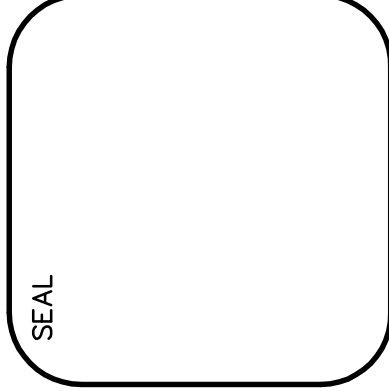
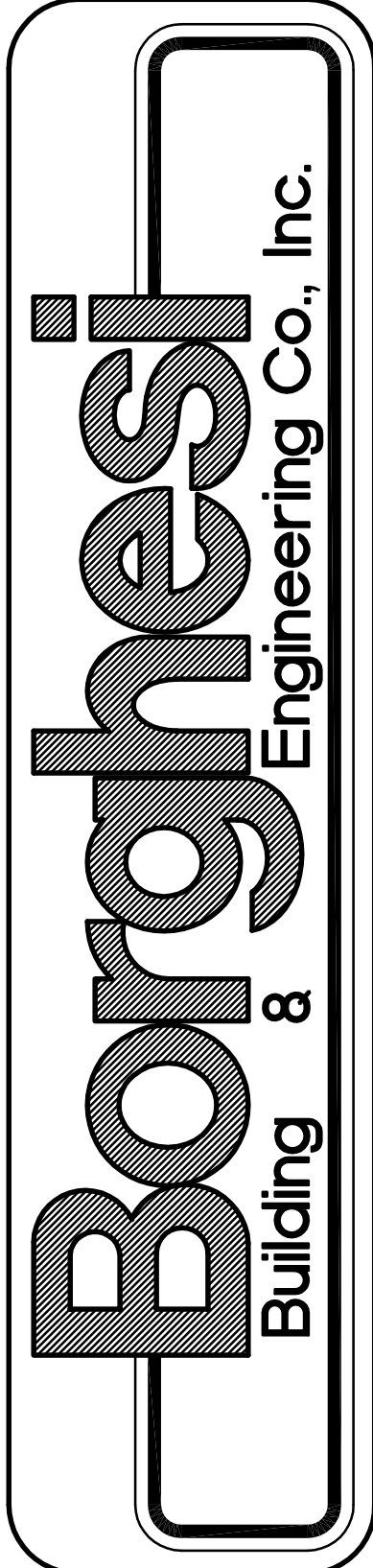
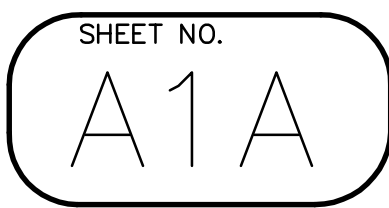


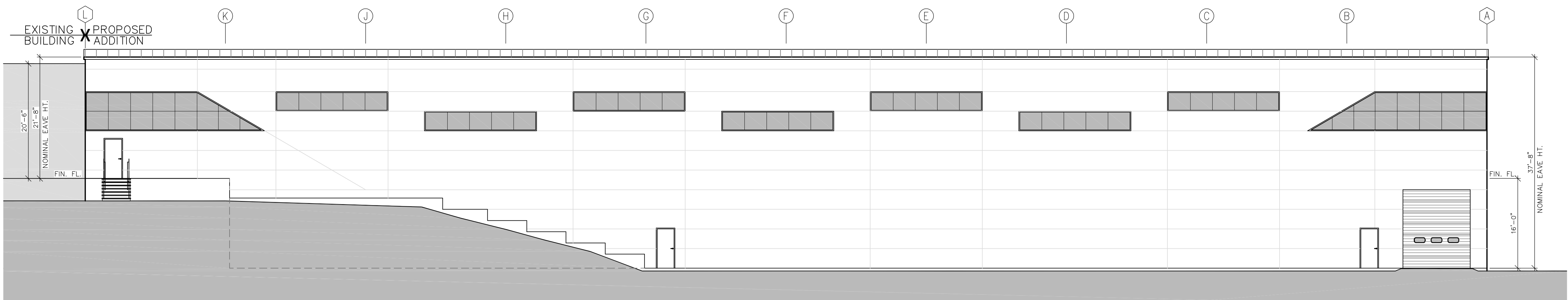
LOWER FLOOR PLAN UNDER MEZZANINE
SCALE: 3/32"=1'-0"



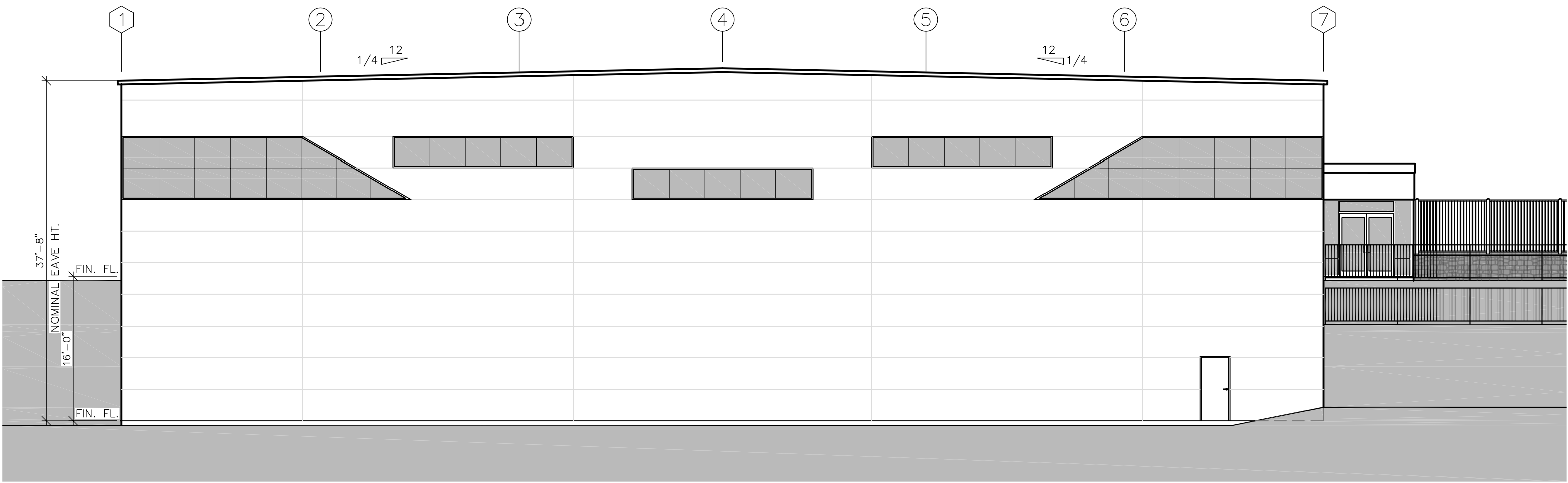
REVISIONS			

PROJECT TOMZ CORPORATION LARGE ADDITION #17 EPISCOPAL ROAD, BERLIN, CT			
DRAWN BY	J.B.M.	APPROVED BY	C.C.
DATE	12/02/20	SCALE	AS NOTED
2155 EAST MAIN STREET, TORRINGTON, CT 06790 860-462-7613 / WEB SITE: www.borghesibuilding.com			

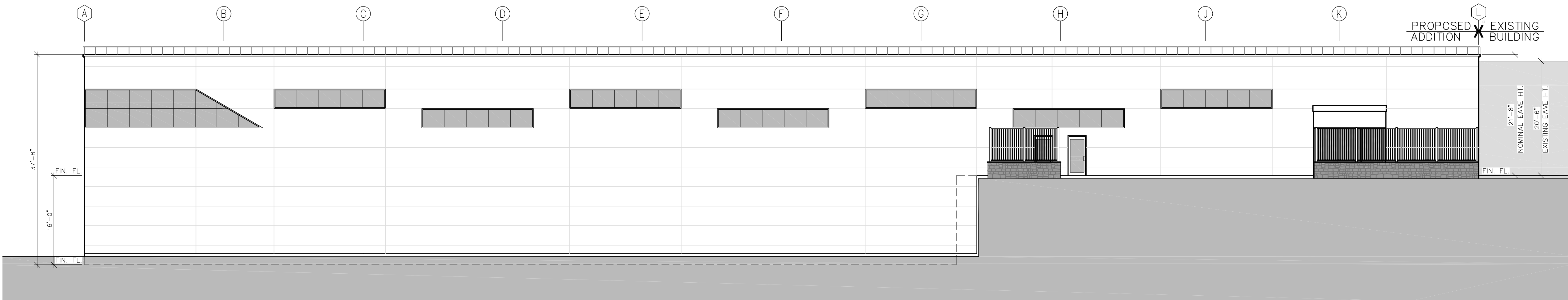




WEST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

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DISPLAYED OR OTHERWISE COMMUNICATED IN ANY
FORM OR BY ANY OTHER MEANS WITHOUT THE PRIOR
WRITTEN CONSENT OF BORGHESI BUILDING & ENGINEERING
CO., INC.

