metal/Tin | | | | | | | | | |
| Interior Wall 1 | 01 | Minimum | | | | | | | | | |
| Interior Wall 2 | | | | | | | | | | | |
| Interior Floor 1 | 03 | Concrete Slab | | | | | | | | | |
| Interior Floor 2 | | | | | | | | | | | |
| Heating Fuel | 03 | Gas/Oil | | | | | | | | | |
| Heating Type | 04 | Forced Air-Duc | | | | | | | | | |
| AC Type | 01 | None | | | | | | | | | |
| Bldg Use | 4000 | Factory MDL-96 | | | | | | | | | |
| Total Rooms | | | | | | | | | | | |
| Total Bedrms | 00 | | | | | | | | | | |
| Total Baths | 0 | | | | | | | | | | |
| Heat/AC | 03 | HEAT ONLY | | | | | | | | | |
| Frame Type | 05 | STEEL | | | | | | | | | |
| Baths/Plumbing | 02 | AVERAGE | | | | | | | | | |
| Ceiling/Wall | 06 | CEIL & WALLS | | | | | | | | | |
| Rooms/Prtns | 02 | AVERAGE | | | | | | | | | |
| Wall Height | 30.00 | | | | | | | | | | |
| % Comn Wall | 0.00 | | | | | | | | | | |
| 1st Floor Use: | 4000 | | | | | | | | | | |
| <div> <div>RCN</div> <div> Year Built Effective Year Built Depreciation Code Remodel Rating Year Remodeled Depreciation % Functional Obsol External Obsol Trend Factor Condition Condition % Percent Good Cns Sect Rcndld Dep % Ovr Dep Ovr Comment Misc Imp Ovr Misc Imp Ovr Comment Cost to Cure Ovr Cost to Cure Ovr Comment </div> </div> | | | | | | | | | | | |
| OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B) | | | | | | | | | | | |
| Code | Description | L/B | Units | Unit Price | Yr Blt | Cond. Cd | % Good | Grade | Grade Adj | Appr. Value | |
| OD1 | Ovhd Door Wd/ | B | 18 | 0.00 | 1977 | | 20 | | 0.00 | 0 | |
| TS1 | Truck Scale | B | 120 | 1080.00 | 1977 | | 20 | | 0.00 | 25,900 | |
| BUILDING SUB-AREA SUMMARY SECTION | | | | | | | | | | | |
| Code | Description | Living Area | Floor Area | Eff Area | Unit Cost | Undeprec Value | | | | | |
| | | | | | | | | | | | |
| Ttl Gross Liv / Lease Area | | | | | | | | | | | |


