

BERLIN, CT.
K. J. G. 11/19/20
2020 NOV 13 AM 11:58
RECEIVED FOR RECORD
TOWN CLERK

Berlin Planning and Zoning Commission Agenda November 19, 2020

The Berlin Planning and Zoning Commission will hold a Regular Meeting on Thursday, November 19, 2020 at 7:00 P.M. in person in the Town Council Chambers, Berlin Town Hall, 240 Kensington Road, Berlin, CT. The public will also be able to access and participate in the meeting via Webex video conference and conference call as provided below. Therefore, the public may attend the meeting in person, via Webex video conference, or via telephone conference call.

<https://townofberlin.my.webex.com/townofberlin.my/j.php?MTID=m9887cf19c73c7e46733df93a9a777247>

Meeting number: 155 737 6696

Password: PZCTh700 (79284700 from phones and video systems)

Join by phone

1-408-418-9388

Access code: 155 737 6696

*****PLEASE NOTE: The agenda and all meeting materials related to the agenda items which will be distributed to the Commission will be posted on the town's website at: www.town.berlin.ct.us and will be available for viewing twenty-four (24) hours prior, during and after the meeting. Members of the public are encouraged to submit materials relevant to the applications no later than 12:00 p.m. on Wednesday, November 18, 2020, for posting prior to, during and after the meeting.**

I Call to Order

II Approval of Minutes

- a. November 5, 2020

III Request for Bond Release

- a. Request of Vincent Brescia for a bond release, 205 Christian Lane, Building E

IV Commission Business

- a. Discussion of Certificate of Occupancy request for 301 Berlin Turnpike
(Continued from November 5, 2020)

V New Business

- a. Site Plan Amendment of Barton Bovee, Authorized Agent for Sliders Bar and Grill for an addition of new outdoor seating area and adjustment of parking.
- b. Site Plan Amendment of Benjamin Tripp, 833 Deming Road, LLC, amendment to an existing approval granted on August 20, 2020 for Deming Ridge Workforce Housing Development. The proposed property will contain 11 residential structures and a clubhouse.

Continued...

VI Public Hearings

- a. Re-Subdivision Application of Pierre Bennerup for a two lot subdivision, at 1829 Orchard Road, Map 21-4, Block 115, Lot 10
- b. Special Permit/Site Plan Applications of Richard Munson, Deming Road Business Park, LLC for a building on each of four existing lots, and related site improvements.
 1. Map 10-1, Block 83, Lot 3A (7,500 sq. ft.) Deming Road, 7,500 sq. ft. building on a rear lot for contractor shop use
 2. Map 10-1, Block 83, Lot 3A1 Deming Road, 3,606 sq. ft. building for contractor shop use
 3. Map 10-1, Block 83, Lot 3A2 Deming Road, 6,750 sq. ft. building for contractor shop use
 4. Map 10-1, Block 83, Lot 3A3 (9,000 sq. ft.) Deming Road, 9,000 sq. ft. building on a rear lot for contractor shop use (*Opened October 15, 2020 - Continued to the November 19, 2020 Meeting*)
- c. Special Permit/Site Plan Applications of Thomas O'Rourke, Military Experience Museum Inc. for a Military Experience Museum at 76 Chamberlain Highway (Map 30-2, Block 74, Lot 37 and 0 Chamberlain Highway) and 0 Chamberlain Highway (Map 30-2, Block 74, Lot 39) (*Opened September 3, 2020*)

VII Old Business

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VIII Adjournment

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BERLIN TOWN CLERK

2020 NOV 13 AM 11:58

Katya G. [Signature]

BERLIN, CT.

Berlin Planning and Zoning Commission Minutes
November 5, 2020

I Call to Order

The Berlin Planning and Zoning Commission held a Regular Meeting on Thursday, November 5, 2020 in person and by Webex video and telephone conference call in the Town Council Chambers, Berlin Town Hall, 240 Kensington Road, Berlin, CT.

In attendance

Chairwoman Joan Veley

Commissioners: Diane Jorsey; Brian Rogan, Steve Wollman, Timothy Zigmont

Alternate Commissioners Steve Biella, Jr. (seated); Peter Zarabozo; George Millerd

Acting Town Planner/Zoning Enforcement Officer Maureen Giusti

Adam Levitus, Zoning Enforcement Officer

Excused

Commissioners Curtis Holtman; Jon Michael O'Brien

Chairwoman Veley announced the public hearing for the Special Permit/Site Plan Applications of Thomas O'Rourke, Military Experience Museum Inc will not be discussed at this meeting, as it will be continued to the November 19, 2020 meeting at the request of the applicant.

II Approval of Minutes

a. October 15, 2020

Commissioner Jorsey moved to approve the minutes, as presented.

Commissioner Zigmont seconded the motion which carried unanimously. Chairwoman Veley abstained from voting as she was not in attendance at that meeting.

III Request for Bond Release

a. Request of Raymond Revoir for a bond release, Italian Independent Political Club, 16 Harding Street

Ms. Giusti stated Jim Horbal, Engineering Department, has stated the bond may be released.

Commissioner Jorsey moved to release the bond. Commissioner Rogan seconded the motion which carried unanimously.

IV Schedule Public Hearings

a. Re-Subdivision Application of Pierre Bennerup for a two lot subdivision, at 1829 Orchard Road, Map 21-4, Block 115, Lot 10
Suggested Date: November 19, 2020

Commissioner Zigmont moved to schedule the public hearing for November 19, 2020.
Commissioner Jorsey seconded the motion which carried unanimously.

- b. Special Permit/Site Plan Applications of BT2008, LLC for a mixed-use development at 404 Berlin Turnpike
Suggested Date: December 3, 2020

Commissioner Jorsey moved to schedule the public hearing for December 3, 2020.
Commissioner Biella seconded the motion which carried unanimously.