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Borghesi
Building & Engineering Co., Inc.

SEAL

REVISIONS

PROJECT
TOMZ CORPORATION
LARGE ADDITION
#47 EPISCOPAL ROAD, BERLIN, CT

DRAWN BY
J.B.M.

DATE
12/08/20

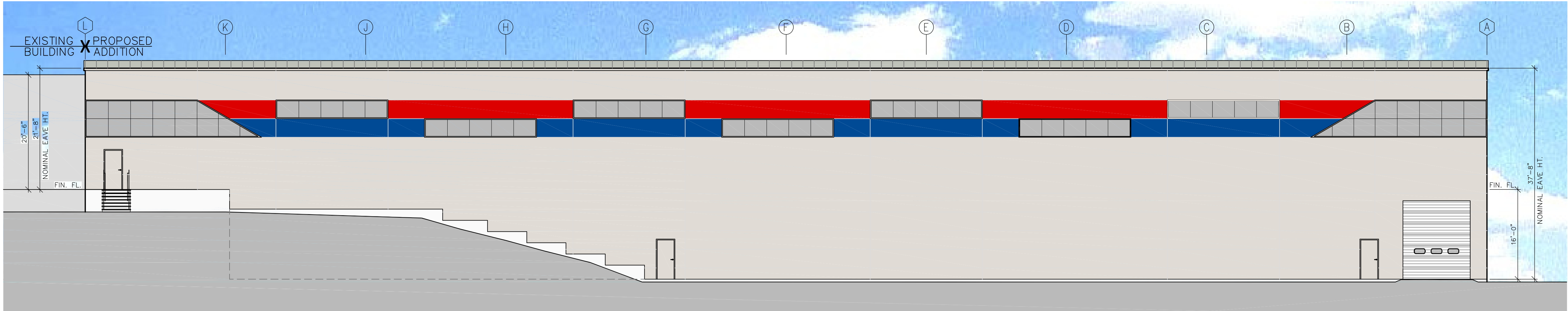
APPROVED BY
C.C.

SCALE
AS NOTED

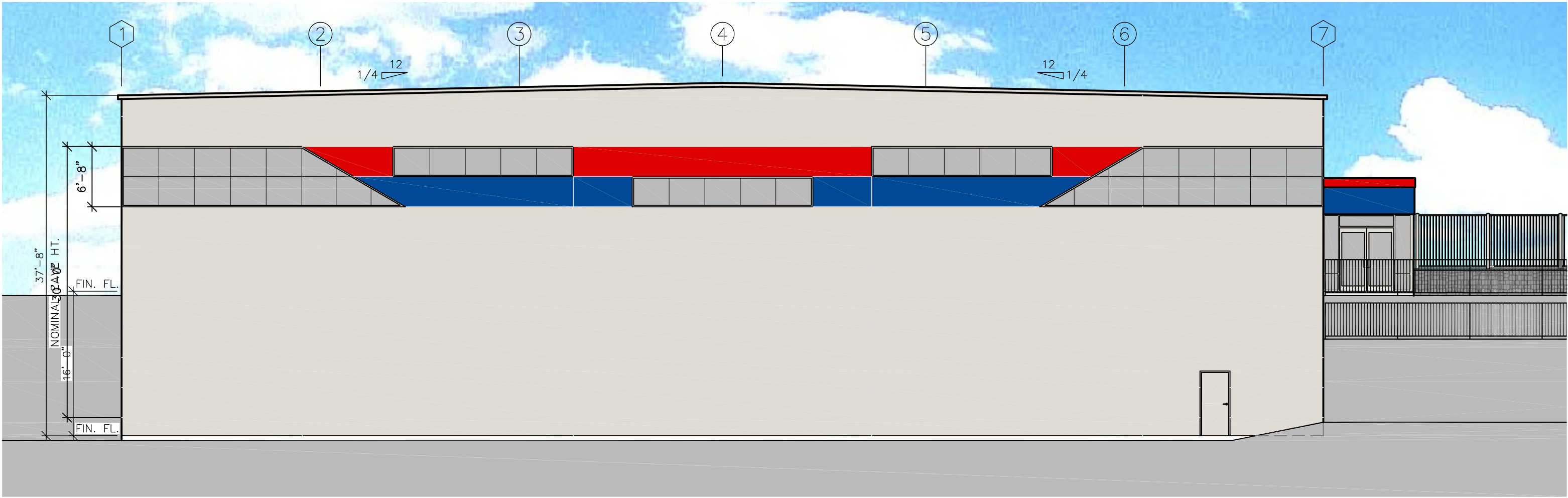
2155 EAST MAIN STREET
TORRINGTON, CT 06790
860-482-7613 / WEB SITE: www.borghesibuilding.com

SHEET NO.

A2



WEST ELEVATION
SCALE: 3/32" = 1'-0"



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



EAST ELEVATION
SCALE: 3/32" = 1'-0"