| CURRENT OWNER | | TOPO | | UTILITIES | | STRT / ROAD | | LOCATION | | CURRENT ASSESSMENT | | | | <div>6007</div> <div>BERLIN, CT</div> <div>VISION</div> | | | | | | | |
|---|------------|--|-------------|-------------------|------------|-------------------------------|-------------|---|------------------------|--------------------|-------|-----------|-----------|---|-----------------|-----------|------------------|-----------|----------------|-----------|---|
| CHRISTIAN LANE REALTY LLC 15 MULLEN RD ENFIELD CT 06082 | | 1 | Level | 1 | All Public | 1 | Paved | | | Description | Code | Appraised | Assessed | | | | | | | | |
| | | | | | | | | | | IND LAND | 3-1 | 648,000 | 453,600 | | | | | | | | |
| | | | | | | | | | | IND BLDG | 3-2 | 1,829,600 | 1,280,800 | | | | | | | | |
| SUPPLEMENTAL DATA | | | | | | | | | | IND IMPR | 3-3 | 333,400 | 233,400 | | | | | | | | |
| | | Alt Prcl ID 03-4 076A 00001C CENSUS 4001 (not used) Medium Incomeexp YES: | | | | Section: W dc CB Letter | | | | | | | | | | | | | | | |
| | | GIS ID 3-4-76A-1C | | | | Assoc Pid# | | | | Total | | 2,811,000 | 1,967,800 | | | | | | | | |
| RECORD OF OWNERSHIP | | BK-VOL/PAGE | | SALE DATE | | Q/U | | V/I | | SALE PRICE | | VC | | PREVIOUS ASSESSMENTS (HISTORY) | | | | | | | |
| CHRISTIAN LANE REALTY LLC | | 0585 | 0198 | 04-03-2007 | | U | | I | | 4,000,000 | | 27 | | Year | Code | Assessed | Year | Code | Assessed | | |
| AUTOMATED SALVAGE TRANSPORT | | 0585 | 0197 | 04-03-2007 | | U | | I | | 0 | | 34 | | 2019 | 3-1 | 453,600 | 2018 | 3-1 | 453,600 | | |
| AUTOMATED SALVAGE TRANSPT INC | | 0332 | 0892 | 09-08-1992 | | U | | I | | 800,000 | | | | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 | | |
| | | | | | | | | | | | | | | | 3-3 | 233,400 | | 3-3 | 233,400 | | |
| | | Total | | | | | | | | | | | | Total | 1967800 | Total | 1967800 | Total | 1967800 | | |
| EXEMPTIONS | | | | OTHER ASSESSMENTS | | | | This signature acknowledges a visit by a Data Collector or Assessor | | | | | | | | | | | | | |
| Year | Code | Description | | Amount | | Code | Description | Number | Amount | Comm Int | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | |
| | | Total | | 0.00 | | | | | | | | | | | | | | | | | |
| ASSESSING NEIGHBORHOOD | | | | | | | | | | | | | | APPRAISED VALUE SUMMARY | | | | | | | |
| Nbhd | | Nbhd Name | | B | | Tracing | | Batch | | | | | | | | | | | | | |
| 3060 | | | | | | | | | | | | | | | | | | | | | |
| NOTES | | | | | | | | | | | | | | Appraised Bldg. Value (Card) | | | | | | 1,724,300 | |
| AUTOMATED SALVAGE TRANSPORT CONCRETE PAD FOR TRUCK SCALES | | | | | | | | | | | | | | Appraised Xf (B) Value (Bldg) | | | | | | 105,300 | |
| | | | | | | | | | | | | | | Appraised Ob (B) Value (Bldg) | | | | | | 333,400 | |
| | | | | | | | | | | | | | | Appraised Land Value (Bldg) | | | | | | 648,000 | |
| | | | | | | | | | | | | | | Special Land Value | | | | | | 0 | |
| | | | | | | | | | | | | | | Total Appraised Parcel Value | | | | | | 2,811,000 | |
| | | | | | | | | | | | | | | Valuation Method | | | | | | C | |
| | | | | | | | | | | | | | | Total Appraised Parcel Value | | | | | | 2,811,000 | |
| BUILDING PERMIT RECORD | | | | | | | | | | | | | | VISIT / CHANGE HISTORY | | | | | | | |
| Permit Id | Issue Date | Type | Description | Amount | Insp Date | % Comp | Date Comp | Comments | | | | | | Date | Id | Type | Is | Cd | Purpost/Result | | |
| | | | | | | | | | | | | | | | | | | | | | |
| LAND LINE VALUATION SECTION | | | | | | | | | | | | | | | | | | | | | |
| B | Use Code | Description | Zone | D | Front | Dept | Land Units | Unit Price | I Factor | SA | Cond. | ST.Idx | Adj. | Notes | Special Pricing | | S Adj | Adj. Unit | Land Value | | |
| | | | | | | | | | | | | | | | Spec Use | Spec Cal | | | | | |
| 2 | 4000 | Factory MDL-96 | GI | 1 | | | 0 SF | 0 | 1.00000 | 5 | 1.00 | 3 | 0.950 | | | 0 | | 0.000 | | 0 | |
| Total Card Land Units | | | | | | | 5.4000 | SF | Parcel Total Land Area | | | | | | | 5.4000 | Total Land Value | | | | 0 |

