

## Site Plan Amendment

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O T Partnership  
Robert Blanchette, Borghesi Building & Eng.  
47 Episcopal Road  
GI-2 Zone  
**38,450 S.F. Building Addition**



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### PROPOSAL

Borghesi Building and Engineering on behalf of OT Partnership (TOMZ Corp.) is seeking a site plan amendment approval to construct additions in two-phases. The Phase I addition will result in 38,450 S.F. which is an addition of a 133 ft x 250 ft footprint and mezzanine area to the previously approved 12,235 s.f. and Phase 2 future addition of 18,620 s.f. extending toward Deming Road, all at 47 Episcopal Road in the GI-2 zone.

They are proposing the existing parking number of 210 spaces remain as no extra spaces will be needed for their use. They request that additional parking as required by the Regulations be deferred as shown on the plan.

### STAFF COMMENTS

1. Town Engineer comments are pending; any concerns are to be addressed prior to permitting.
2. Landscaping and parking islands in conformance with the Regulations and to the satisfaction of the Commission should be demonstrated.
3. The applicant outline a phasing plan for construction and associated erosion and sedimentation controls with the permit plans to limit the impact of construction and sedimentation and drainage onto Deming Road and adjacent properties.
4. All staff and department comments should be addressed.
5. The handicap parking shall be designed to meet code.

### EXISTING CONDITIONS

The property comprises of 9.06 acres in the GI-2 zone. It has conforming lot area, and width and has frontage on Episcopal Road and Deming Road. It slopes down from northeast to southwest and is mostly improved upon to support the existing manufacturing use.

The site is improved with a manufacturing building and obtained approval for additions and related improvements in 2018. All improvements related to that approval have not been completed, including a 12,235 s.f. addition which is included in the currently proposed square footage. There are installed ground mounted solar panels that are in the area of the proposed improvements. 210 parking spaces are shown as existing with 2 driveway curb cuts on Deming Road and two on Episcopal Road. and other associated improvements including curbing, landscaping and ground mounted solar panels.

The site is conforming with respect to required front yard, south side yard, rear yard, parking and loading setbacks, stories, height, building coverage, impervious coverage and floor area ratio. The submitted site plan shows the north building wall conforming with a 25.2 feet setback, the loading dock retaining wall appears to have a nonconforming north side setback.

## **ANALYSIS**

Further modification to the approved parking and grounds is proposed to accommodate the proposed addition including expansion and restriping of parking, removal of approved parking islands, removal of ground mounted solar panels and relocation of handicap parking. The previously approved employee picnic area has been eliminated.

The proposed plan includes a possible phase 2 addition of 18,620 s.f. extending toward Deming Road adjacent to the proposed 38,450 s.f. addition. The zoning table has been provided showing compliance for both the Phase 1 proposed addition and full Phase 2 buildout except as requested for deferred parking.

### **Site Disturbance**

Most of the site disturbance will occur in the areas of the additions, and the areas of the new parking if or when required. Appropriate silt fencing will be required in accordance with the Regulations.

### **Drainage**

The applicant proposes to expand the existing underground detention system to accommodate the additions. Updates to the drainage were proposed with the 2018 approved additions. Comments from the Town Engineer are pending. (any additional staff comments will be provided at the meeting)

### **Landscaping**

It appears previously approved landscaping has been modified and/or removed, including parking landscape islands. Landscaping modifications should be explained and conformance with the requirements of the parking and landscape sections should be demonstrated.

### **Additions**

The architecture is shown to blend with the existing building design. Elevation drawings and material spec sheets have been submitted.

### **Parking**

Reconfigured parking adjacent to the new building corner at the center of the site is shown, Proposed deferred parking is shown as an extension to the existing parking areas with 33 of the 78 proposed deferred new spaces proposed along the westerly driveway off of Deming Road.

Staff comments regarding deferral of parking is pending.





# Town of Berlin

## Planning and Zoning Department

240 Kensington Road  
Berlin, Connecticut 06037  
www.town.berlin.ct.us

Town of Berlin  
Received

DEC 15 2020

Planning & Zoning Department  
Berlin, Connecticut

## SITE PLAN APPLICATION

☒ Site Plan

☐ Site Plan Amendment

Project Name: TOMZ CORPORATION  
Property Owner(s): O.T. PARTNERSHIP  
Project Address\*: 47 EPISCOPAL ROAD  
Map: 4 Block: 4 Lot: 21-12 Zone(s): GI-2 Lot Area: 9.03 ACRES

### Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of \_\_\_\_\_
- ☐ Amendment to Zoning Regulations – Section(s) \_\_\_\_\_
- ☐ Amendment to Zoning Map – Zone(s) affected \_\_\_\_\_
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

### Applicant Information

Name: ROBERT BLANCHETTE Firm Name: BORGHESI BUILDING & ENG.  
Street Address: 2155 E. MAIN ST. City: TORRINGTON ST: CT Zip: 06790  
Email: ROBERT@BORGHESIBUILDING.COM Phone: 860-601-0191  
Signature: [Signature] Date: 12/14/20

### Property Owner(s) Information (If Not the Applicant)

Name: O.T. PARTNERSHIP Principal: TOM MATULANIEC  
Street Address: 47 EPISCOPAL RD City: BERLIN ST: CT Zip: 06037  
Email: TOMM@TOMZCORP.COM Phone: 860-801-6530

\*Letter of Authorization Required

\*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

**This Site Plan Involves:**

☒ Additions      ☐ Alterations      ☐ Demolition      ☐ New Construction

**Description of Project\*:** CONSTRUCTION OF A BUILDING WITH A  
133' x 250' FOOTPRINT AND MEZZANINE AREA FOR A  
COMBINED SQUARE FOOTAGE OF 38,450 S.F. THE EXISTING  
PARKING QUANTITY SHALL REMAIN AS NO EXTRA ARE REQUIRED  
FOR THIS USE. ADDITIONAL AS REQUIRED PER ZONING ARE

\*If more space is needed, then please provide separate narrative document. SHOWN AS DEFERRED

**SITE PLAN ZONING STATISTICS**

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
<b>USE(S)</b>	<u>IND/MAHUF</u>	<u>IND/MAHUF</u>	
	_____	_____	
	_____	_____	
<b>COMMERCIAL</b>			
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	
<b>INDUSTRIAL</b>		<u>PROP. ADD FUTURE ADD</u>	
Gross Floor Area	<u>92,068</u>	<u>38,450 + 18,620</u>	
Parking Spaces	<u>210</u>	<u>210 + 78 DEFERRED</u>	<u>288</u>
<b>RESIDENTIAL</b>			
Number of Units	_____	_____	
Number of Bedrooms	_____	_____	
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	_____
<b>OTHER USES</b>			
Gross Floor Area	_____	_____	
Parking Spaces	_____	_____	_____

**To be completed by P&Z staff only:**

Fee Paid \$ 310.- (Refer to current Fee Schedule)

Received by: fms



# Borghesi

Building & Engineering Co., Inc.

## Tomz Corporation Project Description

Town of Berlin  
Received

DEC 15 2020

Planning & Zoning Department  
Berlin, Connecticut

December 15, 2020

We are seeking approval for construction of a 38,450 square foot addition and 18,620 square foot additional Phase II future addition. The Phase I 38,450 square foot addition consists of a 33,250 square foot footprint with a 5,200 square foot mezzanine. There was a 12,235 square foot addition previously approved. That addition is within the same footprint of the addition we are seeking approval for (as shown on SP1). The building use shall remain as manufacturing/industrial.

Due to the drop off of the existing grades on site, the proposed addition will have stepped floor levels (15'-4" between finish floors) and will allow both the upper and lower levels grade level access.

The proposed addition will be placed into the current solar field along Deming Road. The solar panels displaced from the addition shall be placed on the roof of the proposed addition (laying flat against it) along with additional panels which are in storage that were displaced from the last additions.

Due to the nature of machine operations in their business and the number of people to man them, along with shift changes, no additional parking spaces are needed to be added for their use. However, we have shown that they do have the ability to install all required parking as required by Zoning. That amount would be 288 for the full buildout, including Phase II. We are asking for a deferral on the installation of these non-required spaces in an effort to reduce site storm runoff and maintain green space.

The existing underground detention system shall be expanded to accommodate the increased runoff from the proposed addition. This expansion will allow for a net decrease of runoff from the site for the 2, 5, 10, 25, 50, and 100 year events, as more fully shown in the attached drainage report.

The building exterior shall receive a flat metal Thermalwall panel run horizontally. Butt joints shall be 40" which is the width of the panel. This smooth look shall give the building a more streamlined appearance. The main body color shall be gray (similar to that of the existing building) with one (1) red and one (1) blue accent band mixed in between the extensive window bands. Two (2) exterior gated patios shall also be provided on the east side of the building.

**ENGINEERS·DESIGNERS·CONTRACTORS**

2155 East Main Street Torrington, CT 06790 860-482-7613 FAX 860-482-5082

Tomz Corporation - Project Description

December 15, 2020

Page 2

The proposed addition shall be built in the existing grassed area. All disturbed areas shall be reseeded after construction. The existing row of arborvitaes for screening and the wrought iron fence shall remain along Deming Road.

Town of Berlin  
Received

DEC 15 2020

Planning & Zoning Department  
Berlin, N.J.

December 21, 2020  
(Updated January 4, 2021 – Police Chief)

**TOWN OF BERLIN**  
**PLANNING & ZONING DEPARTMENT - STAFF COMMENTS**

**APPLICATION:** Site Plan Amendment – 38,450 s.f. addition  
**APPLICANT:** Robert Blanchette, Borghesi Building & Engineering  
**LOCATION:** Tomz Corporation – Episcopal Road  
**AGENDA:** January 21, 2021

*To the Applicant:*

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at [mgiusti@town.berlin.ct.us](mailto:mgiusti@town.berlin.ct.us) or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*
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Fire Marshal

No comment

Inland Wetlands

No comment

Building Official

- Will require complete architectural plans with engineering, M.E.P.'s, third party verification of soils, concrete, rebar, welds, bolting.

Berlin Water Control

- Project generally OK w/Berlin Water Control Commission. Technical recommendation sewer line from new addition should NOT be located under the next proposed addition. This could create problems for any possible future repairs.