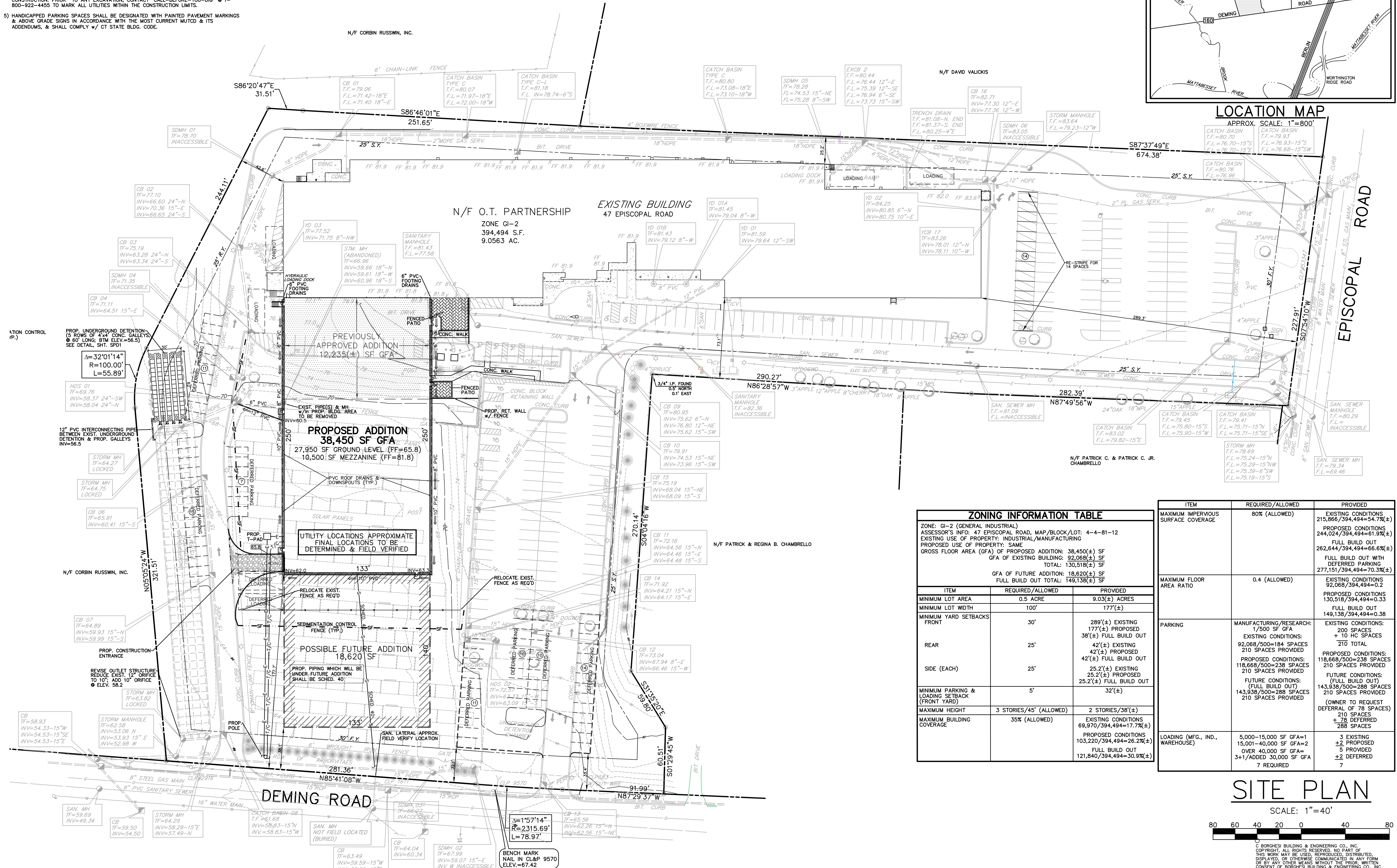
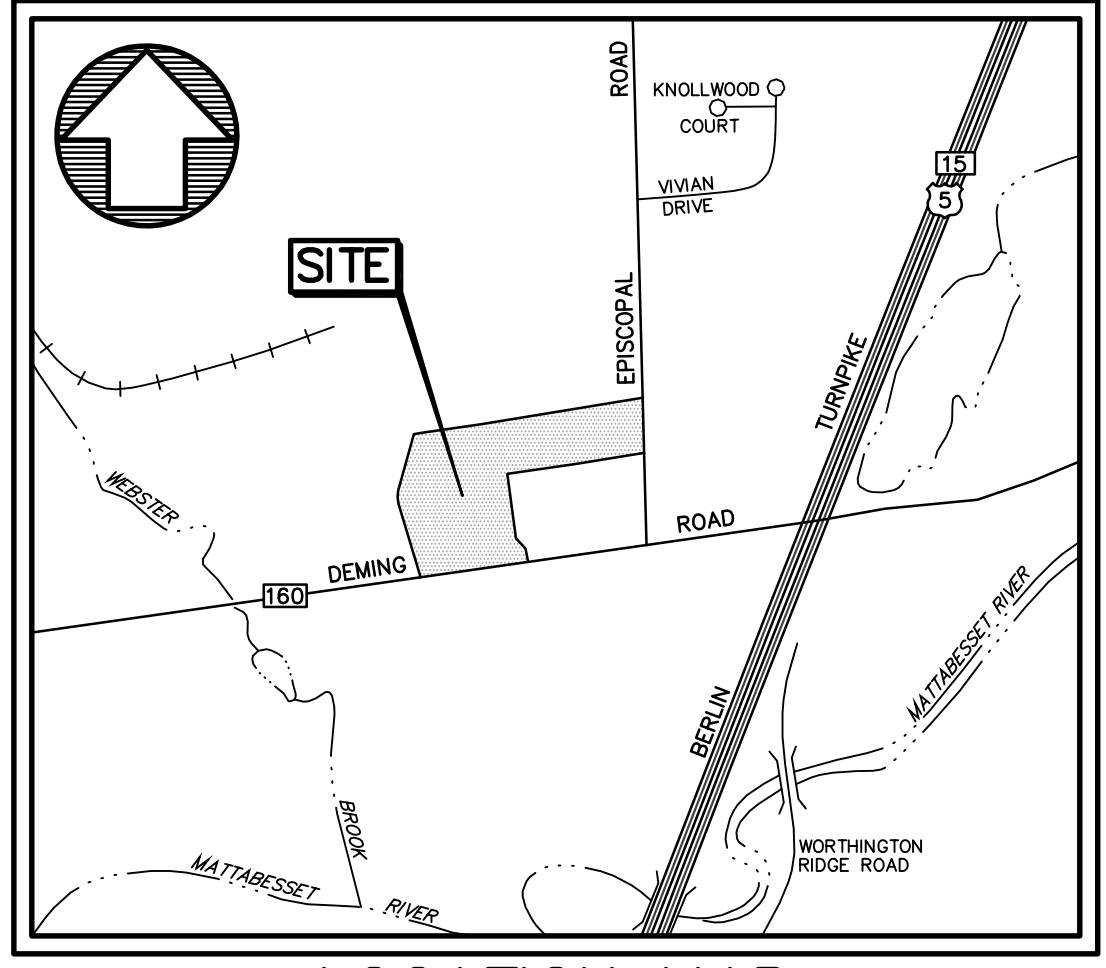
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CO., INC.

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NOTES:

- 1) MAP REFERENCES:
A) DRAWING ENTITLED "RESURVEY PREPARED FOR TOMZ CORPORATION, 47 EPISCOPAL ROAD, BERLIN, CONNECTICUT, IMPROVEMENT LOCATION SURVEY, SHEET 1 OF 1, PREPARED BY THE BONGHESANI GROUP, INC., 170 PANE ROAD, NEWINGTON, CT, DATED 10-14-20 (REFERENCE 13100-TOPO-2020.DWG)
B) OWNER:
O.T. PARTNERSHIP
47 EPISCOPAL ROAD
BERLIN, CT 06037
C) APPLICANT:
BORGHESI BUILDING & ENGINEERING CO., INC.
2155 EAST MAIN STREET
TORRINGTON, CT 06790
D) REFER TO THE FOLLOWING DRAWINGS PREPARED BY BORGHESI BUILDING & ENGINEERING CO., INC. FOR OTHER PERTINENT INFORMATION:
SP1 SITE PLAN (40 SCALE)
SP2 SITE PLAN (20 SCALE)
SPD1 SITE DETAILS
E) ALL EXISTING UTILITY LOCATIONS ARE FROM THE BEST AVAILABLE INFORMATION. CONTRACTOR TO FIELD VERIFY ALL LOCATIONS, DIMENSIONS, & ELEVATIONS PRIOR TO CONSTRUCTION. PRIOR TO ANY EXCAVATION, CONTACT "CALL-BEFORE-YOU-DIG" 1-800-922-4455 TO MARK ALL UTILITIES WITHIN THE CONSTRUCTION LIMITS.
F) HANDICAPPED PARKING SPACES SHALL BE DESIGNATED WITH PAINTED PAVEMENT MARKINGS & ABOVE GRADE SIGNS IN ACCORDANCE WITH THE MOST CURRENT MUTCD & ITS ADDENDUMS, & SHALL COMPLY W/ CT STATE BLDG. CODE.

- 2) ALL SIGNS, SIGN MOUNTINGS, & PAINTED MARKINGS SHALL MEET THE REQUIREMENTS AS SET FORTH IN THE MOST CURRENT EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) & ITS ADDENDUMS.
3) PRIOR TO BACKFILLING ANY ISLANDS REQUIRING TREES, ANY GRAVEL OR MATERIAL USED IN THE CONSTRUCTION OF THE PARKING AREAS SHALL BE REMOVED, BY THE SITE CONTRACTOR, TO A MINIMUM DEPTH OF 2' (TWO FEET), & REPLACED WITH TOPSOIL, BY THE SITE CONTRACTOR. ANY AREAS TO BE PLANTED WITH SHRUBS &/OR PERENNIALS SHALL HAVE ANY UNSUITABLE MATERIAL REMOVED, BY THE SITE CONTRACTOR, TO A MINIMUM DEPTH OF 18" (EIGHTEEN INCHES), & REPLACED WITH TOPSOIL, BY THE SITE CONTRACTOR.
4) ALL LIGHT FIXTURES SHALL BE FULL CUT-OFF FIXTURES.