V Commission Business

- a. Discussion of consideration of allowing “clean contractors” on the Berlin Turnpike, Christopher Edge, Director of Economic Development

Mr. Chris Edge, Director of Economic Development, Town of Berlin, stated he is considering the Berlin Turnpike 1 and Berlin Turnpike 2 zones to allow “clean contractor” businesses. He stated both of those zones have commercial uses on the Berlin Turnpike. He noted development is slow and clean contractors like the East Berlin area; there are about 25 to 35 contractors in town and some are homebased. He stated he has two properties in mind – one by the north Mickey Finn’s and the other is a garage south of Dunkin Donuts on the turnpike. Allowing the use could be done by special permit. The required space would be between 4,000 and 7,000 square feet with some space for an administrative space. Trucks could come in on a Monday and typically leave for the week.

Chairwoman Veley stated she would like a more detailed definition regarding outside landscaping materials.

Mr. Edge stated the new, allowed use would allow building materials contractors similar to successful clean uses like Higgins Flooring and Midstate Compressor and use the same language now in place regarding keeping everything stored inside or equipment could be kept on the trucks.

Chairwoman Veley asked if there would be an amendment proposed.

Ms. Giusti stated an amendment would need to be clear. There are non-conforming contractor uses in the Berlin Turnpike zone which create problems for compliance and enforcement. The properties mentioned may allow contractors by existing, nonconforming location. She stated it’s a matter of what mechanism would work from a zoning perspective.

Commissioner Zigmont stated the language needs to be very specific.

Commissioner Rogan stated the proposal makes sense overall, stating it would benefit contractors. It should be done by special permit. He stated his support of the idea.

Commissioner Wollman stated a special permit should be needed. He stated his support of the concept.

Commissioner Zarabozo stated his support and asked if courier services would be included.

Mr. Edge responded the focus would be on the uses we already have and didn't see having a courier use. He noted the properties are not likely large enough.

Chairwoman Veley stated she sees a consensus of support from the commissioner and asked Mr. Edge to submit a draft for the commission to consider.

- b. Discussion of 0 Berlin Turnpike, Map 21-4, Block 115, Lot 20A, concerning the layout and concept for proposed development, including two commercial buildings

Mr. Chris Edge, Director of Economic Development, stated the property was formerly used for greenhouses. The actual entrance is on Orchard Road. The proposed owner would like to construct a building on one lot – “Phase One” – for its business, Priority Electric. Then, they would like to construct an additional building – “Phase Two” – to be used for other contractors of similar uses. The land has not been used for years and Priority Electric is looking for the commission's input before they go forward with their plans.

Ms. Giusti stated they have come in to check the zoning and the proposed use fits into the zone. Submittal of formal plans will allow the commission to conduct a full review process.

Commissioner Wollman stated the proposal sounds like a “home run”. The use fits in with the zone; the use is clean; the business is successful; and the location is good.

Commissioner Rogan stated he shares Commissioner Wollman's opinion and support.

Commissioner Millerd stated he is a resident of Orchard Road. He stated the property has been vacant for a long time. He stated the use is good, but his only concern would be the traffic pattern utilizing the traffic light in the area.

Mr. Edge stated he will reach out to the Department of Transportation regarding the traffic light. He noted Priority Electric will keep a good portion of the 60 to 70-year-old treed buffer abutting the residential property.

Mr. Edge noted discussion with those individuals proposing the plan are very conscientious and very aware of the property's being surrounded by residential properties.

Chairwoman Veley stated her concern for the yield sign and traffic light, stating the traffic pattern which will include workers, residents and exiting traffic from the turnpike needs to be studied. She stated perhaps the developers could work with the adjacent business to establish one access to the business to then have only one curb cut. She stated she will look forward to seeing a formal application.

c. Discussion of meeting dates for 2021

There was brief discussion and the consensus was to leave the schedule for the 1st and 3rd Thursdays of the month.

VI New Business

a. Site Plan Amendment of Kevin M. Budney, Budney Overhaul and Repair, for a fence at Block 4, Lot 153, 2061 Berlin Turnpike

The applicant was not in attendance. Chairwoman Veley asked if staff could explain the fencing.

Ms. Giusti stated the property is commercially zone and therefore requires a site plan amendment application to construct an 8' high fence, 150 feet back from the front property lines, extending across the vacant driving range. Adjacent properties are owned by the same family. It will be black covered chain link and although per GIS mapping there are wetlands on the property, Staff Liaison to the Inland Wetlands Commission, Jim Horbal, has stated a wetlands review is not required.

Mr. Levitus stated the fence will bi-sect the driving range and to eliminate golf balls from traveling onto the business site.

Chairwoman Veley stated the matter may be handled administratively by staff.

b. Final Subdivision Application of Earl H. Wicklund for Phase 2 (4 lots) of a preliminary approved 18 lot subdivision, Lot 91, Block 10, West Lane

Commissioner Rogan recused himself from discussion/decision for this application. Commissioner Zarabozo was seated.

Mr. Bart Bovee, PE, H.E. Cole, Plantsville, CT, said Mr. Wicklund was being represented by his son, John Wicklund, in attendance at this meeting. He stated the application is phase two for four lots of the previously approved 18 lot subdivision to allow road construction. The open space has been dedicated. He stated the road was approved with the name of Nature's Edge Court. Mr. Wicklund would like to change the name to Nature's Edge without the "Court". If the commission approves, the name will be added to the filed mylar.

Commissioner Zigmont stated the name was not similar to any other town road.

Commissioner Millerd stated he didn't see a conflict.

Chairwoman Veley stated she saw no conflict.

Ms. Giusti read the appropriate section of the subdivision regulations. She stated approval of this application would include re-iteration of original comments and conditions of approval.

Commissioner Wollman moved to approve the application, including the change of the street name to Nature's Edge.

Commissioner Jorsey seconded the motion which carried unanimously.