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Board of Police Commissioners

See Chief's Comments

Police Chief

See attachment.

*E-mailed to R. Blanchette, Borghesi Building & Engineering – January 5, 2020*



# BERLIN POLICE DEPARTMENT


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*Officer Thomas Bobok ~ Traffic Bureau*  
*Email: [tbobok@Berlinpd.org](mailto:tbobok@Berlinpd.org) Phone: 860-828-7082*

12/18/2020

To: Chief Klett

From: Officer Tom Bobok

 #239

Re: Tomz Corporation proposal

I have reviewed the information you sent regarding the proposed addition(s) at Tomz Corporation. The proposal calls for 288 parking spaces when the "full buildout" is complete but asks for a deferral on the installation of some non-required spaces. I spoke with Maureen Giusti, Zoning Enforcement Officer, who explained that the Planning and Zoning Commission is the body that will decide on any such deferral.

Regardless of any deferral, when complete, the plan of 288 parking spaces would require seven (7) to be properly marked and reserved for handicapped parking. The plans submitted call for nine (9) such spaces, in excess of the minimum required.

There do not appear to be any traffic related issues with the submitted proposal.



**fsemnosk**

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**From:** Rob Blanchette <rob@borghesibuilding.com>  
**Sent:** Tuesday, December 22, 2020 8:35 AM  
**To:** fsemnosk  
**Subject:** RE: Comments - Tomz Corp - 2020

Thank you for the quick turnaround with the comments. In response:

**Building Official-**We absolutely will submit a full set of drawings and special inspector reports when we apply for the building permit.

**Water Control-** We are running the sewer under the future addition for connection of plumbing in that area after it is built. Much like the main line that will be running under the Phase 1 portion of the addition.

Please let me know if you have any other questions or comments.

Rob Blanchette  
Borghesi Building & Engineering  
Office 860-482-7613  
Cell 860-601-0191

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**From:** fsemnosk [mailto:fsemnosk@town.berlin.ct.us]  
**Sent:** Monday, December 21, 2020 3:45 PM  
**To:** Rob Blanchette  
**Subject:** FW: Comments - Tomz Corp - 2020

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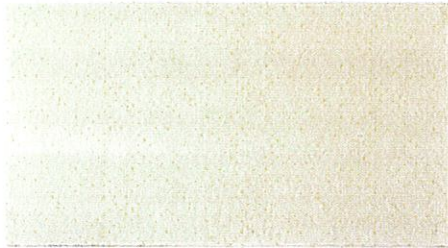
**From:** fsemnosk  
**Sent:** Monday, December 21, 2020 3:28 PM  
**To:** robe@borghesibuilding.com  
**Cc:** mgiusti <mgiusti@town.berlin.ct.us>  
**Subject:** Comments - Tomz Corp - 2020

Robert – comments to date – Fran Semnoski/Planning & Zoning Dept/Town of Berlin



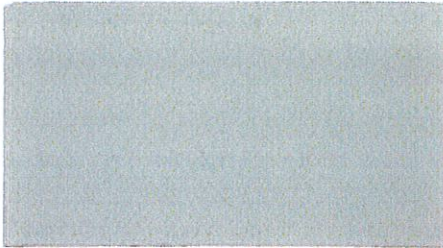
# PVDF Cool Coatings

PVDF utilizes a two-coat system featuring fade resistant color, incredible durability, and environmentally-friendly "cool" technology.



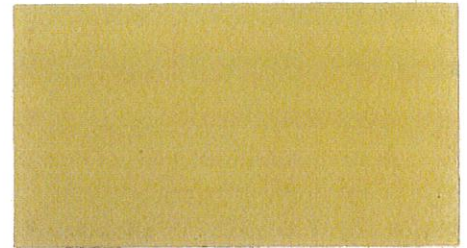
**Regal White** †

IR .72 SRI 88



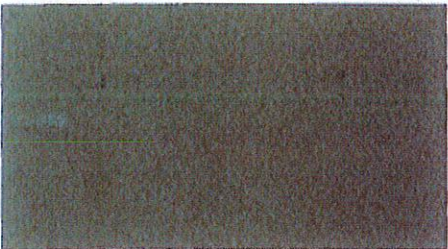
**Reflective White** ††

IR .63 SRI 76



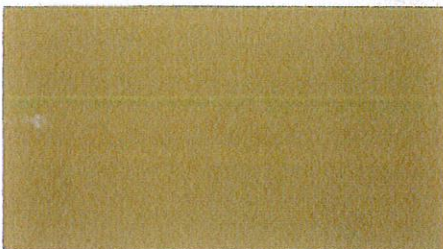
**Warm White** †

IR .63 SRI 76



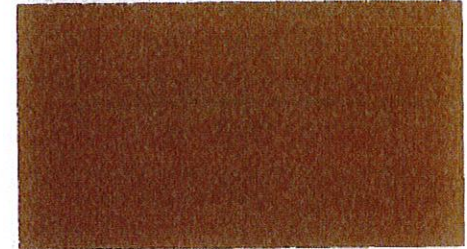
**Pearl Gray** ††

IR .47 SRI 54



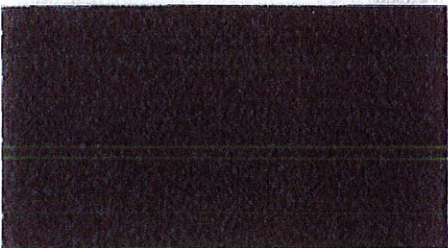
**Desert Sand** ††

IR .57 SRI 67



**Surrey Beige** †

IR .50 SRI 56



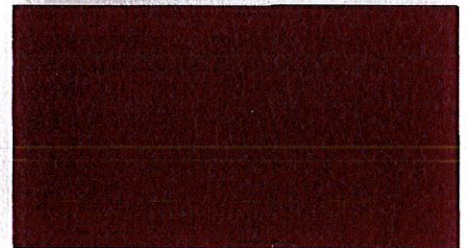
**Slate Gray** †

IR .37 SRI 40



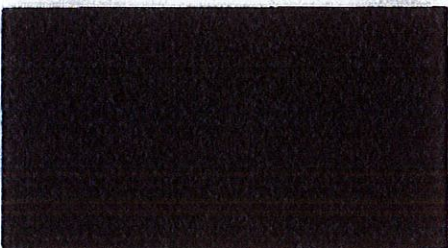
**Royal Blue** †

IR .30 SRI 30



**Terra Cotta** †

IR .36 SRI 38



**Cypress Green** †

IR .31 SRI 31



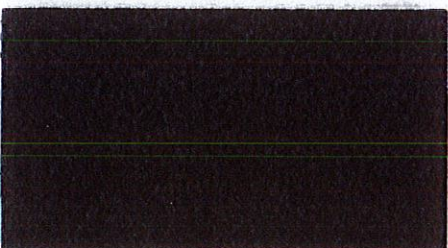
**Dark Bronze** †

IR .32 SRI 33



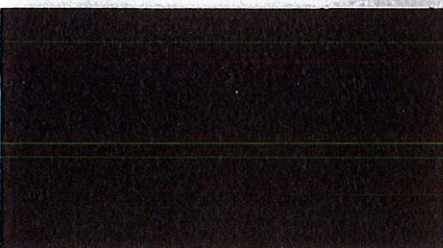
**Brite Red** ††

IR .38 SRI 40



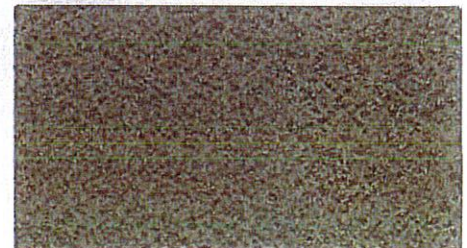
**Charcoal** ††

IR .32 SRI 34



**Midnight Black** ††

IR .27 SRI 26



**Galvalume** \*

IR .77 SRI 72

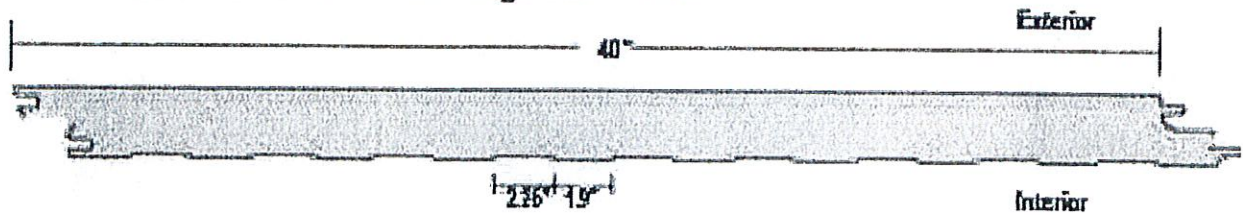
\*Non-Stock Color: Extended lead times may apply. \*The Galvalume coating process is likely to result in variances in spangle (size, number, and reflection) from coil to coil which may result in noticeable shade variations. Galvalume is also subject to variable weathering and may appear to have different shades due to weathering characteristics. These shade variations are not cause for rejection. \*ENERGY STAR® Qualified Color. All standard PVDF colors have a 35-year finish warranty. Colors shown closely approximate actual coating colors. These colors utilize Cool Coating Technology. The term "TBK" on the Order Document refers to "To Be Selected" from standard PVDF colors as shown on this chart. Please note that PVDF is a slight upcharge over SP.





## PLANK PROFILE

**Exterior Finish: Smooth - Light Emboss**



[Features & Benefits \(/wp-content/uploads/2018/09/Plank-Profile-6-2015.pdf\)](/wp-content/uploads/2018/09/Plank-Profile-6-2015.pdf)

[Panel Specifications \(/wp-content/uploads/2018/09/specs-dm40plank-imp.pdf\)](/wp-content/uploads/2018/09/specs-dm40plank-imp.pdf)

## HE40 – Heavy Embossed Insulated Metal Panels

The flat exterior of the HE40 insulated panel features a heavily embossed stucco texture. This exterior mimics the look of masonry stucco and is an ideal option where design character is desired. The heavy embossed exterior adds rigidity to the panel while maintaining a patterned flat appearance. These panels may be field sprayed with a stucco-style coating or ordered with a pre-painted finish.