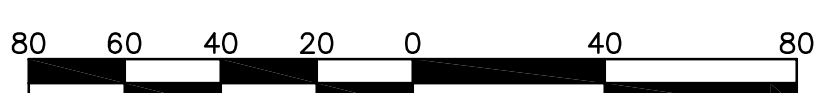


ZONING INFORMATION TABLE		
ZONE: GI-2 (GENERAL INDUSTRIAL) ASSESSOR'S INFO: 47 EPISCOPAL ROAD, MAP/BLOCK/LOT: 4-4-81-12 EXISTING USE OF PROPERTY: INDUSTRIAL/MANUFACTURING PROPOSED USE OF PROPERTY: SAME GROSS FLOOR AREA (GFA) OF PROPOSED ADDITION: 38,450(±) SF GFA OF EXISTING BUILDING: 92,068(±) SF TOTAL: 130,518(±) SF GFA OF FUTURE ADDITION: 18,620(±) SF FULL BUILD OUT TOTAL: 149,138(±) SF		
ITEM	REQUIRED/ALLOWED	PROVIDED
MINIMUM LOT AREA	0.5 ACRE	9.03(±) ACRES
MINIMUM LOT WIDTH	100'	177(±)'
MINIMUM YARD SETBACKS		
FRONT	30'	289(±) EXISTING 177(±) PROPOSED 38(±) FULL BUILD OUT
REAR	25'	42(±) EXISTING 42(±) PROPOSED 42(±) FULL BUILD OUT
SIDE (EACH)	25'	25.2(±) EXISTING 25.2(±) PROPOSED 25.2(±) FULL BUILD OUT
MINIMUM PARKING & LOADING SETBACK (FRONT YARD)	5'	32(±)'
MAXIMUM HEIGHT	3 STORIES/45' (ALLOWED)	2 STORIES/38(±)'
MAXIMUM BUILDING COVERAGE	35% (ALLOWED)	EXISTING CONDITIONS: 69.970/394,494=17.7%(±) PROPOSED CONDITIONS: 103,220/394,494=26.2%(±) FULL BUILD OUT: 121,840/394,494=30.9%(±)

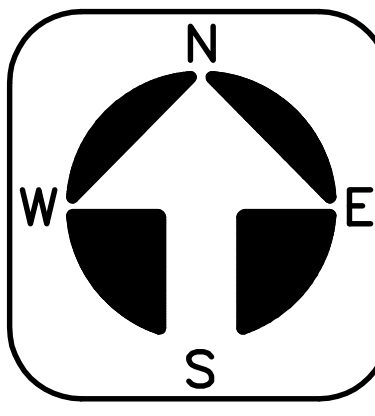
ITEM	REQUIRED/ALLOWED	PROVIDED
MAXIMUM IMPERVIOUS SURFACE COVERAGE	80% (ALLOWED)	EXISTING CONDITIONS: 215,868/394,494=54.7%(±) PROPOSED CONDITIONS: 244,024/394,494=61.9%(±) FULL BUILD OUT: 262,644/394,494=66.6%(±) FULL BUILD OUT WITH DEFERRED PARKING: 277,151/394,494=70.3%(±)
MAXIMUM FLOOR AREA RATIO	0.4 (ALLOWED)	EXISTING CONDITIONS: 92,068/394,494=0.23 PROPOSED CONDITIONS: 130,518/394,494=0.33 FULL BUILD OUT: 149,138/394,494=0.38
PARKING	MANUFACTURING/RESEARCH: 1/500 SF GFA EXISTING CONDITIONS: 92,068/500=184 SPACES 210 SPACES PROVIDED PROPOSED CONDITIONS: 118,668/500=238 SPACES 210 SPACES PROVIDED FUTURE CONDITIONS: (FULL BUILD OUT) 143,938/500=288 SPACES 210 SPACES PROVIDED (OWNER TO REQUEST DEFERRAL OF 78 SPACES)	EXISTING CONDITIONS: 200 SPACES + 10 HO SPACES 210 TOTAL PROPOSED CONDITIONS: 118,668/500=238 SPACES 210 SPACES PROVIDED FUTURE CONDITIONS: (FULL BUILD OUT) 143,938/500=288 SPACES 210 SPACES PROVIDED (OWNER TO REQUEST DEFERRAL OF 78 SPACES)
LOADING (MFG, IND., WAREHOUSE)	5,000-15,000 SF GFA=1 15,001-40,000 SF GFA=2 OVER 40,000 SF GFA=3+1/ADDED 30,000 SF GFA 7 REQUIRED	3 EXISTING +2 PROPOSED 5 PROVIDED +2 DEFERRED 7

SITE PLAN

SCALE: 1"=40'



Borghesi Building & Engineering Co., Inc.



SEAL

REVISIONS

PROJECT: 47 EPISCOPAL ROAD, BERLIN, CT
DRAWN BY: G.R.W.
DATE: 12-11-20
APPROVED BY: J.H.P.
SCALE: AS NOTED
SHEET NO. SP1

SHEET NO. SP1

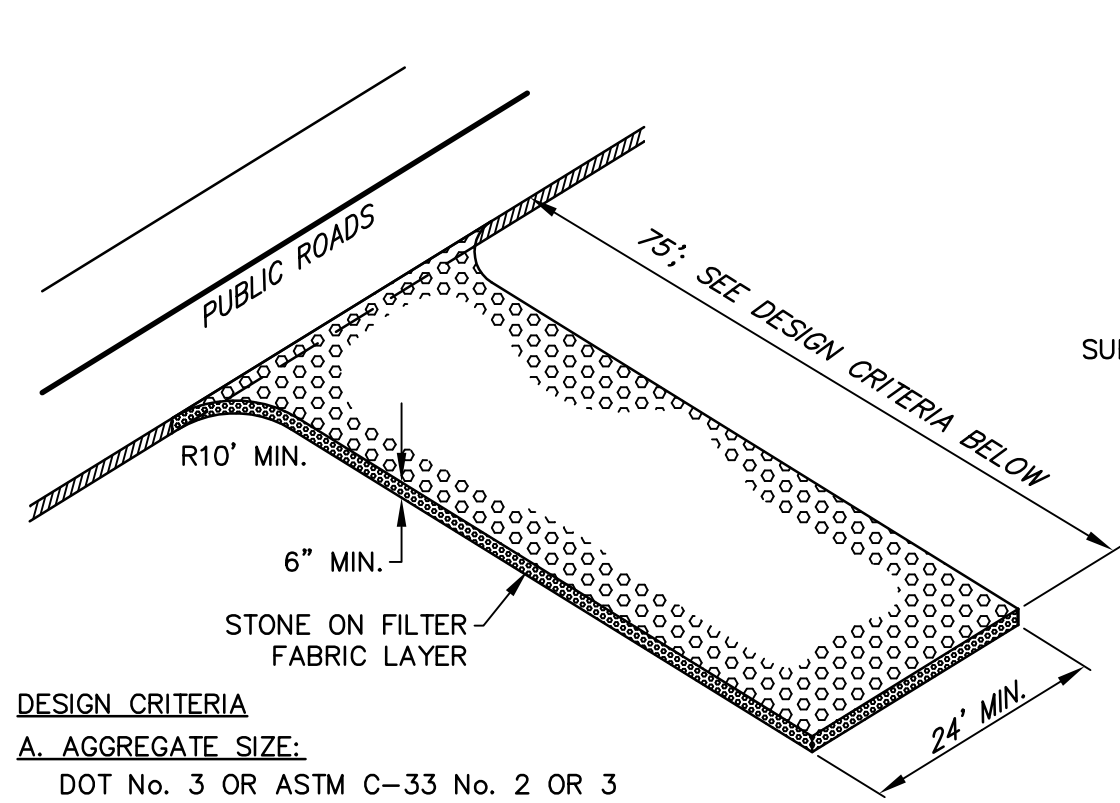
SOIL EROSION & SEDIMENT CONTROL PLAN NARRATIVE

INTRODUCTION:
PURSUANT TO CONNECTICUT P.A. 83-388, A SOIL EROSION AND SEDIMENT CONTROL PLAN AND NARRATIVE IS REQUIRED FOR THIS PROJECT.
THIS NARRATIVE DESCRIBES MEASURES REQUIRED TO CONTROL SOIL EROSION DURING AND AFTER CONSTRUCTION OF THE PROPOSED SITE WORK SHOWN ON THIS PLAN. THE SOIL EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THIS PLAN ARE DESIGNED IN ACCORDANCE WITH A DOCUMENT ENTITLED "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CT DEP.
THE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106 AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.
PROJECT DESCRIPTION:
THE APPLICANT PROPOSES TO CONSTRUCT A 33,250(±) SQUARE FOOT ADDITION. EXISTING PARKING WILL REMAIN, WITH MINOR RECONFIGURATION. THE BUILDING WILL BE SERVED BY PUBLIC SEWER AND WATER. THE SITE IS LOCATED AT 47 EPISCOPAL ROAD IN BERLIN, CT.
RUN OFF FROM THE DEVELOPED SITE WILL BE COLLECTED IN CATCH BASINS AND PIPED TO AN ON-SITE, UNDERGROUND DETENTION SYSTEM.
ANTICIPATED START OF CONSTRUCTION IS WINTER/SPRING OF 2021. SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED AND WILL BE IN PROPER WORKING ORDER BEFORE CONSTRUCTION BEGINS. SEDIMENT AND EROSION MEASURES WILL BE MAINTAINED IN PROPER WORKING ORDER THROUGH COMPLETION OF CONSTRUCTION AND WILL REMAIN IN PLACE AND CONTINUE TO BE MAINTAINED AFTER CONSTRUCTION HAS BEEN COMPLETED, UNTIL ALL DISTURBED AREAS ARE STABILIZED.