Commissioner Rogan was re-seated and Commission Zarabozo relinquished his seat.

VII Public Hearings

- a. Special Permit/Site Plan Applications of Richard Munson, Deming Road Business Park, LLC for a building on each of four existing lots, and related site improvements.
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 4. Map 10-1, Block 83, Lot 3A3 (9,000 sq. ft.) Deming Road, 9,000 sq. ft. building on a rear lot for contractor shop use (*Opened October 15, 2020 - Continued to the November 19, 2020 Meeting*)

Continued to November 19, 2020 – No discussion or action taken.

- b. Special Permit/Site Plan Applications of Thomas O'Rourke, Military Experience Museum Inc. for a Military Experience Museum at 76 Chamberlain Highway (Map 30-2, Block 74, Lot 37 and 0 Chamberlain Highway) and 0 Chamberlain Highway (Map 30-2, Block 74, Lot 39) (*Opened September 3, 2020*)

Continued to November 19, 2020 at the request of the application. Ms. Giusti stated the application may be continued to November 19, 2020; however, no additional information has been received and time is needed to allow staff to review that information and schedule the item before the time for extensions runs out. At this time that time will be December 3, 2020, although there may be additional time due to the Executive Order in place due to the Covid virus.

Chairwoman Veley stated at this time the hearing will be continued to November 19, 2020.

VIII Old Business

- a. Special Permit/Site Plan Applications of Richard Munson, Deming Road Business Park, LLC for a building on each of four existing lots, and related site improvements

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No discussion or action taken.

- b. Special Permit/Site Plan Applications of Thomas O'Rourke, Military Experience Museum Inc. for a Military Experience Museum at 76 Chamberlain Highway (Map 30-2, Block 74, Lot 37 and 0 Chamberlain Highway) and 0 Chamberlain Highway (Map 30-2, Block 74, Lot 39) (Opened September 3, 2020)

No discussion or action taken.

V COMMISSION BUSINESS

One additional item was discussed.

- 301 Berlin Turnpike, Certificate of Occupancy request; architectural changes.

Ms. Giusti stated during inspections at 301 Berlin Turnpike, staff found that the architecture of the building had changed from its site plan approval. She noted the applicant, Mr. Nadeem Khalid had joined the meeting via video. The site is a new gas station on the corner of Deming Road. It is a new building with an approved drive through window. The roof line has changed – it is now flat as are the three sides of the building. She stated she has brought this to the commission as she is uncomfortable finding a determination administratively. She said the site was “tight” with a lot of non-conformities. She said the changes were made without his coming to the town for any approval.

Mr. Khalid stated his structural engineer had advised the changes should be done for safety reasons.

Commissioner Wollman suggested a report from his structural engineer stating his opinion would provide evidence to the commission.

Mr. Khalid stated he will provide that letter.

Chairwoman Veley questioned the location of the mechanicals, recalling they had been on the ground. She asked if they too had been re-located without approval and could be another issue.

Ms. Giusti stated the shape of the building is one reason they may have had to change the roof. The building department staff has not reviewed the design plans and construction for the change. Photos provided today show uninstalled plantings along the driveway. Mr. Khalid indicated they have since been moved and planted.

Commissioner Wollman reiterated a statement from the engineer should be provided to explain why the change in design was necessary.

Chairwoman Veley agreed that a letter from the engineer needs to be submitted.

Ms. Giusti stated when the letter from Mr. Kadeem's engineer is received, the item will be added to the agenda.

Commissioner Zigmont moved to adjourn the meeting.

Commissioner Jorsey seconded the motion which carried unanimously.

The time was 8:04 p.m.

Respectfully submitted,

Frances M. Semnoski
Recording Secretary

Bond Release – Site Bond Phase 5 / Building E

Christian Lane Industrial Park

201* Christian Lane. Map 10-1, Block 76A, Lot 10

*Phase 5, Building E, at 205 Christian Lane

GI-2 Zone

New Manufacturing Building

Bond Release

PROPOSAL

Vincent Brescia requests release of the Site Bond in the amount of \$990 associated with the construction of a manufacturing building, parking, utilities, landscaping and other related improvements at 205 Christian Lane in the GI-2 zone.

STAFF COMMENTS

1. Receipt of comments by the Engineering Department are pending at the time of writing.

BACKGROUND

Building E in the Brescia Industrial Park is on the property identified as Lot 10, 201 Christian Lane. It is the fifth building to be completed in the phased industrial building complex

The Certificate of Occupancy was issued for the industrial building on July 30, 2019. An As-built site plan was received for the CO request. A Site Bond for Landscaping Shrubs and Landscaping Perennials, in the amount of \$990.00 was received on July 18, 2019.

fsemnosk

From: vincent brescia <dbresciaconstr@yahoo.com>
Sent: Wednesday, October 28, 2020 10:35 AM
To: fsemnosk
Subject: Re: 990 Bond

Hello, Christian Lane Industrial Park is requesting its final bond release of building 205 Christian Lane, Phase 5.

Thank you, Vincent Brescia

Sent from Yahoo Mail for iPhone

On Thursday, November 7, 2019, 4:49 PM, vincent brescia <dbresciaconstr@yahoo.com> wrote:

No problem, thanks

Sent from Yahoo Mail for iPhone

On Thursday, November 7, 2019, 4:49 PM, fsemnosk <fsemnosk@town.berlin.ct.us> wrote:

Checked with Jim – have to wait on this one to ensure the establishment of the plantings – usually one season or a year - Fran

Town of Berlin
Received

OCT 28 2020

Planning & Zoning Department
Berlin, Connecticut

Site Bond

LOCATION: 205 Christian Lane Building E SECTION or PHASE _____ DATE OF ORIGINAL BOND: July 17, 2019