**Wall Systems Specifications** Striated, Plank & Heavy Embossed Flat Profiles

Panel Thickness	2"	2.5"	3"	4"
Insulating "R" Values*	R16	R20	R24	R32
* R Values are derived from thermal testing per ASTM C518 @ 40°F mean and ASTM C1363 @ 35°F mean. For project specific values, please contact your sales representative.				
Insulating "U" Factors	U0.061	U0.049	U0.041	U0.031
Panel Width	40"			
Minimum Length	8'0"			
Maximum Length	56'0"			
Application	Vertical			
Exterior Gauge (Standard)	26 ga.			
Interior Gauge	26 ga.			
Exterior Paint Coating	SmartKote® (PVDF)**			
**When using field-applied coatings, always order Polyester.				
Interior Paint Coating	Polyester**			
Interior Finish	Light Emboss - Plank Profile			

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Framing Systems (<https://www.americanbuildings.com/products/framing-systems/>) ›

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Roof Panel Systems (<https://www.americanbuildings.com/products/roof-systems/>) ›

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Wall Panel Systems (<https://www.americanbuildings.com/products/wall-systems/>) ›

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Insulated Metal Panels (<https://www.americanbuildings.com/products/insulated-metal-panels/>) ›

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Insulated Roof Panels (<https://www.americanbuildings.com/products/insulated-metal-panels/insulated-roof-panels/>) ›

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Insulated Metal Wall Panels (<https://www.americanbuildings.com/products/insulated-metal-panels/insulated-wall-panels/>) ›

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SOIL EROSION & SEDIMENT CONTROL PLAN NARRATIVE

INTRODUCTION:  
PURSUANT TO CONNECTICUT P.A. 83-388, A SOIL EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE IS REQUIRED FOR THIS PROJECT.  
THIS NARRATIVE DESCRIBES MEASURES REQUIRED TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION OF THE PROPOSED SITE WORK SHOWN ON THIS PLAN. THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH A DOCUMENT ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CT DEP.  
THE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106 AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.

PROJECT DESCRIPTION:  
THE APPLICANT PROPOSES TO CONSTRUCT A 33,250(±) SQUARE FOOT ADDITION. EXISTING PARKING WILL REMAIN, WITH MINOR RECONFIGURATION. THE BUILDING WILL BE SERVED BY PUBLIC SEWER AND WATER. THE SITE IS LOCATED AT 47 EPISCOPAL ROAD IN BERLIN, CT.  
RUN OFF FROM THE DEVELOPED SITE WILL BE COLLECTED IN CATCH BASINS AND PIPED TO AN ON-SITE, UNDERGROUND DETENTION SYSTEM.

ANTICIPATED START OF CONSTRUCTION IS WINTER/SPRING OF 2021. SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND WILL BE IN PROPER WORKING ORDER BEFORE CONSTRUCTION BEGINS. SEDIMENT AND EROSION MEASURES WILL BE MAINTAINED IN PROPER WORKING ORDER THROUGH COMPLETION OF CONSTRUCTION AND WILL REMAIN IN PLACE AND CONTINUE TO BE MAINTAINED AFTER CONSTRUCTION HAS BEEN COMPLETED, UNTIL ALL DISTURBED AREAS ARE STABILIZED.

- CONSTRUCTION SCHEDULE:
- OBTAIN A COPY OF ALL PROJECT LAND-USE PERMITS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - INSTALL SILTATION CONTROL FENCES AND FILTER FABRIC SILT BARRIERS AT EXISTING CATCH BASINS.
  - INSTALL CONSTRUCTION ENTRANCE.
  - REMOVE TREES, BRUSH, AND STUMPS IN AREAS TO BE CLEARED AS REQUIRED.
  - STRIP TOPSOIL FROM WORK AREAS, STOCKPILE AND INSTALL SILT FENCE AT TOE OF PILE.
  - ROUGH GRADE SITE, BEGIN CONSTRUCTION OF BUILDING.
  - INSTALL UTILITIES.
  - BACKFILL FOUNDATION.
  - GRADE, STABILIZE AND SEED ALL DISTURBED AREAS.
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL A DURABLE GRASS STAND IS ESTABLISHED IN ALL NON-PAVED AREAS.

- LAND DISTURBANCE:  
THE FOLLOWING PROCEDURES SHALL BE USED FOR ALL LAND DISTURBING ACTIVITIES:
- ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO PROPOSED CONSTRUCTION ACTIVITIES.
  - LAND CLEARING SHALL PROCEED AT THE SAME RATE AS CONSTRUCTION.
  - REMOVAL OF VEGETATION SHALL BE RESTRICTED TO THOSE AREAS NECESSARY FOR CURRENT CONSTRUCTION ACTIVITIES.
  - DISTURBED AREAS SHALL BE LIMITED TO A MAXIMUM OF 20 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE ROADS, DRIVEWAYS, UTILITY TRENCHES, SEPTIC SYSTEMS, AND AREAS TO BE GRADED.
  - CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE CONFINED TO THE DISTURBED AREAS ONLY.
  - THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
  - THE USE, STORAGE, OR DISPOSAL OF ANY MATERIAL NOT IN ACCORDANCE WITH WHAT IS SHOWN ON THE APPROVED PLAN OR REQUIRED BY THE REGULATORY AGENCY MAY RESULT IN THE IMMEDIATE REVOCATION OF ANY PERMIT/APPROVAL GRANTED BY THE COMMISSION.

GENERAL NOTES:  
WHENEVER CONSTRUCTION SHALL TAKE PLACE IN AREAS DESIGNATED AS WETLANDS OR AS AREAS TO BE ECOLOGICALLY PROTECTED, THE CONTRACTOR SHALL TAKE SPECIAL CARE WITH HIS CONSTRUCTION METHODS AND SHALL COMPLY WITH THE FOLLOWING REGULATIONS:  
THE DIVERSION OF WATERCOURSES SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT INJURY TO PERSONS OR PUBLIC HEALTH AND TO PREVENT FLOODING OF PUBLIC OR PRIVATE PROPERTY.  
ALL EXISTING VEGETATION SHALL BE PROTECTED, AND ONLY THAT CLEARING AND CUTTING WHICH IS ABSOLUTELY NECESSARY FOR THE PROPOSED CONSTRUCTION OR TO CLEAR THE PERMANENT OR TEMPORARY RIGHT-OF-WAY SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THOSE TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT BY SUITABLE MEANS. ALL REGULATED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND CONTOURS.  
EXCESS EXCAVATED MATERIAL, INCLUDING THAT RESULTING FROM CLEARING AND GRUBBING, SHALL NOT BE DEPOSITED WITHIN THE REGULATED AREA.

WORK WITHIN REGULATED AREAS:  
IF WORK IS REQUIRED WITHIN A REGULATED WETLAND, WATER COURSE, OR ADJACENT AREA, SITE DISTURBANCE SHALL BE LIMITED TO THE AREA ABSOLUTELY NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE RESTORED AS CLOSELY AS POSSIBLE TO THEIR ORIGINAL NATURAL STATE. THE DEVELOPER SHALL OBTAIN THE NECESSARY PERMIT(S) FROM THE TOWN WETLANDS COMMISSION. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PERMIT, MAPS APPROVED BY THE TOWN INDICATING THE LIMITS OF INLAND WETLANDS, AND CONDITIONS FOR CONSTRUCTION WITHIN THESE REGULATED AREAS. THE CONTRACTOR SHALL BE REQUIRED TO STRICTLY ADHERE TO ALL REQUIREMENTS AND RESTRICTIONS IMPOSED BY THE WETLANDS PERMIT.

SOIL EROSION AND SEDIMENT CONTROL MEASURES:  
ALL WATERCOURSES SHALL BE PROTECTED FROM SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION. THIS PROVISION APPLIES PARTICULARLY TO DEWATERING ACTIVITIES, STORAGE OF EXCAVATED OR STOCKPILED MATERIAL, AND TRENCH OR DITCH EXCAVATION.  
HAYBALES OR SYNTHETIC FILTER BARRIER FENCE, AS SPECIFIED, IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS, OR WATER COURSES. HAYBALES OR SILT FENCE SHALL BE STAKED AS SHOWN ON THE PLAN, AND ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE HAYBALES OR SILT FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. HAYBALES AND SILT FENCES ARE TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCES ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.  
DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.  
DURING CONSTRUCTION, ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND MAINTENANCE OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN.