CONSTRUCTION SCHEDULE:
1. OBTAIN A COPY OF ALL PROJECT LAND-USE PERMITS. THE CONTRACTOR SHALL BE FAMILIAR WITH ALL PERMIT REQUIREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
2. INSTALL SILTATION CONTROL FENCES AND FILTER FABRIC SILT BARRIERS AT EXISTING CATCH BASINS.
3. INSTALL CONSTRUCTION ENTRANCE.
4. REMOVE TREES, BRUSH, AND STUMPS IN AREAS TO BE CLEARED AS REQUIRED.
5. STRIP TOPSOIL FROM WORK AREAS, STOCKPILE AND INSTALL SILT FENCE AT TOE OF PILE.
6. ROUGH GRADE SITE, BEGIN CONSTRUCTION OF BUILDING.
7. INSTALL UTILITIES.
8. BACKFILL FOUNDATION.
9. GRADE, STABILIZE AND SEED ALL DISTURBED AREAS.
10. MAINTAIN ALL EROSION CONTROL MEASURES UNTIL A DURABLE GRASS STAND IS ESTABLISHED IN ALL NON-PAVED AREAS.

LAND DISTURBANCE:
THE FOLLOWING PROCEDURES SHALL BE USED FOR ALL LAND DISTURBING ACTIVITIES:
1. ALL AREAS SHALL REMAIN UNDISTURBED UNTIL IMMEDIATELY PRIOR TO PROPOSED CONSTRUCTION ACTIVITIES.
2. LAND CLEARING SHALL PROCEED AT THE SAME RATE AS CONSTRUCTION.
3. REMOVAL OF VEGETATION SHALL BE RESTRICTED TO THOSE AREAS NECESSARY FOR CURRENT CONSTRUCTION ACTIVITIES.
4. DISTURBED AREAS SHALL BE LIMITED TO A MAXIMUM OF 20 FEET BEYOND THE PHYSICAL DIMENSIONS OF THE ROADS, DRIVEWAYS, UTILITY TRENCHES, SEPTIC SYSTEMS, AND AREAS TO BE GRADED.
5. CONSTRUCTION EQUIPMENT AND MATERIALS SHALL BE CONFINED TO THE DISTURBED AREAS ONLY.
6. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN OR STATE, OF ANY DEBRIS FROM HIS CONSTRUCTION ACTIVITIES.
7. THE USE, STORAGE, OR DISPOSAL OF ANY MATERIAL NOT IN ACCORDANCE WITH WHAT IS SHOWN ON THE APPROVED PLAN OR REQUIRED BY THE REGULATORY AGENCY MAY RESULT IN THE IMMEDIATE REVOCATION OF ANY PERMIT/APPROVAL GRANTED BY THE COMMISSION.
GENERAL NOTES:
WHENEVER CONSTRUCTION SHALL TAKE PLACE IN AREAS DESIGNATED AS WETLANDS OR AS AREAS TO BE ECOLOGICALLY PROTECTED, THE CONTRACTOR SHALL TAKE SPECIAL CARE WITH HIS CONSTRUCTION METHODS AND SHALL COMPLY WITH THE FOLLOWING REGULATIONS:
THE DIVERSION OF WATERCOURSES SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT INJURY TO PERSONS OR PUBLIC HEALTH AND TO PREVENT FLOODING OF PUBLIC OR PRIVATE PROPERTY.
ALL EXISTING VEGETATION SHALL BE PROTECTED, AND ONLY THAT CLEARING AND CUTTING WHICH IS ABSOLUTELY NECESSARY FOR THE PROPOSED CONSTRUCTION OR TO CLEAR THE PERMANENT OR TEMPORARY RIGHT-OF-WAY SHALL BE ALLOWED. CARE SHALL BE TAKEN TO PRESERVE ALL SPECIMEN TREES. THOSE TREES IDENTIFIED TO BE SAVED SHALL BE PROTECTED FROM DAMAGE BY CONSTRUCTION EQUIPMENT BY SUITABLE MEANS. ALL REGULATED AREAS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AND CONTOURS.
EXCESS EXCAVATED MATERIAL, INCLUDING THAT RESULTING FROM CLEARING AND GRUBBING, SHALL NOT BE DEPOSITED WITHIN THE REGULATED AREA.
WORK WITHIN REGULATED AREAS:
IF WORK IS REQUIRED WITHIN A REGULATED WETLAND, WATER COURSE, OR ADJACENT AREA, SITE DISTURBANCE SHALL BE LIMITED TO THE AREA ABSOLUTELY NECESSARY FOR CONSTRUCTION. DISTURBED AREAS SHALL BE RESTORED AS CLOSELY AS POSSIBLE TO THEIR ORIGINAL NATURAL STATE. THE DEVELOPER SHALL OBTAIN THE NECESSARY PERMIT(S) FROM THE TOWN WETLANDS COMMISSION. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE PERMIT, MAPS APPROVED BY THE TOWN INDICATING THE LIMITS OF INLAND WETLANDS, AND CONDITIONS FOR CONSTRUCTION WITHIN THESE REGULATED AREAS. THE CONTRACTOR SHALL BE REQUIRED TO STRICTLY ADHERE TO ALL REQUIREMENTS AND RESTRICTIONS IMPOSED BY THE WETLANDS PERMIT.
SOIL EROSION AND SEDIMENT CONTROL MEASURES:
ALL WATERCOURSES SHALL BE PROTECTED FROM SEDIMENTATION BOTH DURING AND AFTER CONSTRUCTION. THIS PROVISION APPLIES PARTICULARLY TO DEWATERING ACTIVITIES, STORAGE OF EXCAVATED OR STOCKPILED MATERIAL, AND TRENCH OR DITCH EXCAVATION.
HAYBALES OR SYNTHETIC FILTER BARRIER FENCE, AS SPECIFIED, IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS, OR WATER COURSES. HAYBALES OR SILT FENCE SHALL BE STAKED AS SHOWN ON THE PLAN, AND ARE TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE HAYBALES OR SILT FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT UPON. HAYBALES AND SILT FENCES ARE TO REMAIN IN PLACE AND BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCES ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.
DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA AS POSSIBLE FOR AS SHORT A TIME AS POSSIBLE.
DURING CONSTRUCTION, ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE REPAIR, REPLACEMENT, AND MAINTENANCE OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF THE TOWN.