DEVELOPER: Brencia PROJECT NAME: _____

			ORIGINAL BOND		Bond Revision No 1		Bond Revision No 2		Bond Revision No 3	
Item	Unit Cost	Unit	Qty	Amount	Qty	Amount	Qty	Amount	Qty	Amount
PUBLIC IMPROVEMENTS (Required By Engineering)										
PROJECT START UP										
Sedimentation Barriers	5.00	LF				-		-		-
Anti Tracking Entrance Ramp	1500.00	LS				-		-		-
Erosion Blankets	5000.00	LS				-		-		-
DRAINAGE										
Manholes	3000.00	EA		-		-		-		-
Catch Basins	1800.00	LS				-		-		-
Yard Drain	1200.00	EA		-		-		-		-
Sedimentation Structure	20000.00	EA		-		-		-		-
6" Plastic Pipe	12.00	LF		-		-		-		-
8" Plastic Pipe	20.00	LF				-		-		-
15" Plastic Pipe	20.00	LF		-		-		-		-
18" Plastic Pipe	24.00	LF		-		-		-		-
15" RC Pipe	22.00	LF				-		-		-
18" RC Pipe	24.00	LF		-		-		-		-
Catch Basin Insert	1500.00	EA				-		-		-
Storm Water Basins	10000.00	LS				-		-		-
Wetlands Mitigation	20000.00	EA		-		-		-		-
SEWER										
Manholes	4000.00	EA				-		-		-
8" sewer	70.00	LF		-		-		-		-
6" sewer lateral	1500.00	EA		-		-		-		-
2" Force Main	20.00	LF		-		-		-		-
WATER										
8" Water Main & Valves	70.00	LF				-		-		-
Hydrant	4000.00	LF				-		-		-
1" water service	1500.00	EA		-		-		-		-
PAVING										
Roadway	150.00	LF						-		-
Pavement repair	24.00	LF		-		-		-		-
Bit. Driveway Apron	500.00	EA		-		-		-		-
Bit Curbing	6.00	LF				-		-		-
Handicapped Sidewalk Ramp	750.00	EA				-		-		-
4' Concrete Sidewalk	25.00	LF		-		-		-		-
FINISHES										
Topsoil and Seed	4.50	SY						-		-
Monumentation	150.00	EA		-		-		-		-
Lot Pinning (Per Lot)	400.00	EA				-		-		-
Street Lights	1500.00	EA						-		-
Landscaping Trees	150.00	EA						-		-
Landscaping Shrubs	50.00	EA	12	600				-		-
Landscaping Perennials	25.00	EA	12	300				-		-
OTHER										
Line Striping	LS	Ea								
Signage	LS	EA						#VALUE!		#VALUE!
Land Acquisition		EA								
				-		-		-		-
Sub-Total				900						
Contingency				\$90.00					\$ -	
Total Bond				\$990.00					\$ -	

Minimum Ret. 25% (During Construction)	
Maintenance Bond 10% (18 Mo. After Completion)	\$90.00

Note: (If quantities are reduced. This only indicates the item meets Engineering standards)

No	Date	Note
1		
2		

Site Bond \$990

Cmars Engineering, LLC

Structures Foundations Investigations
58 Orchard Hill Road
Branford, Connecticut 06405
tel (203) 483-8789

November 10, 2020

Town of Berlin Planning and Zoning Commission
c/o Maureen Giusti, Acting Planning/Zoning Enforcement Officer
Berlin Town Hall
240 Kensington Road
Berlin, CT 06037

RE: 301 Berlin Turnpike
2020-014

To Whom This May Concern:

Please be advised that the roof lines for the proposed new building at the above referenced site were changed to accommodate two Rooftop Heating-Cooling Units, to provide safe public access around the building and to provide a pleasing appearance at the same time.

Due to the site constraints, the two heating-cooling units which are each about 4 feet wide by 6 feet long by 4 feet high and the associated supply and return ductwork could not be located on the ground around the building. The equipment would have impeded public access and diminished the appearance of the property. The solution was to modify the roof design to make a flat roof and to provide a low parapet on three sides of the building. The parapet obstructs the public view of the roof top equipment and does not significantly alter the appearance of the building.

If there are any questions regarding this report please do not hesitate to contact me.

Very Truly Yours,
Cmars Engineering, LLC



Chris M. Marseglia, P.E., SECB
Structural Engineer

Site Plan Amendment

Project Name: Sliders Sports Bar and Grill – Outdoor Patio

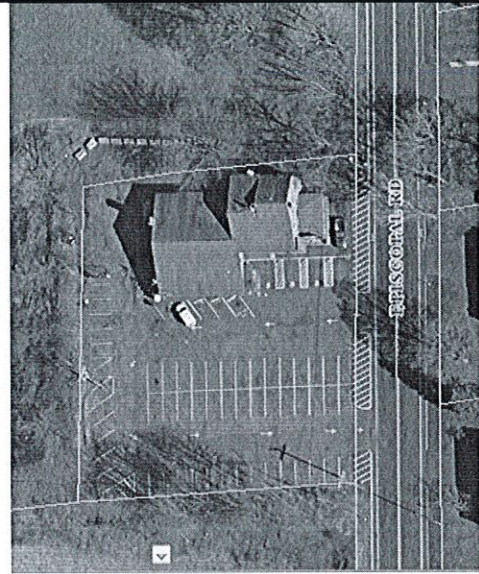
Location: 197 Episcopal Road Map 4-4 / Block 81 / Lot 7

Zone: GI-2

Applicant: Barton Bovee, Harry E. Cole & Son

Property Owner: F L M Enterprises, LLC

Proposal: Site improvements for an outdoor patio



PROPOSAL

Barton Bovee, authorized agent, Harry E. Cole & Son for Sliders Sports Bar and Grill is requesting site plan amendment approval for site improvements for a 16 feet wide by 45 feet deep paved outdoor patio, parking modifications and associated improvements at an existing restaurant in the GI-2 zone as shown on submitted plan entitled: PROPERTY AND TOPOGRAPHIC SURVEY MAP DEPICTING PROPOSED PAVERED PATIO Prepared for/Owned By: Sliders Sports Bar & Grill / F L M Enterprises, LLC Map #4 / Block #4 / Lot 81-7, 197 Episcopal Road, dated September 28, 2020 prepared by cole, Harry E. Cole & Son engineering. surveying. planning.