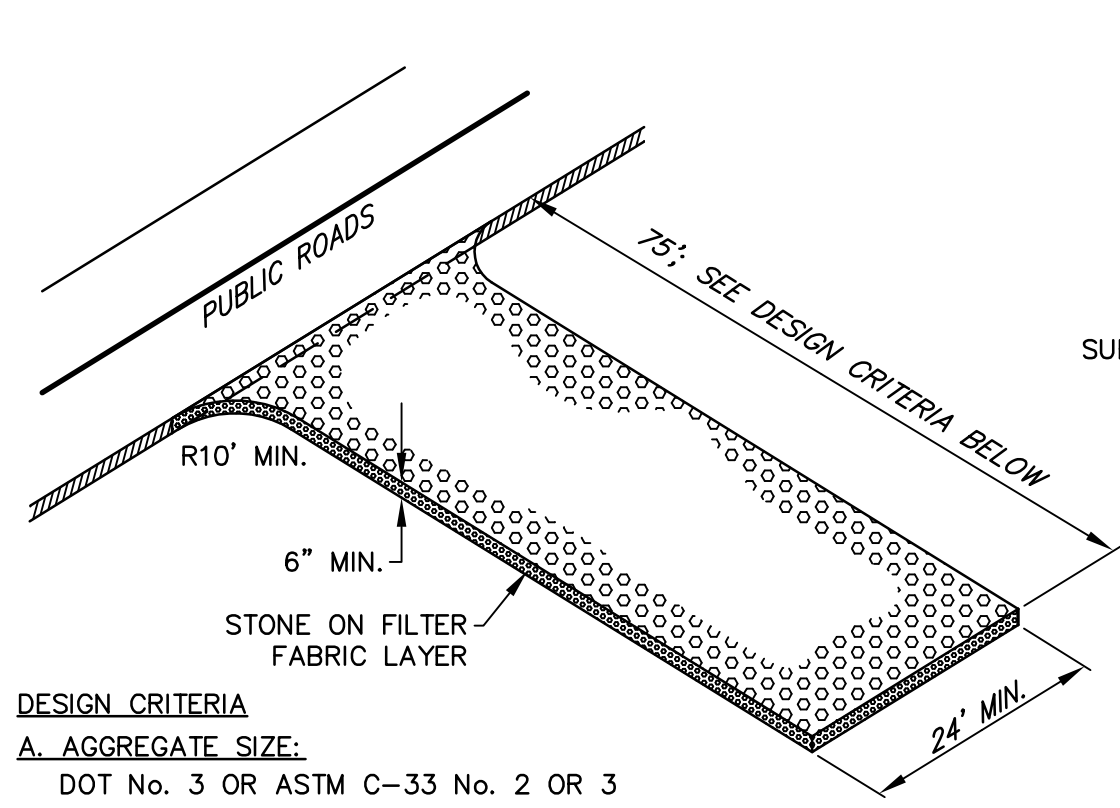
STRIPPING AND STOCKPILING:  
STOCKPILES THAT CONSIST OF ERODIBLE MATERIAL, SUCH AS STRIPPED TOPSOIL, ROAD FILL, SOILS EXCAVATED FROM ROAD CUTS AND FOUNDATION HOLES, ETC., SHALL CONFORM TO THE FOLLOWING CRITERIA:  
1. LOCATION-ALL STOCKPILES SHALL BE LOCATED WITHIN THE AREA OF THE PROPOSED DISTURBANCE AND AWAY FROM THE FOLLOWING:  
-WETLANDS  
-WATER CONVEYANCE CHANNELS  
-STORM DRAINAGE SYSTEM INLETS  
-TOP OF STEEP SLOPES  
2. SEDIMENT CONTROL-ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT BARRIERS, EITHER GEOTEXTILE SILT FENCE OR HAY BALE BARRIERS, PLACED APPROXIMATELY TEN FEET (10') FROM THE TOE OF SLOPE. THE SIDE SLOPES OF ERODIBLE STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. STOCKPILED MATERIAL NOT TO BE USED WITHIN THIRTY DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.  
THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM, OR ORGANIC MATERIAL PRIOR TO TRENCHING OPERATIONS, AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS INLAND WETLANDS, THE UPPER STRATA, TO A DEPTH OF 2 FEET, SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOT INTRODUCE ANY FILL MATERIALS INTO ANY AREAS DESIGNATED AS INLAND WETLANDS WITHOUT FIRST OBTAINING A PERMIT(S) FROM THE TOWN WETLANDS COMMISSION.  
THE CONTRACTOR SHALL MAINTAIN ALL BACKFILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACKFILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEDED IF NECESSARY.

RIPRAP:  
RIPRAP, IF SPECIFIED, IS TO BE INSTALLED FOR ENERGY DISSIPATION AND TO CONTROL EROSION. THE RIPRAP IS TO BE INSTALLED BEFORE THE OUTLET STRUCTURES ARE WORKING, AND ALL ADJACENT AREAS ARE TO BE IMMEDIATELY SEEDED, IF IN SEASON, OR THE SOIL IS TO BE STABILIZED BY OTHER METHODS. THIS MAY REQUIRE SODDING, MULCHING, OR OTHER METHODS AS DEFINED IN THE "GUIDELINES".  
RIPRAP SHALL BE INSPECTED PERIODICALLY TO DETERMINE IF HIGH FLOWS HAVE CAUSED SCOUR BENEATH THE RIPRAP OR FILTER BLANKET, OR DISLOADED ANY OF THE RIPRAP OR FILTER BLANKET MATERIALS. REPAIR IMMEDIATELY UPON OBSERVED FAILURE.

DISPOSAL OF TREES AND BRUSH:  
ALL VEGETATION REQUIRING REMOVAL FOR CONSTRUCTION OF THE PROJECT SHALL BE DISPOSED OF OFF-SITE. NO TREES, BRUSH, OR STUMPS SHALL BE BURIED OR OTHERWISE DISPOSED OF ON-SITE.

TRENCH EXCAVATION AND BACKFILL:  
CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO ACCOMMODATE THE WORK.  
TRENCH EXCAVATION, BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY, SHALL BE STOCKPILED AND USED AS THE TRENCH BACKFILL MATERIAL, UNLESS THE ENGINEER DECLARES IT UNSUITABLE FOR BACKFILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.

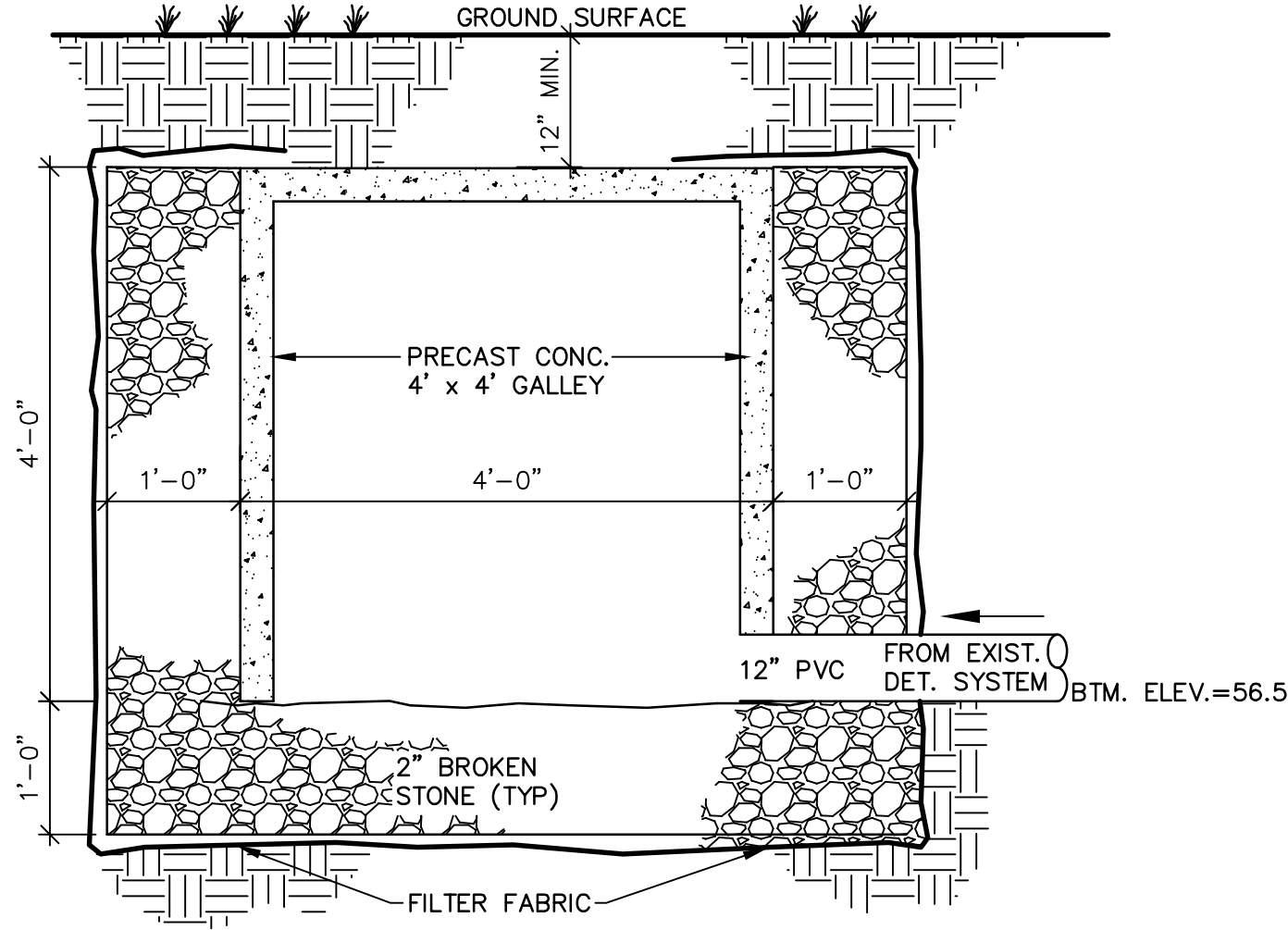
- ESTABLISH VEGETATION COVER ON DISTURBED AREAS:
- SCARIFY SURFACE OF ALL AREAS TO BE TOPSOILED; PLACE A MINIMUM OF 4" TOPSOIL ON ALL AREAS TO BE SEEDED.
  - FERTILIZE AT THE FOLLOWING RATES:
    - FOR SPRING SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL. SIX TO EIGHT WEEKS LATER AN ADDITIONAL 10 LB.s/1000 SF IS TO BE APPLIED.
    - FOR FALL SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL.
  - SMOOTH AND FIRM SEEDBED; APPLY SEED AT THE RATE(S) SPECIFIED BELOW. COVER SEED WITH NOT MORE THAN 1/4" OF SOIL.  
APPLY APPROPRIATE SEED MIXTURE PER THE FOLLOWING:  
PERMANENT SEEDING  
30% CREEPING RED FESCUE  
35% SHAMROCK KENTUCKY BLUEGRASS  
35% ALL-SPORT PERENNIAL RYE  
TEMPORARY SEEDING (WINTER SOIL PROTECTION)  
ANNUAL RYE OR PERENNIAL RYE  
APPLICATION RATE: 5 LB.s/1000 SF  
APPLICATION RATE: 2 LB.s/1000 SF
  - MULCH IMMEDIATELY WITH HAY FREE FROM WEED SEEDS AT A RATE OF 3 BALES/1000 SF.