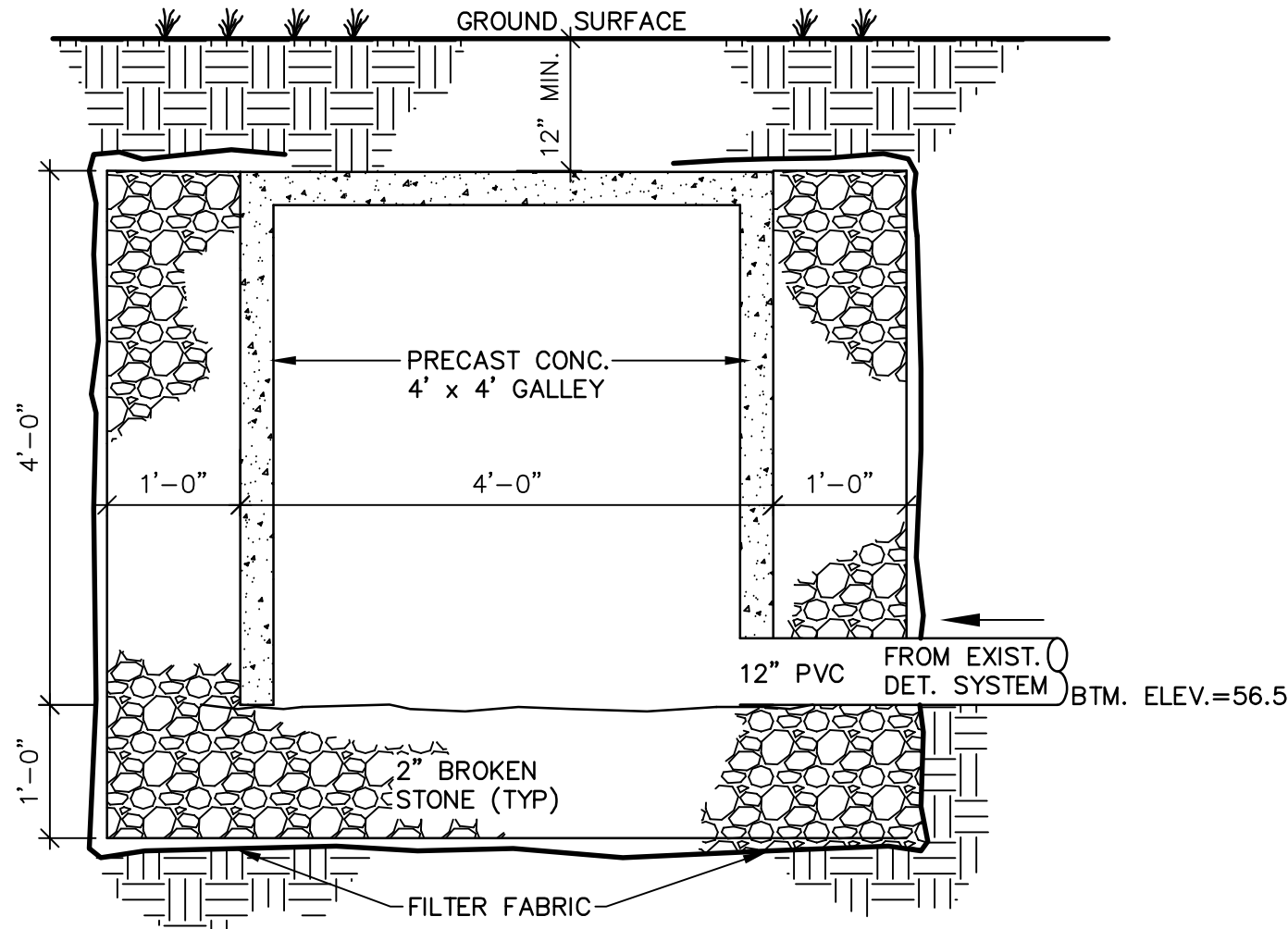
STRIPPING AND STOCKPILING:
STOCKPILES THAT CONSIST OF ERODIBLE MATERIAL, SUCH AS STRIPPED TOPSOIL, ROAD FILL, SOILS EXCAVATED FROM ROAD CUTS AND FOUNDATION HOLES, ETC., SHALL CONFORM TO THE FOLLOWING CRITERIA:
1. LOCATION-ALL STOCKPILES SHALL BE LOCATED WITHIN THE AREA OF THE PROPOSED DISTURBANCE AND AWAY FROM THE FOLLOWING:
-WETLANDS
-WATER CONVEYANCE CHANNELS
-STORM DRAINAGE SYSTEM INLETS
-TOE OF STEEP SLOPES
2. SEDIMENT CONTROL-ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT BARRIERS, EITHER GEOTEXTILE SILT FENCE OR HAY BALE BARRIERS, PLACED APPROXIMATELY TEN FEET (10') FROM THE TOE OF SLOPE. THE SIDE SLOPES OF ERODIBLE STOCKPILED MATERIAL SHOULD BE NO STEEPER THAN 2:1. STOCKPILED MATERIAL NOT TO BE USED WITHIN THIRTY DAYS SHALL BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE.
THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM, OR ORGANIC MATERIAL PRIOR TO TRENCHING OPERATIONS, AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS INLAND WETLANDS, THE UPPER STRATA, TO A DEPTH OF 2 FEET, SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOT INTRODUCE ANY FILL MATERIALS INTO ANY AREAS DESIGNATED AS INLAND WETLANDS WITHOUT FIRST OBTAINING A PERMIT(S) FROM THE TOWN WETLANDS COMMISSION.
THE CONTRACTOR SHALL MAINTAIN ALL BACKFILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACKFILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEDED IF NECESSARY.
RIPRAP:
RIPRAP, IF SPECIFIED, IS TO BE INSTALLED FOR ENERGY DISSIPATION AND TO CONTROL EROSION. THE RIPRAP IS TO BE INSTALLED BEFORE THE OUTLET STRUCTURES ARE WORKING, AND ALL ADJACENT AREAS ARE TO BE IMMEDIATELY SEEDED, IF IN SEASON, OR THE SOIL IS TO BE STABILIZED BY OTHER METHODS. THIS MAY REQUIRE SODDING, MULCHING, OR OTHER METHODS AS DEFINED IN THE "GUIDELINES".
RIPRAP SHALL BE INSPECTED PERIODICALLY TO DETERMINE IF HIGH FLOWS HAVE CAUSED SCOUR BENEATH THE RIPRAP OR FILTER BLANKET, OR DISLOADED ANY OF THE RIPRAP OR FILTER BLANKET MATERIALS. REPAIR IMMEDIATELY UPON OBSERVED FAILURE.
DISPOSAL OF TREES AND BRUSH:
ALL VEGETATION REQUIRING REMOVAL FOR CONSTRUCTION OF THE PROJECT SHALL BE DISPOSED OF OFF-SITE. NO TREES, BRUSH, OR STUMPS SHALL BE BURIED OR OTHERWISE DISPOSED OF ON-SITE.
TRENCH EXCAVATION AND BACKFILL:
CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO ACCOMMODATE THE WORK.
TRENCH EXCAVATION, BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY, SHALL BE STOCKPILED AND USED AS THE TRENCH BACKFILL MATERIAL, UNLESS THE ENGINEER DECLARES IT UNSUITABLE FOR BACKFILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR.
ESTABLISH VEGETATION COVER ON DISTURBED AREAS:
1. SCARIFY SURFACE OF ALL AREAS TO BE TOPSOILED; PLACE A MINIMUM OF 4" TOPSOIL ON ALL AREAS TO BE SEEDED.
2. FERTILIZE AT THE FOLLOWING RATES:
a) FOR SPRING SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL. SIX TO EIGHT WEEKS LATER AN ADDITIONAL 10 LB.s/1000 SF IS TO BE APPLIED.
b) FOR FALL SEEDING, APPLY 19-19-19 FERTILIZER AT A RATE OF 10 LB.s/1000 SF AND WORK INTO SOIL.
3. SMOOTH AND FIRM SEEDBED; APPLY SEED AT THE RATE(S) SPECIFIED BELOW. COVER SEED WITH NOT MORE THAN 1/4" OF SOIL.
APPLY APPROPRIATE SEED MIXTURE PER THE FOLLOWING:
PERMANENT SEEDING
30% CREEPING RED FESCUE
35% SHAMROCK KENTUCKY BLUEGRASS
35% ALL-SPORT PERENNIAL RYE
TEMPORARY SEEDING (WINTER SOIL PROTECTION)
ANNUAL RYE OR PERENNIAL RYE
APPLICATION RATE: 5 LB.s/1000 SF
APPLICATION RATE: 2 LB.s/1000 SF
4. MULCH IMMEDIATELY WITH HAY FREE FROM WEED SEEDS AT A RATE OF 3 BALES/1000 SF.