STAFF COMMENTS

1. The scale and property identifier on the plan be corrected. The correct parcel annotation is Map 4-4, Block 81, Lot 7.
2. A complete zoning chart, including identification of nonconformities be added to the plan.
3. Appropriate patio service approval and licensing to be obtained for any liquor service to the patio area, including required Zoning Board of Appeals approval for the patio liquor permit.

4. Health District comments regarding patio drink service be resolved to their satisfaction, if applicable.
5. Emergency lighting be added per Fire Marshal comments.
6. Any change to the seating resulting in an increased occupancy will require zoning review, including to demonstrate compliance with the parking requirements.
7. Any outstanding staff and department comments be resolved

EXISTING CONDITIONS

The 0.77-acre parcel is in the GI-2 zone. The existing restaurant use is nonconforming for the zone. The existing building has non-conforming north-side and eat-front setbacks, which h remain unchanged by this proposal.

PROPOSAL CONDITIONS and ANALYSIS

Zoning requirements: Berlin Zoning Regulations Sections IV.C.; VII.C and H.; and, XIII.

Nonconformities: While several aspects of the property are existing nonconforming, including building setbacks and apparent impervious surface; no change to those existing conditions are proposed. The nonconforming use may be increased in accordance with BZR §IV.C.3.b.

"The commission may grant an increase in the permitted floor area to any nonconforming land use in any nonresidential district if in its judgment it were deemed that the public interest would be better served by the improvements brought about through a new site plan approval and that the increase in permitted floor area would not be detrimental to the environment or to adjacent properties and would still be adequately served by traffic circulation, parking, storm drainage and sewage disposal."

The applicant had proposed the patio be enclosed by a 6 ft. high black vinyl fence along the front and 3 feet high black vinyl picket fence along the south, facing the parking area with a 12 inch block retaining wall on the patio side of the fencing. New landscape plants are proposed adjacent to the parking stalls remaining in front of the patio area.

The existing location of the handicap ramp will remain at the westerly end of the patio.

PARKING:

The outside patio area plan shows 7 tables with 6 ft spacing and a total of 28 seats on the patio. There are 74 parking stalls shown on the plan. Existing parking spaces will need to be relocated from the patio location. Those stalls are proposed to be moved and accommodated by restriping and extending (7 spaces) along the southerly side of the building. The applicant is proposing no change to occupancy/seats and therefore no additional spaces would be required. The patio table layout as shown complies with the current COVID-19 spacing requirements.



Town of Berlin

Planning and Zoning Department

240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received

OCT 23 2020

Planning & Zoning Department
Berlin, Connecticut

SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: Sliders Sports Bar & Grill

Property Owner(s): F L M Enterprises, LLC

Project Address*: 197 Episcopal Road

Map: 4 Block: 4 Lot: 81-7 Zone(s): GI-2 Lot Area: 33,244 Sq. Ft.

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Amendment to Zoning Regulations – Section(s) _____
- ☐ Amendment to Zoning Map – Zone(s) affected _____
- ☐ Zoning Board of Appeals review needed
- ☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: Barton Bovee; Authorized Agent Firm Name: Harry E. Cole & Son
Street Address: 876 South Main Street City: Plantsville ST: CT Zip: 06479
Email: bbovee@hecole.com Phone: (860) 628-4484
Signature: [Signature] Date: 10/27/2020

Property Owner(s) Information (If Not the Applicant)

Name: F L M Enterprises, LLC Principal: Fred Marcantonio
Street Address: 197 Episcopal Road City: Berlin ST: CT Zip: 06037
Email: _____ Phone: _____

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

This Site Plan Involves:

☐ Additions

☐ Alterations

☐ Demolition

☒ New Construction

Description of Project*: Addition of new outdoor seating area and adjustment of parking. No permanent change in seating.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)	<u>Restaurant</u>	<u>Restaurant</u>	
	<u>Bar</u>	<u>Bar</u>	
	<u> </u>	<u> </u>	
COMMERCIAL			
Gross Floor Area Seating	<u>136</u>	<u>136</u>	
Parking Spaces	<u>74</u>	<u>74</u>	<u> </u>
INDUSTRIAL			
Gross Floor Area	<u>N/A</u>	<u> </u>	
Parking Spaces	<u> </u>	<u> </u>	<u> </u>
RESIDENTIAL			
Number of Units	<u>N/A</u>	<u> </u>	
Number of Bedrooms	<u> </u>	<u> </u>	
Gross Floor Area	<u> </u>	<u> </u>	
Parking Spaces	<u> </u>	<u> </u>	<u> </u>
OTHER USES			
Gross Floor Area	<u> </u>	<u> </u>	
Parking Spaces	<u> </u>	<u> </u>	<u> </u>

To be completed by P&Z staff only:

Fee Paid \$ 260. - (Refer to current Fee Schedule)

Received by: fms

November 10, 2020
Updated November 11, 2020 (Building Dept/Engineering)

TOWN OF BERLIN
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS

APPLICATION: Site Plan Amendment

APPLICANT: Bart Bovee, PE, Authorized Agent
for Sliders Sports Bar & Grill

LOCATION: 197 Episcopal Road

AGENDA: November 19, 2020

To the Applicant:

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at mgiusti@town.berlin.ct.us or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*

Berlin Water Control

No comment

Board of Water Commissioners

No comment

Police Chief

No comment

Health District

Okay with patio. If serving drinks from patio, a hand sink must be in place

Fire Marshal

Exit marking emergency lighting required – as noted on plan (attached)