DESIGN CRITERIA  
A. AGGREGATE SIZE:  
DOT No. 3 OR ASTM C-33 No. 2 OR 3  
B. ENTRANCE DIMENSIONS:

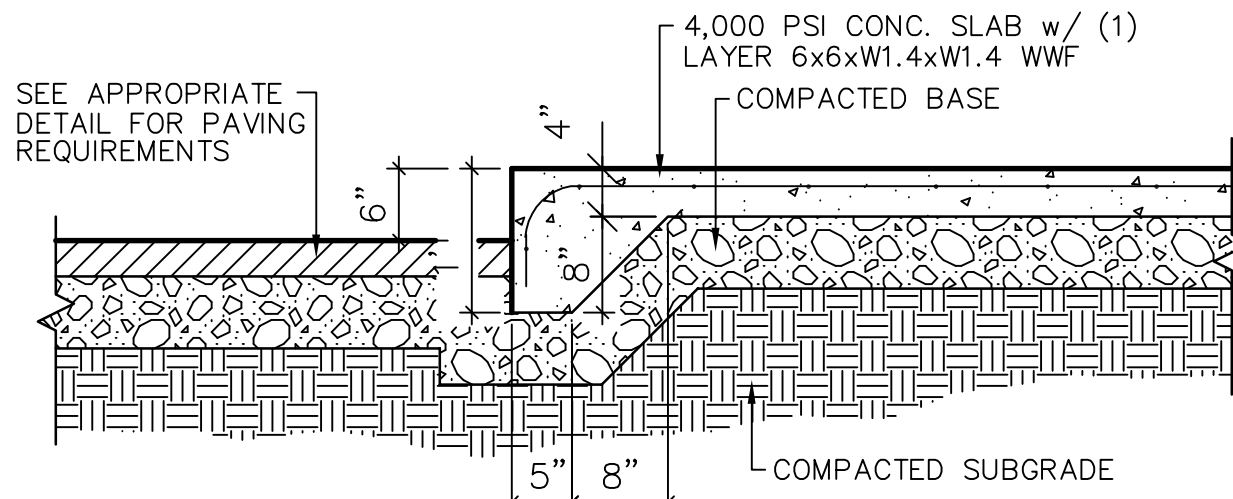
THICKNESS-NOT LESS THAN SIX (6) INCHES OF STONE ON FILTER FABRIC.  
WIDTH-TWENTY-FOUR (24) MIN., w/ POINTS OF INGRESS/EGRESS FLARED SUFFICIENTLY TO ACCOMMODATE CONSTRUCTION VEHICLES USED ON SITE  
LENGTH-50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS, OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY  
AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHOULD BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE  
N.T.S.

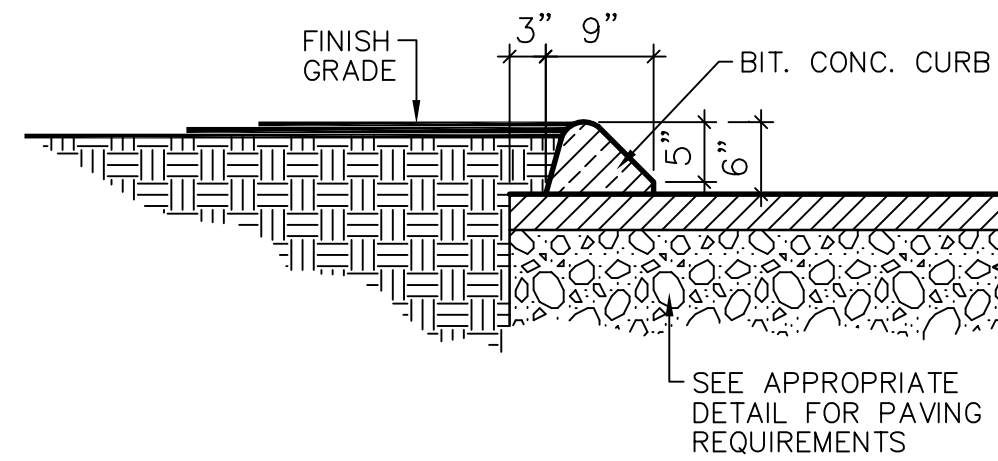


NOTES:  
1) PROVIDE 2' OF BROKEN STONE BETWEEN EACH ROW OF GALLEYS & 1' AROUND PERIMETER OF SYSTEM.  
2) PROVIDE CLEAN OUT IN EACH END GALLEY.

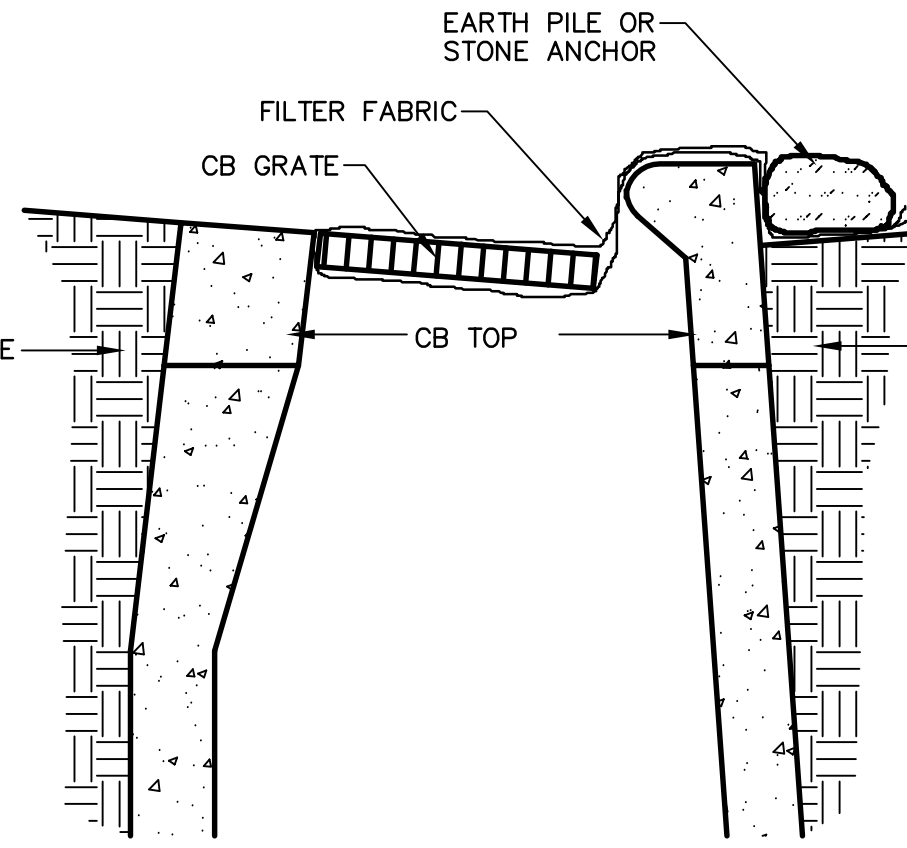
GALLEY SECTION  
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MONOLITHIC CONCRETE CURB  
N.T.S.



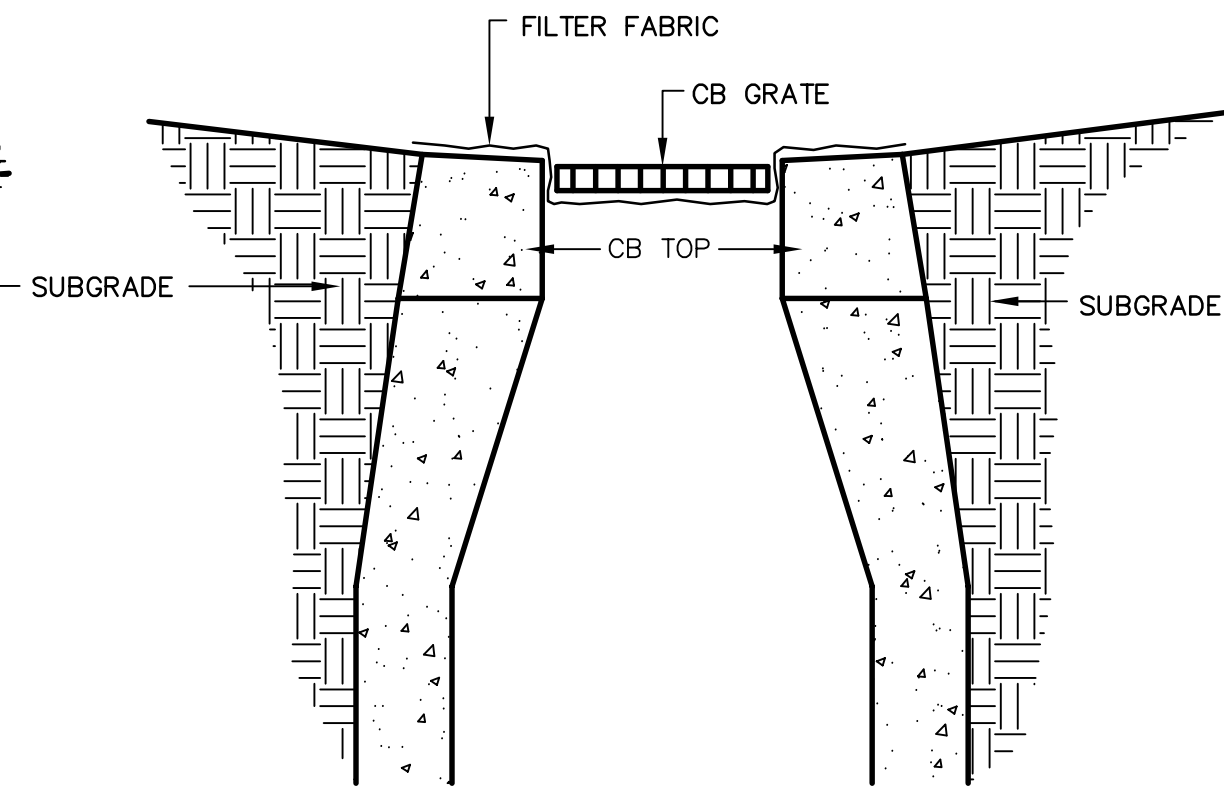
BITUMINOUS CONCRETE CURB  
N.T.S.