DESIGN CRITERIA
A. AGGREGATE SIZE:
DOT No. 3 OR ASTM C-33 No. 2 OR 3
B. ENTRANCE DIMENSIONS:
THICKNESS-NOT LESS THAN SIX (6) INCHES OF STONE ON FILTER FABRIC.
WIDTH-TWENTY-FOUR (24) MIN., w/ POINTS OF INGRESS/EGRESS FLARED SUFFICIENTLY TO ACCOMMODATE CONSTRUCTION VEHICLES USED ON SITE
LENGTH-50 FEET MINIMUM WHERE THE SOILS ARE SANDS OR GRAVELS, OR 100 FEET MINIMUM WHERE SOILS ARE CLAYS OR SILTS, EXCEPT WHERE THE TRAVELED LENGTH IS LESS THAN 50 OR 100 FEET RESPECTIVELY
AT POORLY DRAINED LOCATIONS, SUBSURFACE DRAINAGE SHOULD BE INSTALLED BEFORE INSTALLING THE STABILIZED CONSTRUCTION ENTRANCE

CONSTRUCTION ENTRANCE

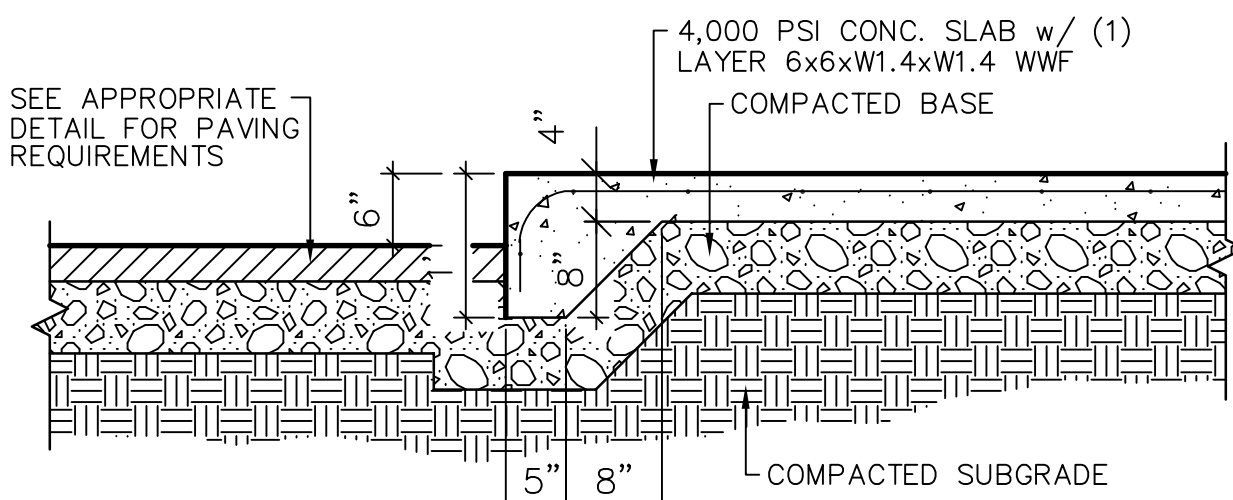
N.T.S.



NOTES:
1) PROVIDE 2' OF BROKEN STONE BETWEEN EACH ROW OF GALLEYS & 1' AROUND PERIMETER OF SYSTEM.
2) PROVIDE CLEAN OUT IN EACH END GALLEY.

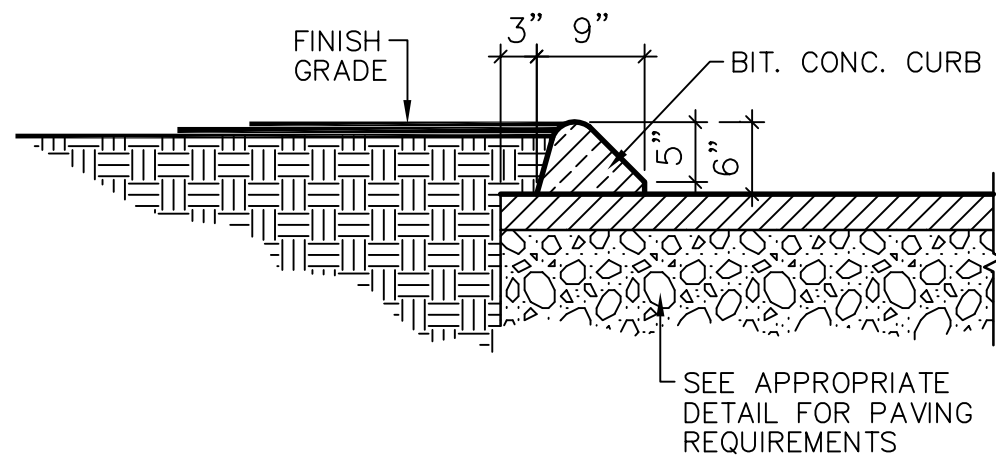
GALLEY SECTION

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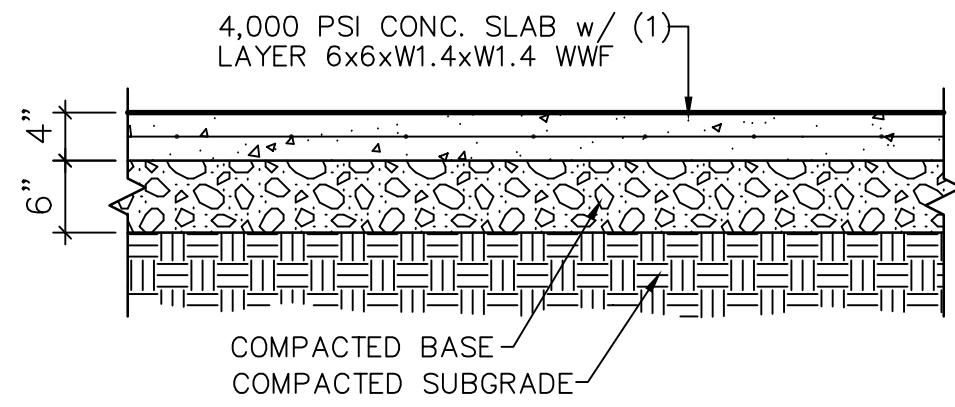
MONOLITHIC CONCRETE CURB

N.T.S.



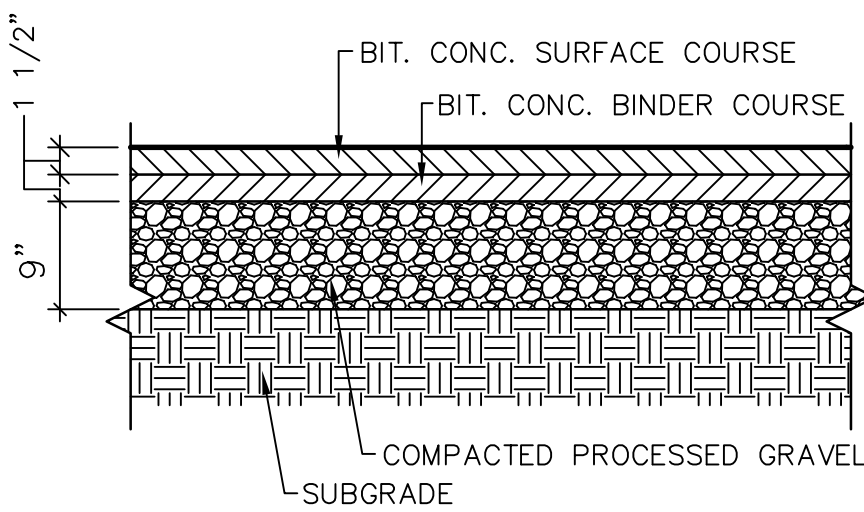
BITUMINOUS CONCRETE CURB

N.T.S.