Building Official

No comment

Engineering

No comment

Emailed to B. Bovee – November 11, 2020

SCALE: $\frac{1}{4}'' = 1'-0''$



EXISTING ASPHALT
PARKING LOT

LEGEND

- = Existing utility pole
- = Existing light pole
- = Existing fire hydrant
- = Existing water valve
- = Existing gas valve
- = Existing underground pipe
- = Existing edge of pavement
- = Existing bituminous concrete lip curb
- = Existing well
- = Existing catch basin
- = Existing drainage manhole
- = Existing sanitary manhole
- = Existing utility box
- = Existing contour
- = Existing spot elevation
- = Existing iron pin
- = Existing drill hole
- = Existing monument

SITE NOTES:

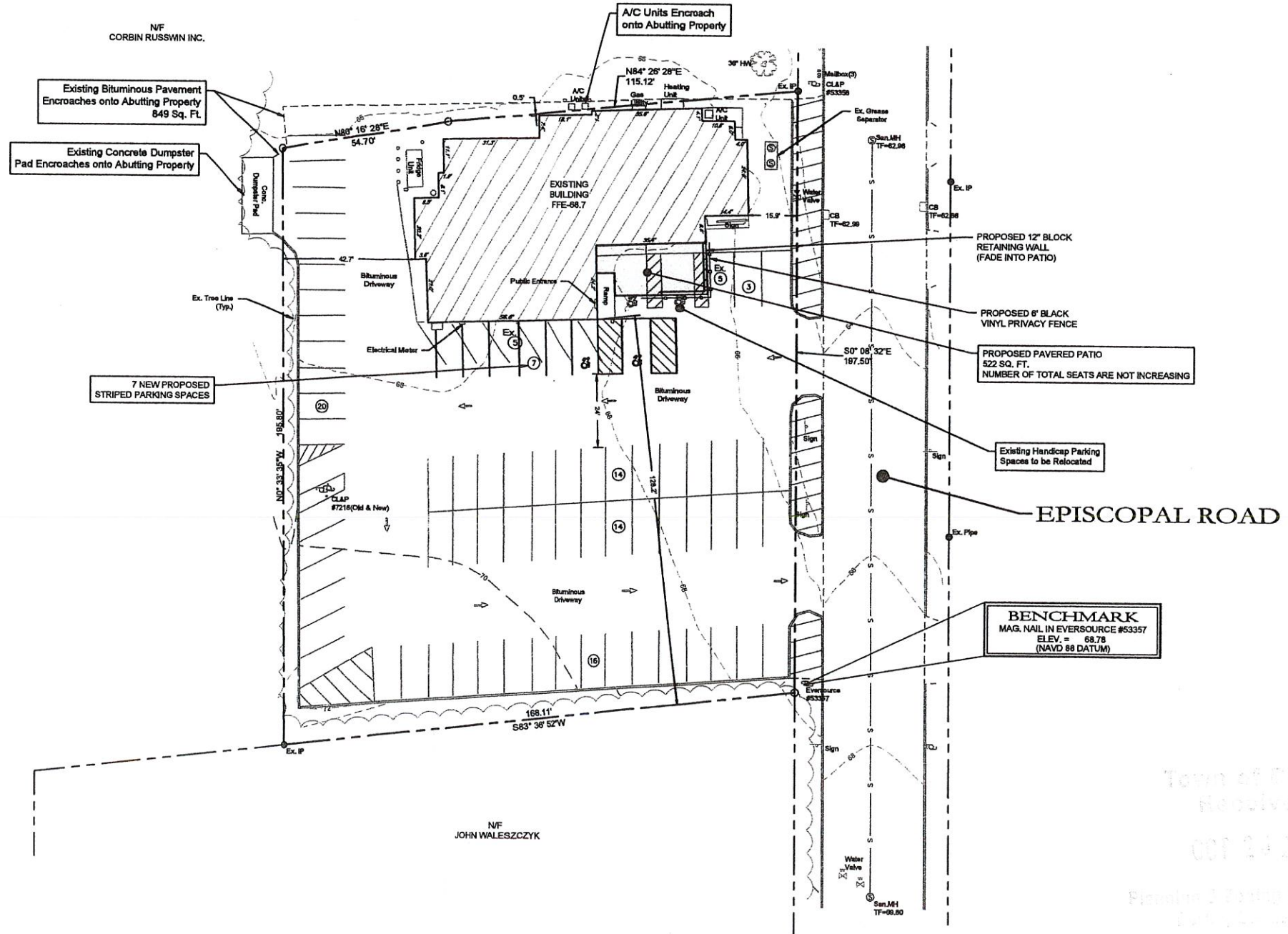
- The Total Number of Seating Within The Outdoor Patio Shall Not Increase The Seating Of The Overall Facility. Interior Seating Shall Be Reduced As Necessary.
- Patio Shall Be Pitched Away From Building To Prevent Water From Accumulating.

SITE PARKING	
ITEM	TOTAL
EXISTING SPACES	74
PROPOSED SPACES	74

*7 Spaces To Be Restriped

SURVEY NOTES:

- This map has been prepared pursuant to the Regulation of Connecticut State Agencies Sections 20-300b-1 through 20-300b-20 and the "Standards for Surveys and Maps in the State of Connecticut" as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1996.
- Type of survey performed: Property Survey
- Boundary determination category: Resurvey
- Class of accuracy:
Horizontal: A-2
Vertical: T-2
- The intent of this map is to depict or note the position of boundaries with respect to: (A) locations of all boundary monumentation found or set; (B) Apparent improvements and features, including as a minimum: dwellings, barns, garages, sheds, driveways, roadways, surface utilities, visible bodies of water and swimming pools; (C) record easements and visible means of ingress and egress; (D) record and apparent means of ingress and egress; (E) lines of occupation, including as a minimum: fences, walls, hedges and yards; (F) deed restrictions pertaining to the location of buildings or other apparent improvements; (G) unresolved conflicts with record deed descriptions and maps; (H) all apparent boundary encroachments; and (I) monumentation required to be set at all corners created by a deflection angle of not less than 70 degrees between two consecutive courses at an interval not to exceed 600 feet (180 meters) along the boundaries between said corners, except where natural or man-made monumentation defines or occupies the line.
- Map References:
 - "Boundary Map Showing Berlin Property Emhart Corporation, Episcopal Road & Deming Road, Berlin, Conn.; Scale: 1"=100'; Dated: Nov. 26, 1963; by Kenig-Felstein Associates, Filed as Map 841 at the B.L.R."
- Per agreement with property owner no boundary corners were set by this survey unless noted hereon. All monumentation found is depicted or noted hereon.
- Zone: G1-2
- Total area: 33,244 Sq. Ft. - 0.76 Acres
- Owner: F L M Enterprises, LLC
- Town of Berlin Assessors Map #4 Lot #81-7
- Filed in Volume 438, Page 291 of the Town Clerk's office.
- Contour interval is two(2) foot.
- Existing contours generated from field topography.
- This survey does not include the location of any underground improvements or encroachments, subsurface utility lines or buried debris. Nor does it necessarily reflect the existence of any waste dumps or hazardous materials. The underground items depicted or noted are approximate and are not guaranteed. Notify "CALL BEFORE YOU DIG" 1-800-822-4455 prior to any excavation operations.



PROPERTY & TOPOGRAPHIC SURVEY MAP DEPICTING PROPOSED PAVED PATIO Prepared For/Owned By Sliders Sports Bar & Grill / F L M Enterprises, LLC MAP #4 / BLOCK #4 / LOT #81-7 197 Episcopal Road September 28, 2020 Berlin, Connecticut Scale: 1" = 40' 		 cole HARRY E. COLE & SON engineering, surveying, planning. 575 South Main Street P.O. Box 44 Plainville, CT 06061 - 0044 Tel: (860) 638-4864 Fax: (860) 620-0198 www.hcole.com
Oct 27, 2020 Revised Site Parking Chart DATE REVISION To the best of my knowledge and belief, this map is substantially correct as noted hereon. Stephen M. Giudice, L.S. Reg. No. 770145 NOT VALID UNLESS EMBOSSED SEAL OR STAMP IS AFFIXED HERETO F.B. # PROJECT #: 2038		

Site Plan Amendment - modification to approved plan

Project Name: Deming Ridge
Application: Site Plan Amendment
Address: 823 Deming Road, 833 Deming Road and 0 Deming Road (MBL 5-4-122-10)
Applicant: Ben Tripp, Metro Realty Group Ltd. for 833 Deming Road LLC
Owner: 833 Deming Road LLC
Proposal: Modification to site plan approved on August 20, 2020 for Workforce Housing Development (WHD).
Zone: WHD (R-43 & OT)
Lot Size: 11.48 acres

PROPOSAL

Ben Tripp, Metro Realty Group LLC is seeking modifications to the approval for a Workforce Housing Development of 88 units in 8 buildings at Map 5-4, Block 122 Lots 10, 11-1, and 11-2, totaling 11.48 acres on the north side of Deming Road.

STAFF COMMENTS

1. All Conditions of the August 20, 2020 approval be carried forward and as revised by Department Comments for the modifications.
2. New lot address be confirmed with Engineering Department
3. (additional comments may be provided at the meeting)

Background

The application for the Workforce Housing Development was approved with conditions on August 20, 2020. This project will provide affordable housing options and was presented to satisfy the requirements that will allow the Town to count all units toward the affordable housing goal. The applicant has indicated that the proposed changes are a result of State requirements.

MODIFICATIONS

Modifications include the addition of a 1499 s.f. clubhouse, anticipated to be used as a fitness center., an addition of two parking spaces, and an increase in apartment size which result in increased footprints, reduction of rear yard and an increase in impervious surface and building coverage. The zoning table demonstrates that the resulting modifications remain in compliance with the WHD regulations BZR §XI.BB., as amended.

Stormwater / Drainage

The applicant has provided an updated stormwater analysis letter, provided by Malone & MacBroom dated October 13, 2020 which summarized that peak runoff flow rates will remain less than existing rates.

Wetlands

The IWWCC approved the modifications on November 10, 2020. Wetland Agent comments are expected.

DEPARTMENT COMMENTS

Berlin Water Control

Engineer has made revisions based on our input.

- 1) Apparently, sewer line from fitness building was not shown.
- 2) We will develop a DPA (Developer's Permit Agreement) to define materials and our expectations for ownership and operation of water/sewer system
- 3) Plan should also show water/fire line service and meter locations on each of the buildings similar to Fieldstone Project

Building Official

- 1) Will require full size stamped drawings with M.E.P. for permitting

Engineering

- 1) Clubhouse shows water service line but no sanitary lateral ((Sheet 04). Coordinate details with Berlin Water Control.

Note to Planning & Zoning Commissioners: Ray Jarema (Water Control) is working with their engineer on water/sanitary, so this comment is not meant to hold up site plan approval)



Town of Berlin
Planning and Zoning Department
240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received
OCT 16 2020
Planning & Zoning Department
240 Kensington Road

SITE PLAN APPLICATION

☐ Site Plan

☒ Site Plan Amendment

Project Name: Deming Ridge (833 Deming Road)
Property Owner(s): 833 Deming Road, LLC
Project Address*: 0, 823 and 833 Deming Road
Map: 5-4 Block: 122 Lot: 10, 11-1, 11-2 Zone(s): WHD Lot Area: 11.4 acres

Please select all relevant items below:

- ☐ Special Permit – Also complete special permit application form
☐ Property is within 500 feet of a Municipal Boundary of _____
☐ Amendment to Zoning Regulations – Section(s) _____
☐ Amendment to Zoning Map – Zone(s) affected _____
☐ Zoning Board of Appeals review needed
☐ Inland Wetlands and Water Course Commission review needed