NOTE:  
REMOVE CB GRATE; PLACE FILTER FABRIC; REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC. ANCHOR w/ STONE OR EARTH PILE

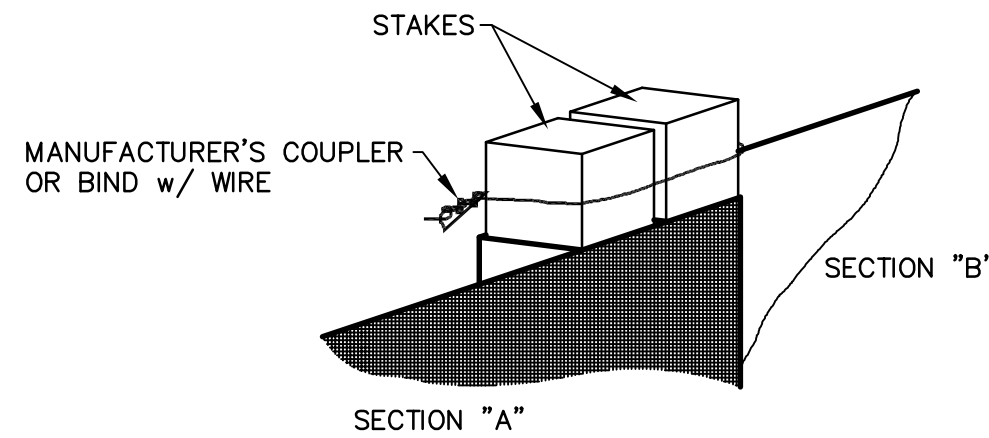
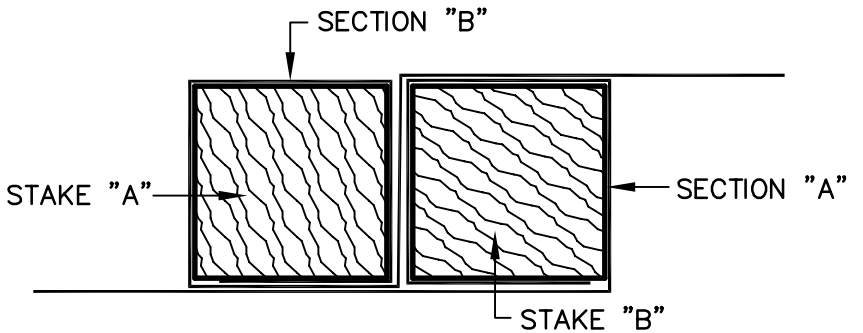
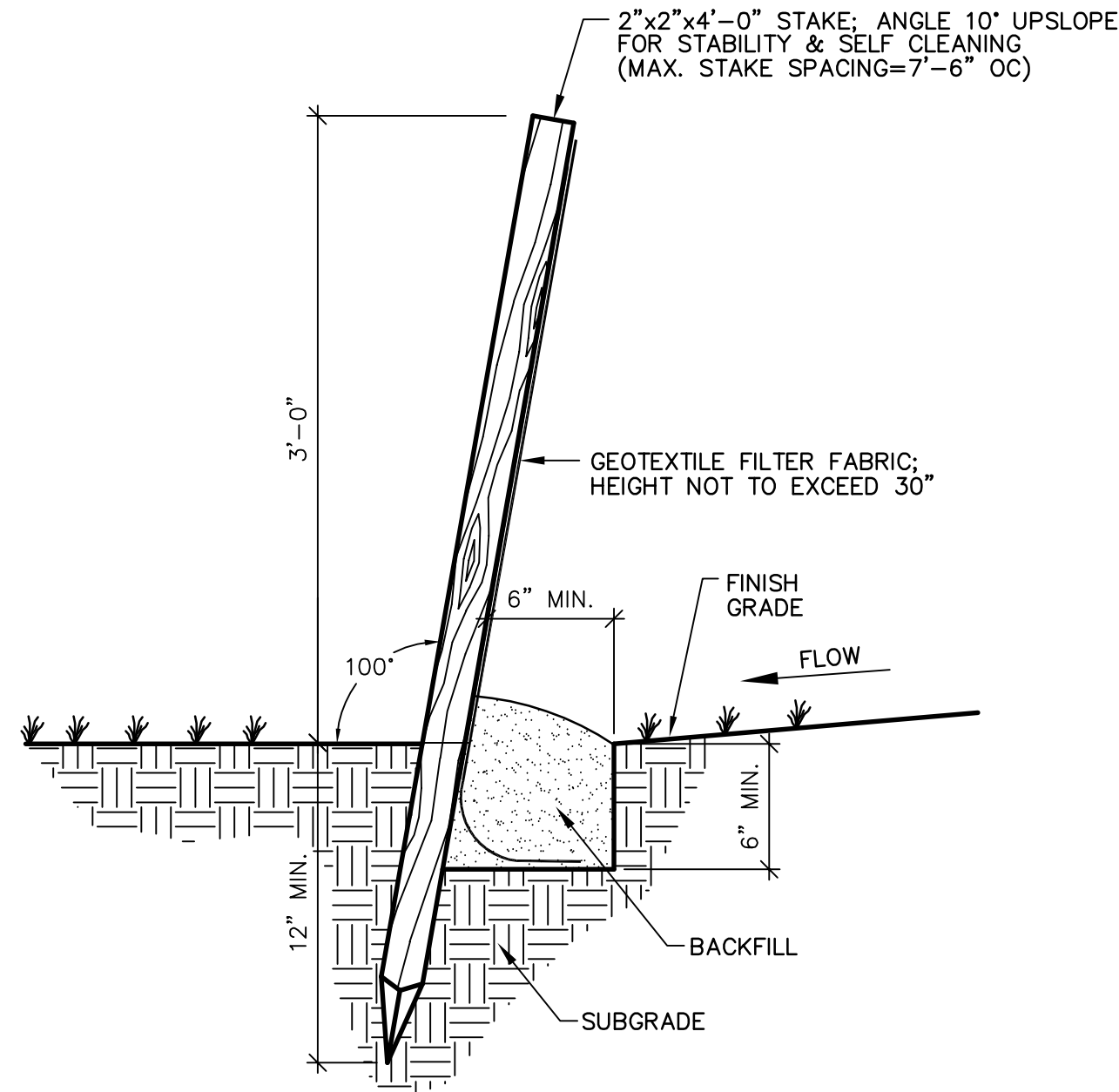
TYPE "C"

FILTER FABRIC SILT BARRIER AT CATCH BASIN



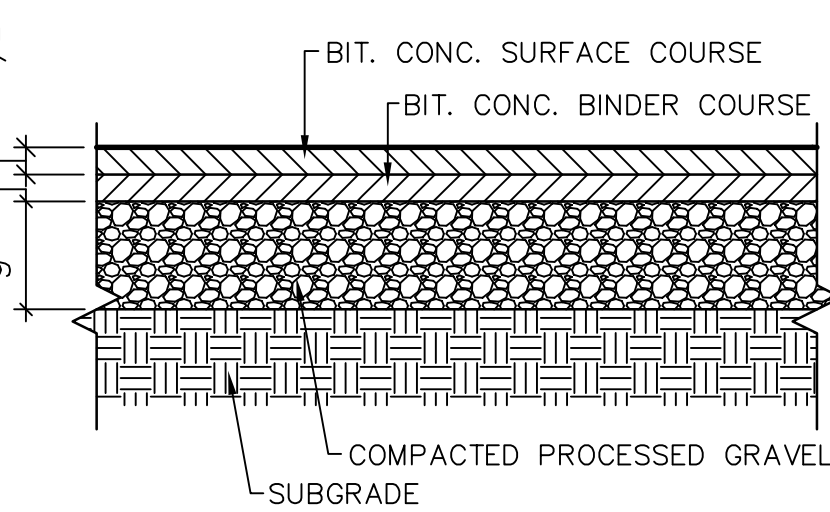
NOTE:  
REMOVE CB GRATE; PLACE FILTER FABRIC; REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC.

TYPE "CL"



COUPLING OF ADJACENT SECTIONS  
SILTATION CONTROL FENCE  
N.T.S.

CONCRETE WALK PAVEMENT  
N.T.S.



BITUMINOUS CONCRETE PAVEMENT  
N.T.S.

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Borghesi Building 8 Engineering Co., Inc.