| CONSTRUCTION DETAIL | | | | | | CONSTRUCTION DETAIL (CONTINUED) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|----------------|----------------|------------|------------|-------------|---------------------------------|--------|-------|-----------|-------------|------------|----------------------|----------------|-------------------|---|----------------|---|----------------|--|----------------|----|------------------|----|----------------|--|--------------|---|-----------|--|-------------|--|--------------|----|---------------|---------|-----------|--|-----------------|--|--------------|--|----------------------|--|------------------|--|--------------------------|--|
| Element | Cd | Description | Element | Cd | Description | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Style: | 60 | Warehouse | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Model | 96 | Ind/Comm | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Grade | 05 | C | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Stories: | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Occupancy | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Exterior Wall 1 | 27 | Pre-finshMetal | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Exterior Wall 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Roof Structure | 03 | Gable/Hip | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Roof Cover | 01 | Metal/Tin | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Interior Wall 1 | 01 | Minimum | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Interior Wall 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Interior Floor 1 | 03 | Concrete Slab | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Interior Floor 2 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Heating Fuel | 03 | Gas/Oil | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Heating Type | 03 | Hot Air-no Duc | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| AC Type | 01 | None | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Bldg Use | 4000 | Factory MDL-96 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total Rooms | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total Bedrms | 00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Total Baths | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Heat/AC | 03 | HEAT ONLY | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Frame Type | 05 | STEEL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Baths/Plumbing | 02 | AVERAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Ceiling/Wall | 00 | NONE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Rooms/Prtns | 02 | AVERAGE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Wall Height | 20.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| % Comn Wall | 0.00 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 1st Floor Use: | 4000 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th colspan="3">MIXED USE</th> </tr> <tr> <th>Code</th> <th>Description</th> <th>Percentage</th> </tr> </thead> <tbody> <tr> <td>4000</td> <td>Factory MDL-96</td> <td>100</td> </tr> <tr> <td></td> <td></td> <td>0</td> </tr> <tr> <td></td> <td></td> <td>0</td> </tr> </tbody> </table> | | | | | | MIXED USE | | | Code | Description | Percentage | 4000 | Factory MDL-96 | 100 | | | 0 | | | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| MIXED USE | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Code | Description | Percentage | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| 4000 | Factory MDL-96 | 100 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | 0 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <table border="1"> <thead> <tr> <th colspan="2">COST / MARKET VALUATION</th> </tr> </thead> <tbody> <tr> <td>RCN</td> <td>190,944</td> </tr> <tr> <td>Year Built</td> <td>1986</td> </tr> <tr> <td>Effective Year Built</td> <td></td> </tr> <tr> <td>Depreciation Code</td> <td>A</td> </tr> <tr> <td>Remodel Rating</td> <td></td> </tr> <tr> <td>Year Remodeled</td> <td></td> </tr> <tr> <td>Depreciation %</td> <td>20</td> </tr> <tr> <td>Functional Obsol</td> <td>15</td> </tr> <tr> <td>External Obsol</td> <td></td> </tr> <tr> <td>Trend Factor</td> <td>1</td> </tr> <tr> <td>Condition</td> <td></td> </tr> <tr> <td>Condition %</td> <td></td> </tr> <tr> <td>Percent Good</td> <td>65</td> </tr> <tr> <td>Cns Sect Rcnd</td> <td>124,100</td> </tr> <tr> <td>Dep % Ovr</td> <td></td> </tr> <tr> <td>Dep Ovr Comment</td> <td></td> </tr> <tr> <td>Misc Imp Ovr</td> <td></td> </tr> <tr> <td>Misc Imp Ovr Comment</td> <td></td> </tr> <tr> <td>Cost to Cure Ovr</td> <td></td> </tr> <tr> <td>Cost to Cure Ovr Comment</td> <td></td> </tr> </tbody> </table> | | | | | | COST / MARKET VALUATION | | RCN | 190,944 | Year Built | 1986 | Effective Year Built | | Depreciation Code | A | Remodel Rating | | Year Remodeled | | Depreciation % | 20 | Functional Obsol | 15 | External Obsol | | Trend Factor | 1 | Condition | | Condition % | | Percent Good | 65 | Cns Sect Rcnd | 124,100 | Dep % Ovr | | Dep Ovr Comment | | Misc Imp Ovr | | Misc Imp Ovr Comment | | Cost to Cure Ovr | | Cost to Cure Ovr Comment | |
| COST / MARKET VALUATION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| RCN | 190,944 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Year Built | 1986 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Effective Year Built | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Depreciation Code | A | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Remodel Rating | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Year Remodeled | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Depreciation % | 20 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Functional Obsol | 15 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| External Obsol | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Trend Factor | 1 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Condition | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Condition % | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Percent Good | 65 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Cns Sect Rcnd | 124,100 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Dep % Ovr | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Dep Ovr Comment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Misc Imp Ovr | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Misc Imp Ovr Comment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Cost to Cure Ovr | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Cost to Cure Ovr Comment | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B) | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Code | Description | L/B | Units | Unit Price | Yr Blt | Cond. Cd | % Good | Grade | Grade Adj | Appr. Value | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BUILDING SUB-AREA SUMMARY SECTION | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Code | Description | Living Area | Floor Area | Eff Area | Unit Cost | Undeprec Value | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| BAS | First Floor | 3,600 | 3,600 | 3,600 | 53.04 | 190,944 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| Ttl Gross Liv / Lease Area | | 3,600 | 3,600 | 3,600 | | 190,944 | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