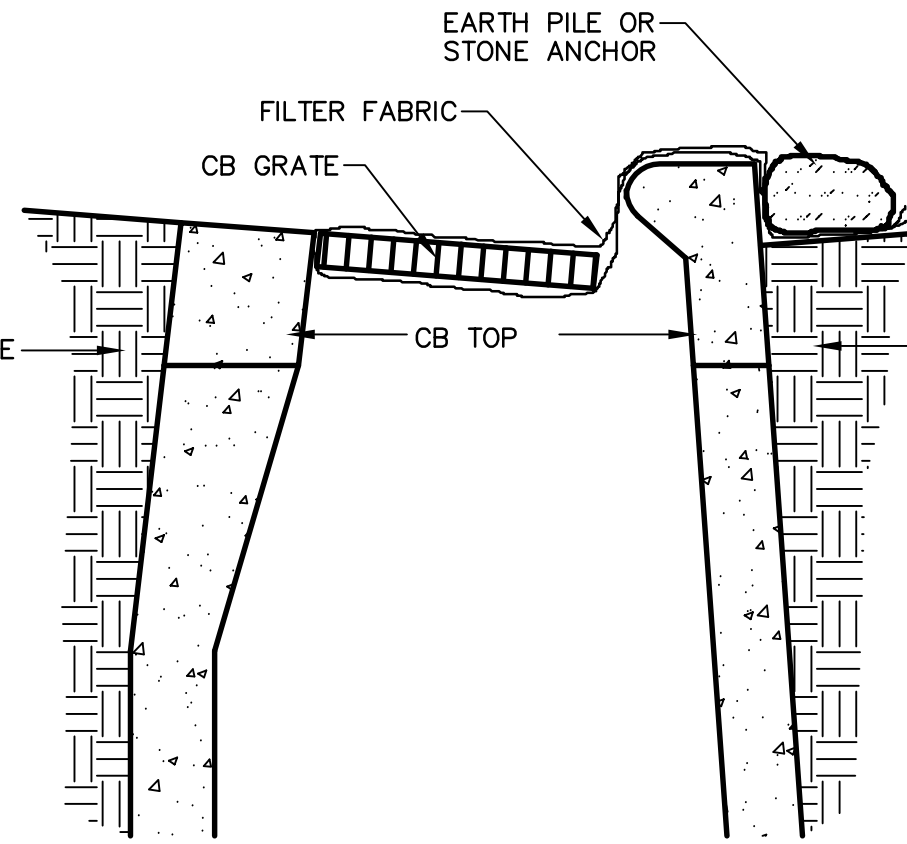
CONCRETE WALK PAVEMENT

N.T.S.



BITUMINOUS CONCRETE PAVEMENT

N.T.S.

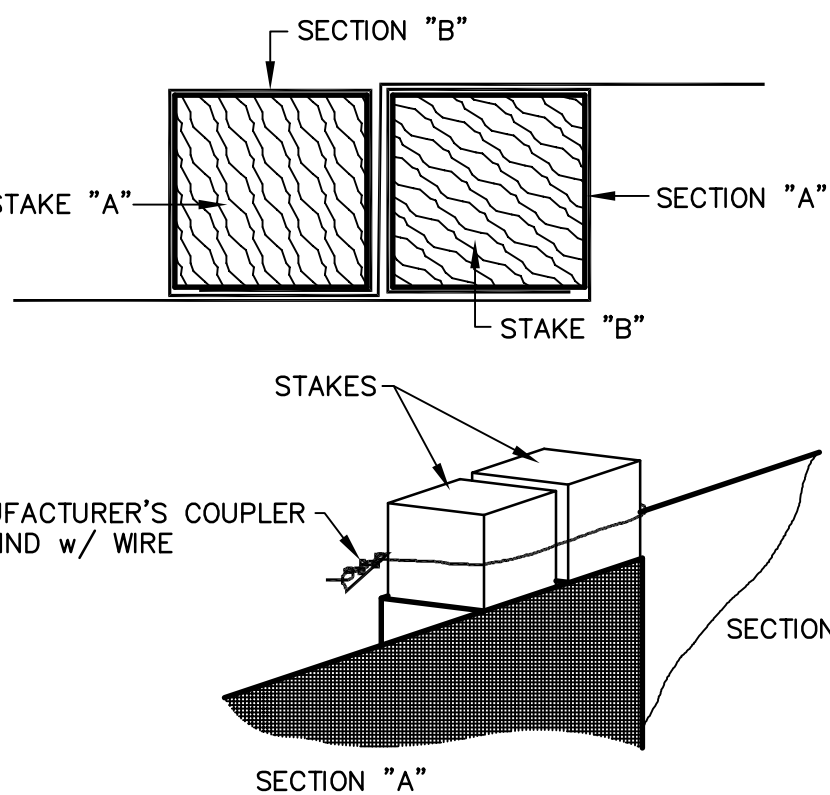
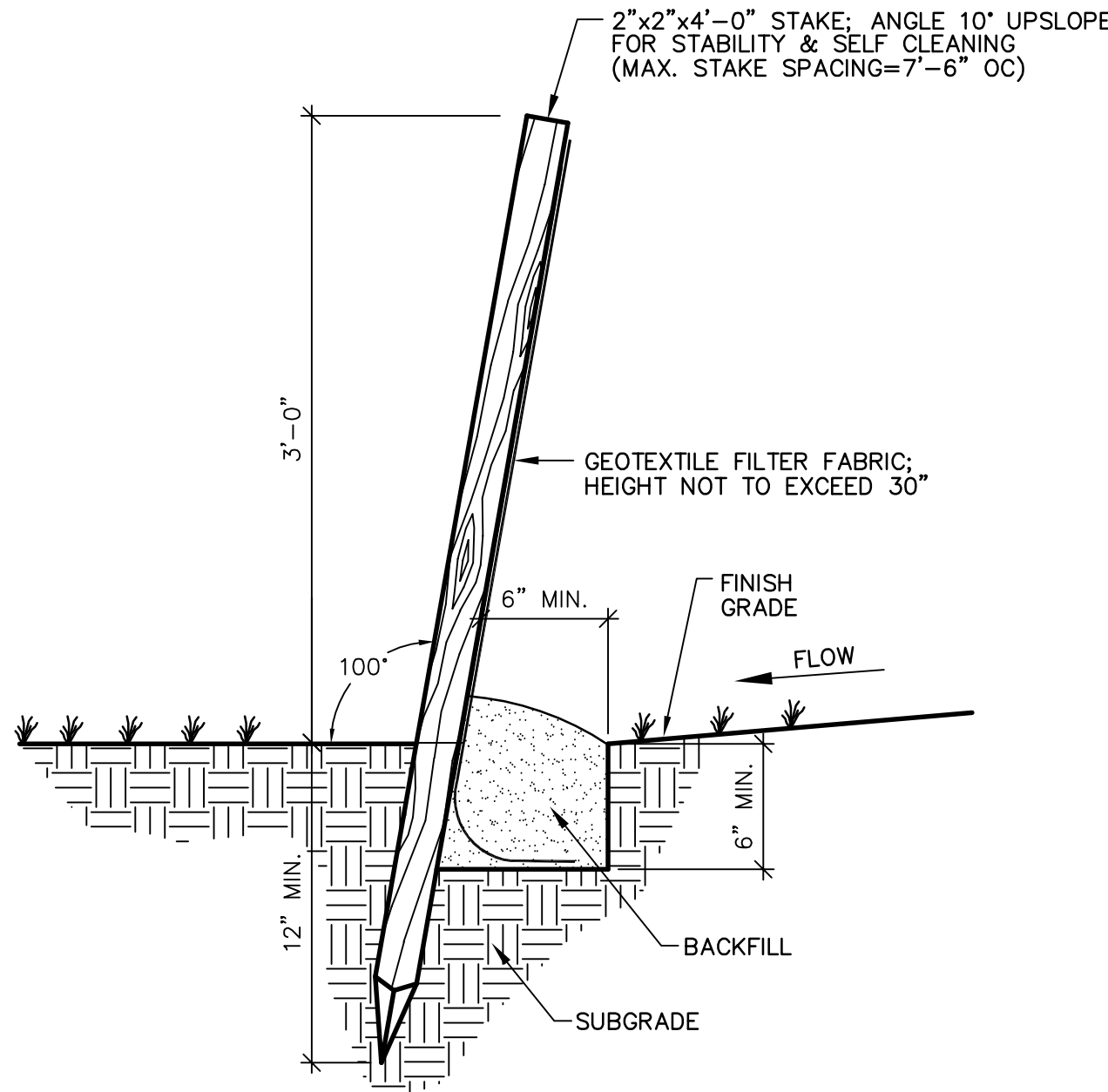


NOTE:
REMOVE CB GRATE; PLACE FILTER FABRIC; REPLACE GRATE, TAKING CARE NOT TO DAMAGE FILTER FABRIC. ANCHOR w/ STONE OR EARTH PILE

TYPE "C"

FILTER FABRIC SILT BARRIER AT CATCH BASIN

N.T.S.



SILTATION CONTROL FENCE

N.T.S.

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Borghesi Building 8 Engineering Co., Inc.

SEAL

REVISIONS

PROJECT	CONZ CORPORATION
DRAWN BY	G.R.W.
DATE	12-07-20
APPROVED BY	J.H.P.
SCALE	AS NOTED
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SHEET NO.

SPD1