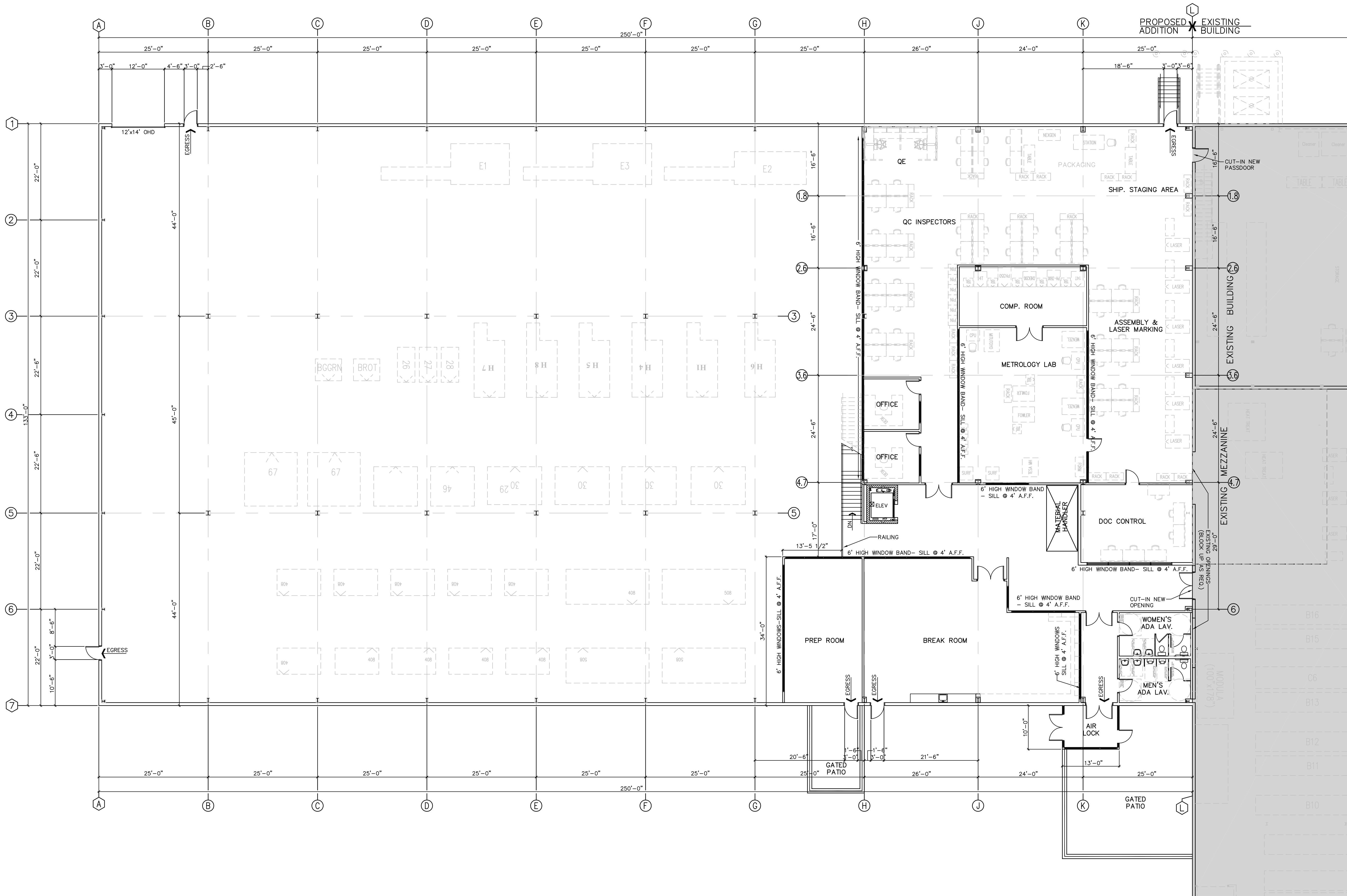
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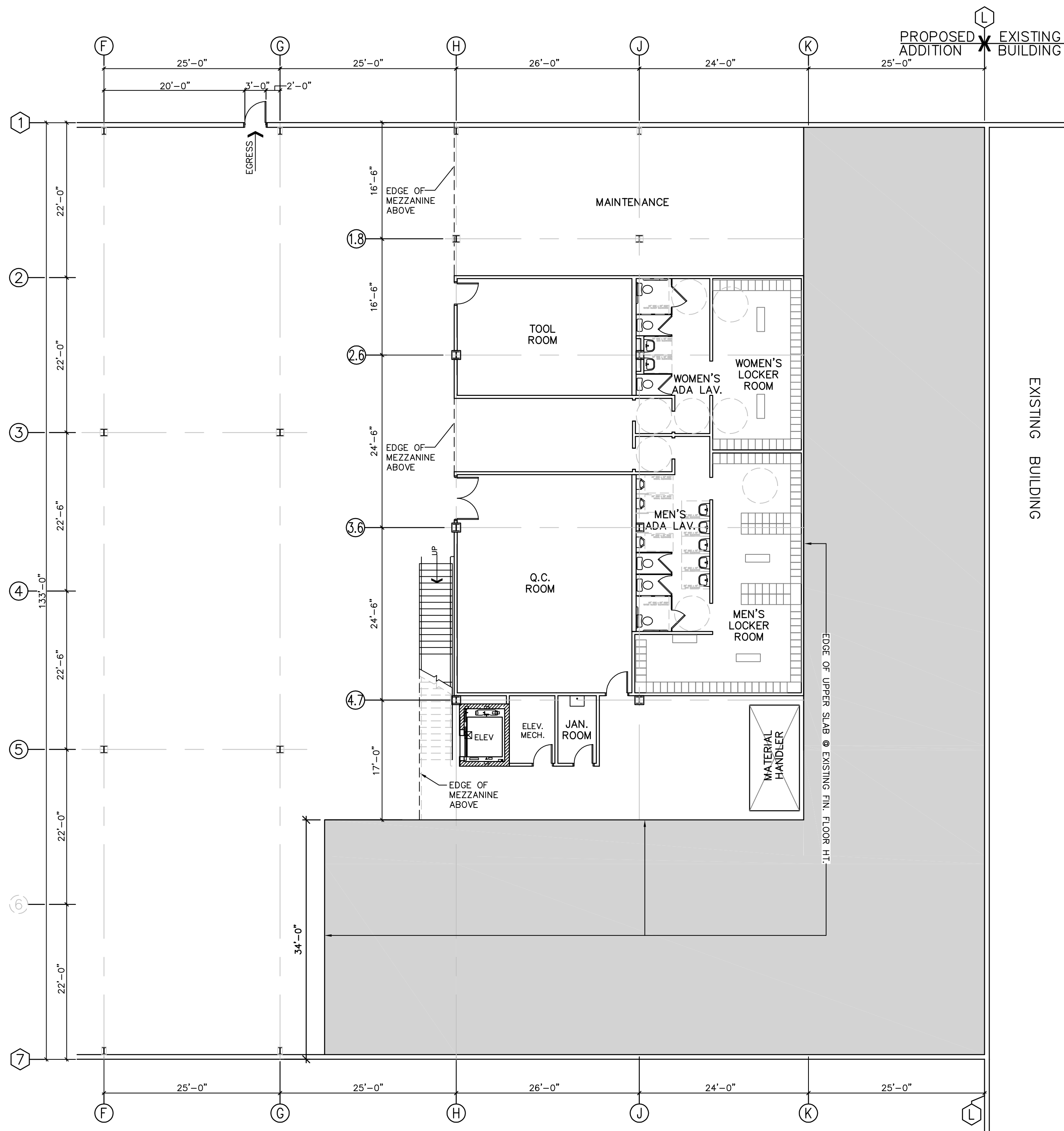
REVISIONS

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DRAWN BY	G.R.W.
DATE	12-07-20
APPROVED BY	J.H.P.
SCALE	AS NOTED
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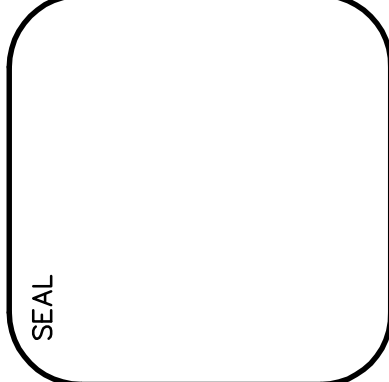
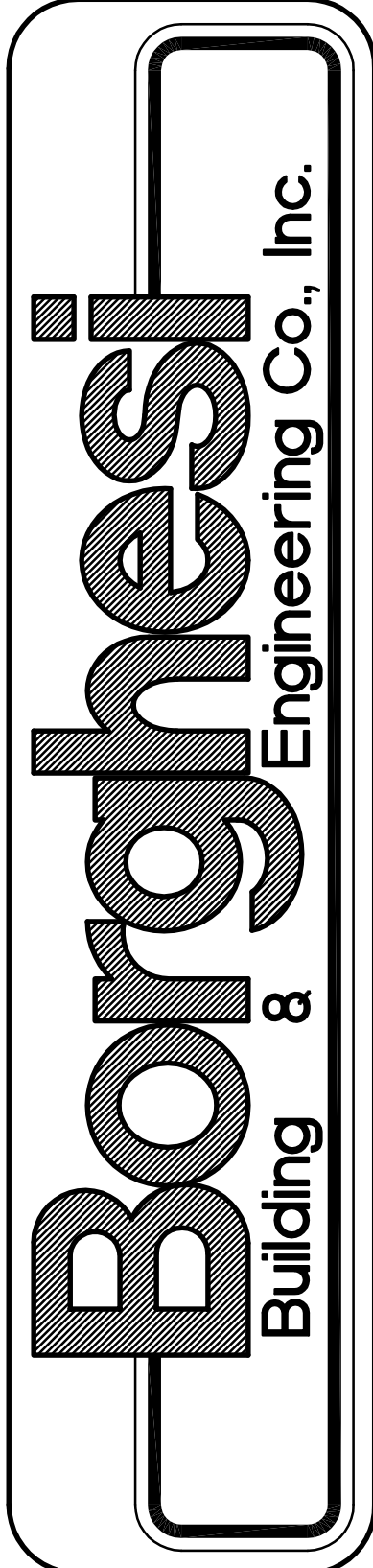
SHEET NO.

SPD1





LOWER FLOOR PLAN UNDER MEZZANINE  
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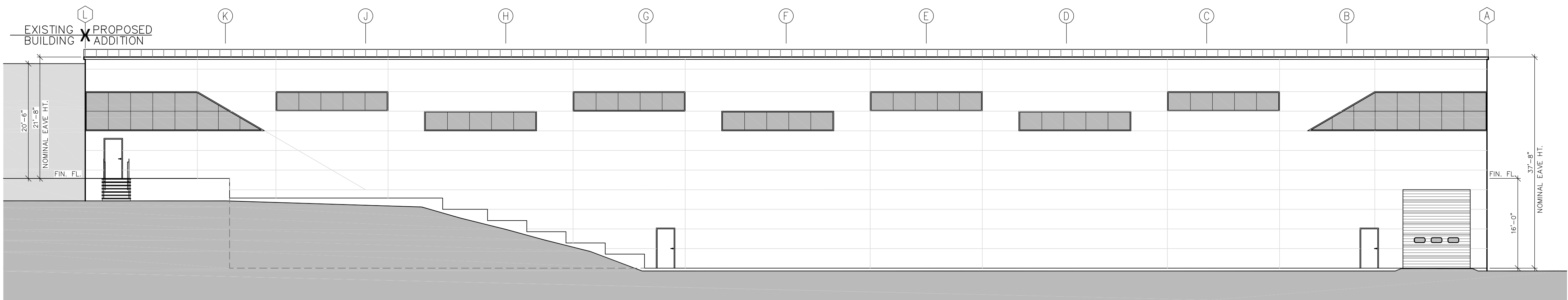
REVISIONS			

PROJECT TOMZ CORPORATION LARGE ADDITION #17 EPISCOPAL ROAD, BERLIN, CT			
DRAWN BY	J.B.M.	APPROVED BY	C.C.
DATE	12/02/20	SCALE	AS NOTED
2155 EAST MAIN STREET, TORRINGTON, CT 06790 860-462-7613 / WEB SITE: www.borghesibuilding.com			