BAS

60

60



| CURRENT OWNER | | TOPO | | UTILITIES | | STRT / ROAD | | LOCATION | | CURRENT ASSESSMENT | | | | <div>6007</div> <div>BERLIN, CT</div> <div>VISION</div> | | | | | | | |
|---|------------|--|-------------|-------------------|-----------|-------------------------------|-------------|---|------------------------|--------------------|-------|-----------|-----------|---|------------------|-----------|-------|-----------|------------|---------|--|
| CHRISTIAN LANE REALTY LLC 15 MULLEN RD ENFIELD CT 06082 | | 1 Level | | 1 All Public | | 1 Paved | | | | Description | Code | Appraised | Assessed | | | | | | | | |
| | | | | | | | | | | IND LAND | 3-1 | 648,000 | 453,600 | | | | | | | | |
| | | | | | | | | | | IND BLDG | 3-2 | 1,829,600 | 1,280,800 | | | | | | | | |
| | | | | | | | | | | IND IMPR | 3-3 | 333,400 | 233,400 | | | | | | | | |
| SUPPLEMENTAL DATA | | | | | | | | | | | | | | | | | | | | | |
| | | Alt Prcl ID 03-4 076A 00001C CENSUS 4001 (not used) Medium Incomeexp YES: | | | | Section: W dc CB Letter | | | | | | | | | | | | | | | |
| | | GIS ID 3-4-76A-1C | | | | Assoc Pid# | | | | | | | | | | | | | | | |
| | | | | | | | | | | Total | | 2,811,000 | | 1,967,800 | | | | | | | |
| RECORD OF OWNERSHIP | | | | BK-VOL/PAGE | | SALE DATE | | Q/U V/I | | SALE PRICE | | VC | | PREVIOUS ASSESSMENTS (HISTORY) | | | | | | | |
| CHRISTIAN LANE REALTY LLC AUTOMATED SALVAGE TRANSPORT AUTOMATED SALVAGE TRANSPT INC | | | | 0585 0198 | | 04-03-2007 | | U I | | 4,000,000 | | 27 | | Year | Code | Assessed | Year | Code | Assessed | | |
| | | | | 0585 0197 | | 04-03-2007 | | U I | | 0 | | 34 | | 2019 | 3-1 | 453,600 | 2018 | 3-1 | 453,600 | | |
| | | | | 0332 0892 | | 09-08-1992 | | U I | | 800,000 | | | | | 3-2 | 1,280,800 | | 3-2 | 1,280,800 | | |
| | | | | | | | | | | | | | | | 3-3 | 233,400 | | 3-3 | 233,400 | | |
| | | | | | | | | | | Total | | 1967800 | | Total | | 1967800 | | Total | | 1967800 | |
| EXEMPTIONS | | | | OTHER ASSESSMENTS | | | | This signature acknowledges a visit by a Data Collector or Assessor | | | | | | | | | | | | | |
| Year | Code | Description | | Amount | | Code | Description | Number | Amount | Comm Int | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | |
| Total | | | | 0.00 | | | | | | | | | | | | | | | | | |
| ASSESSING NEIGHBORHOOD | | | | | | | | | | | | | | APPRAISED VALUE SUMMARY | | | | | | | |
| Nbhd | | Nbhd Name | | B | | Tracing | | Batch | | | | | | Appraised Bldg. Value (Card) | | | | 1,724,300 | | | |
| 3060 | | | | | | | | | | | | | | Appraised Xf (B) Value (Bldg) | | | | 105,300 | | | |
| | | | | | | | | | | | | | | Appraised Ob (B) Value (Bldg) | | | | 333,400 | | | |
| | | | | | | | | | | | | | | Appraised Land Value (Bldg) | | | | 648,000 | | | |
| | | | | | | | | | | | | | | Special Land Value | | | | 0 | | | |
| | | | | | | | | | | | | | | Total Appraised Parcel Value | | | | 2,811,000 | | | |
| | | | | | | | | | | | | | | Valuation Method | | | | C | | | |
| | | | | | | | | | | | | | | Total Appraised Parcel Value | | | | 2,811,000 | | | |
| BUILDING PERMIT RECORD | | | | | | | | | | | | | | VISIT / CHANGE HISTORY | | | | | | | |
| Permit Id | Issue Date | Type | Description | Amount | Insp Date | % Comp | Date Comp | Comments | | Date | Id | Type | Is | Cd | Purpost/Result | | | | | | |
| | | | | | | | | | | | | | | | | | | | | | |
| LAND LINE VALUATION SECTION | | | | | | | | | | | | | | | | | | | | | |
| B | Use Code | Description | Zone | D | Front | Dept | Land Units | Unit Price | I Factor | SA | Cond. | ST.Idx | Adj. | Notes | Special Pricing | | S Adj | Adj. Unit | Land Value | | |
| | 4000 | Factory MDL-96 | GI | 1 | | | 0 SF | 0 | 1.00000 | 5 | 1.00 | 3 | 0.950 | | | 0 | 0.000 | | 0 | | |
| Total Card Land Units | | | | | | | 5.4000 | SF | Parcel Total Land Area | | | | | 5.4000 | Total Land Value | | | | 0 | | |

The diagram shows a building layout with the following rooms and dimensions:

- Top Left Room:** Labeled "BAS" in the top left corner. The top edge is 85 units long, and the left edge is 100 units long.
- Top Right Room:** Labeled "BAS" in the top right corner. The right edge is 100 units long, and the bottom edge is 20 units long.
- Bottom Left Room:** Labeled "BAS" in the top left corner. The top edge is 44 units long, the left edge is 20 units long, and the bottom edge is 16 units long.
- Bottom Right Room:** Labeled "BAS" in the top left corner. The top edge is 25 units long, the right edge is 26 units long, and the bottom edge is 16 units long.

Dimensions are indicated by numbers along the edges of the rooms. The layout is composed of several rectangular sections connected together.