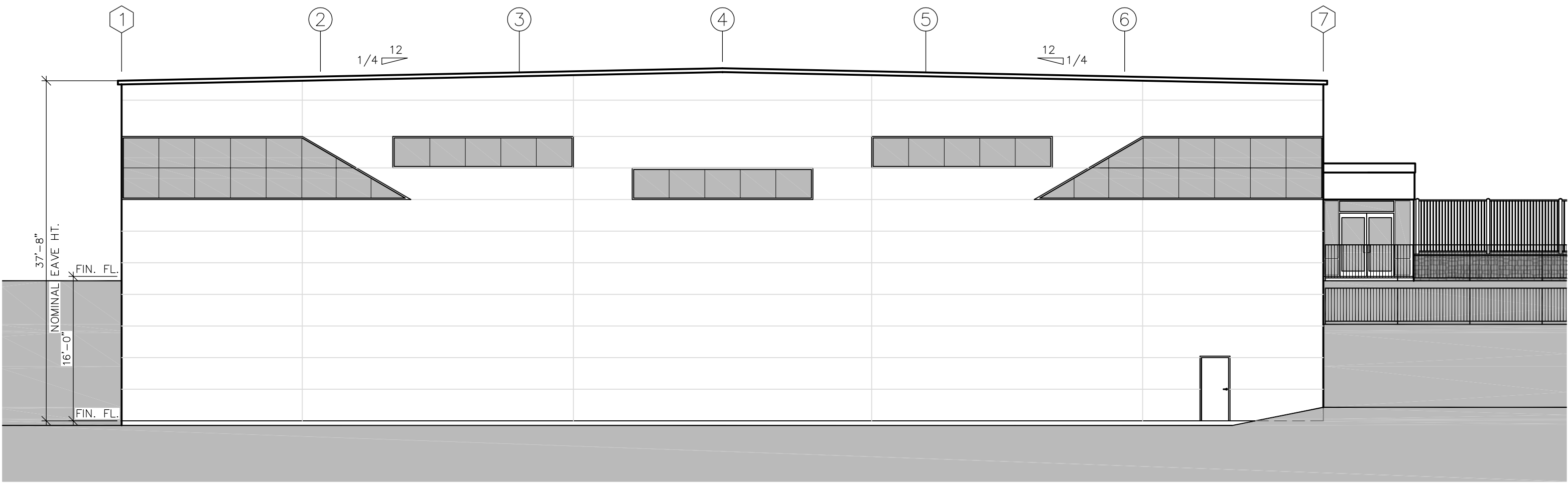


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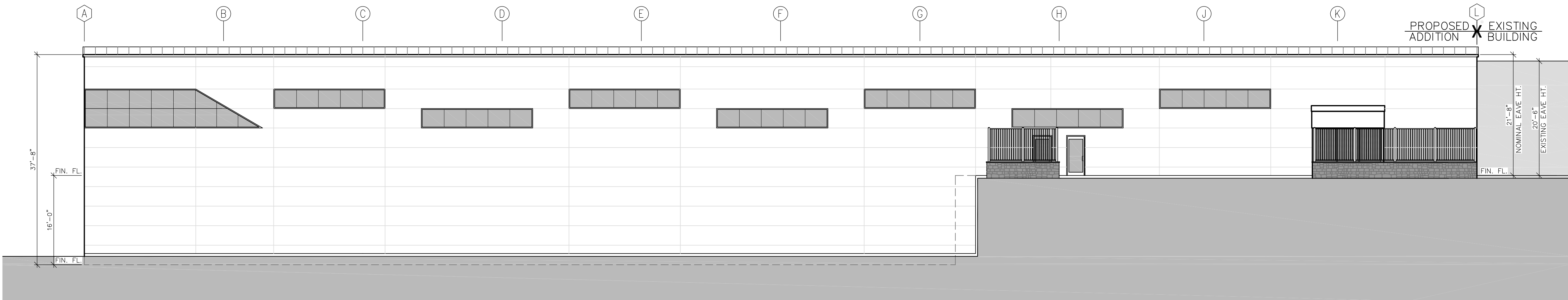




WEST ELEVATION  
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



EAST ELEVATION  
SCALE: 3/32" = 1'-0"

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**Borghesi**  
Building & Engineering Co., Inc.

SEAL

REVISIONS

PROJECT  
TOMZ CORPORATION  
LARGE ADDITION  
#47 EPISCOPAL ROAD, BERLIN, CT

DRAWN BY  
J.B.M.

DATE  
12/08/20

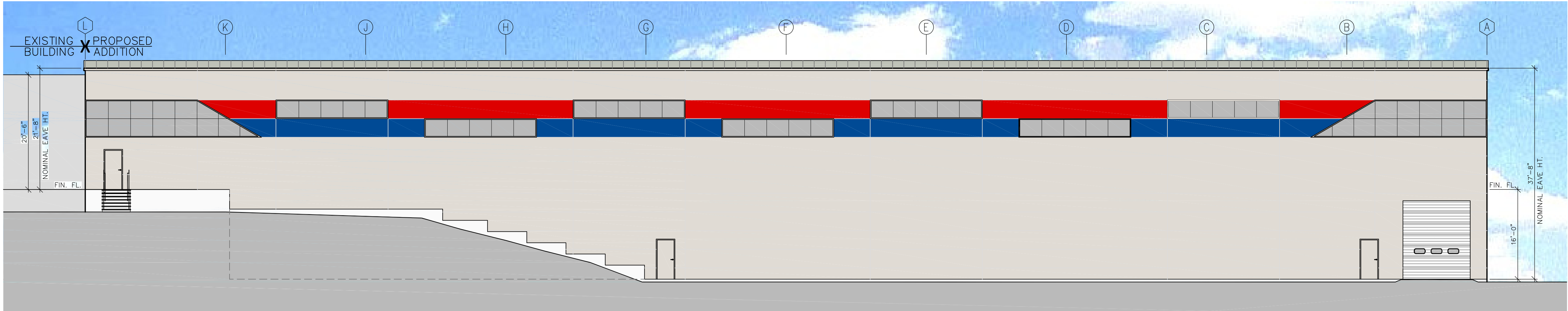
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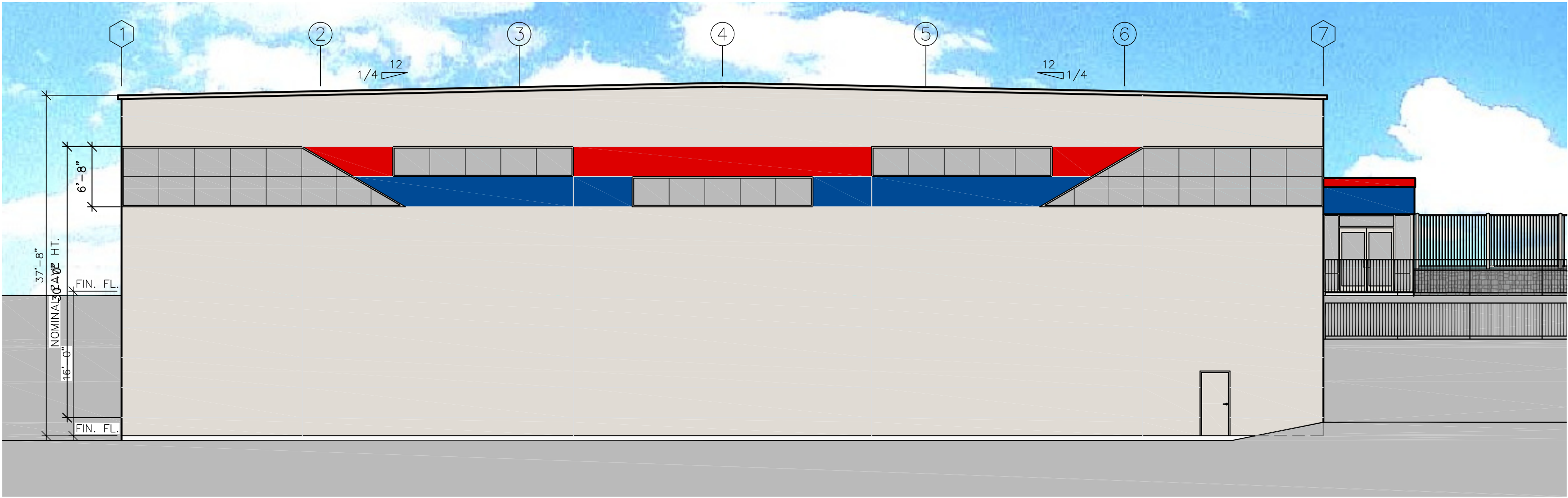
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TORRINGTON, CT 06790  
860-482-7613 / WEB SITE: www.borghesibuilding.com

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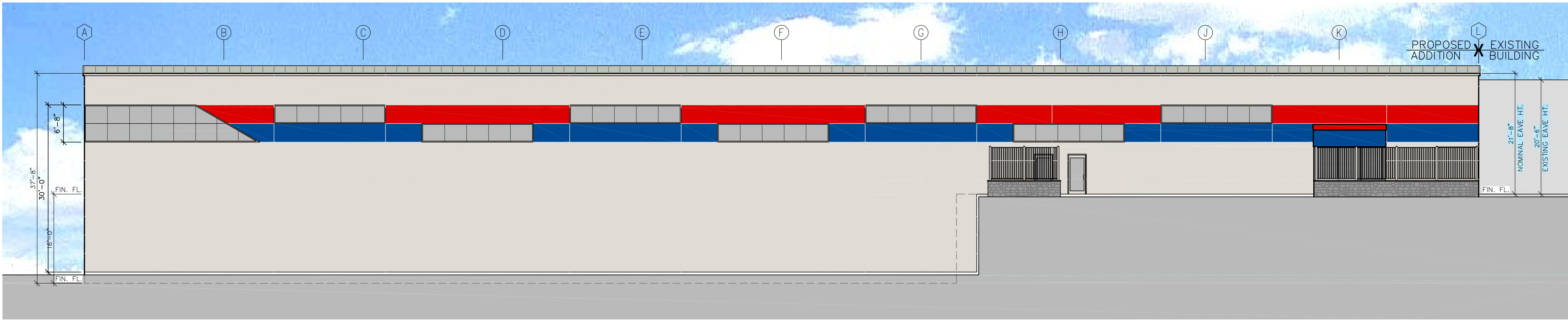
A2



WEST ELEVATION  
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



EAST ELEVATION  
SCALE: 3/32" = 1'-0"

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