Applicant Information

Name: Benjamin Tripp Firm Name: 833 Deming Road, LLC
Street Address: 6 Executive Drive #100 City: Farmington ST: CT Zip: 06032
Email: btripp@metro-realty.com Phone: 860.674.5624
Signature: [Signature] Date: October 14, 2020

Property Owner(s) Information (If Not the Applicant)

Name: Same Principal: _____
Street Address: _____ City: _____ ST: _____ Zip: _____
Email: _____ Phone: _____

*Letter of Authorization Required

***Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.**

Town of Berlin
Received

OCT 16 2020

Planning & Zoning Department
Burlington, Connecticut

This Site Plan Involves:

☐ Additions ☐ Alterations ☒ Demolition ☒ New Construction

Description of Project*: Site Plan Amendment to existing approval granted previously.

The proposed property will contain 11 residential structures and a clubhouse.

*If more space is needed, then please provide separate narrative document.

SITE PLAN ZONING STATISTICS

	<u>EXISTING</u>	<u>PROPOSED</u>	<u>REQUIRED</u>
USE(S)	WHD	WHD	
COMMERCIAL			
Gross Floor Area			
Parking Spaces			
INDUSTRIAL			
Gross Floor Area			
Parking Spaces			
RESIDENTIAL			
Number of Units		88	
Number of Bedrooms		132	
Gross Floor Area		111,496	
Parking Spaces		148	
OTHER USES			
Gross Floor Area			
Parking Spaces			

To be completed by P&Z staff only:

Fee Paid \$ 260.- (Refer to current Fee Schedule)

Received by: fms

check # 241

Site Plan Amendment for Deming Ridge – 0, 823 and 833 Deming Road
Summary of Proposed Changes

The applicant seeks to modify the site plan approval received on August 20th, 2020 for an 11 building, 88-unit multifamily housing development in the WHD zone. The following is a summary of the major changes to the site plan:

- Apartment sizes have increased. The 1BR units have increase from 735 square feet to 834 square feet of living space. The 2BR units have increased from 1,052 square feet to 1,168 square feet of living space. The number of units and unit mix remains unchanged.
 - A 1,499 sf clubhouse has been added to the site plan. The expected use of the clubhouse is solely as a fitness facility.
 - Parking count has increased by two spaces, from 146 spaces to 148 spaces
 - These changes have been achieved by reducing the rear yard from 50 feet (approved) to 38 feet (proposed), and by reducing the parking side yard from 32 feet (approved) to 23 feet (proposed)
 - Impervious site coverage has changed from 29% (approved) to 30% (proposed), and building coverage has changed from 9% (approved) to 10% (proposed).
 - All proposed changes are in conformance with the Workforce Housing Development zone as recently amended. No further text modification is required for this Site Plan Amendment.
-

November 10, 2020
Updated November 12, 2020 (Health District)

TOWN OF BERLIN
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS

APPLICATION: Site Plan Amendment
Deming Ridge (833 Deming Road)
APPLICANT: Benjamin Tripp, 833 Deming Road, LLC
LOCATION: 0, 823 and 833 Deming Road
AGENDA: November 19, 2020

To the Applicant:

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at mgiusti@town.berlin.ct.us or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*
-

Berlin Water Control

Engineer has made revisions based on our input.

- 1) Apparently, sewer line from fitness building was not shown.
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- 3) Plan should also show water/fire line service and meter locations on each of the buildings similar to Fieldstone Project

Building Official

- 1) Will require full size stamped drawings with M.E.P. for permitting

Engineering

- 1) Clubhouse shows water service line but no sanitary lateral ((Sheet 04). Coordinate details with Berlin Water Control.

Note to Planning & Zoning Commissioners: Ray Jarema (Water Control) is working with their engineer on water/sanitary, so this comment is not meant to hold up site plan approval)

Police Chief

No comment

Board of Police Commissioners

No comment

Health District

If apartments are served on public water and public sewer, CHD ok with plan.

Emailed to B. Tripp on November 12, 2020

October 13, 2020

Ms. Maureen Giusti, Acting Town Planner
Town of Berlin
Planning & Zoning Department
240 Kensington Road
Berlin, CT 06037

RE: 833 Deming Ridge, Special Permit / Site Plan

Stormwater Analysis Results (Rev 2)
MMI Project No. 3571-40

Milone & MacBroom, Inc. (MMI) is pleased to provide the following updated information relative to the Deming Ridge Special Permit / Site Plan and previously submitted letter report, 833 Deming Road, Special Permit / Site Plan, Stormwater Analyses Results, Rev 1 (7/31/20).

An updated post-construction conditions Stormwater Analysis and modeling with HydroCAD was performed due to the addition of a proposed fitness center, slight enlargement of each apartment building or unit, and increased vehicle pavement with parking stalls at the most-rear parking lot. Based on the changes described above, the summary of results of overall stormwater runoff peak flows (cubic feet per second) are listed below.

Rain Event	2	10	25	50	100	
Qp EXIST	1.45	5.44	9.98	14.07	18.96	
Qp PROP	1.12	5.43	8.88	11.64	14.81	(7/31/20)
Qp PROP	1.13	5.43	8.88	11.64	15.62	(10/13/20)

Based on the minor site design modifications and HydroCAD modeling results, it can be seen that the proposed peak runoff flow rates are still less than the existing peak runoff flow rates. Please note that no additional changes or modifications to the stormwater models (HydroCAD) were completed.

If the Town has any additional questions or comments regarding this matter, please call me at your earliest convenience.

Sincerely,

MILONE & MACBROOM, INC.



Mark McClusky, P.E.
Senior Project Manager, Civil Engineering

Cc: Ben Tripp, Metro Realty

3571-40 o1320-ltr

Town of Berlin
Received

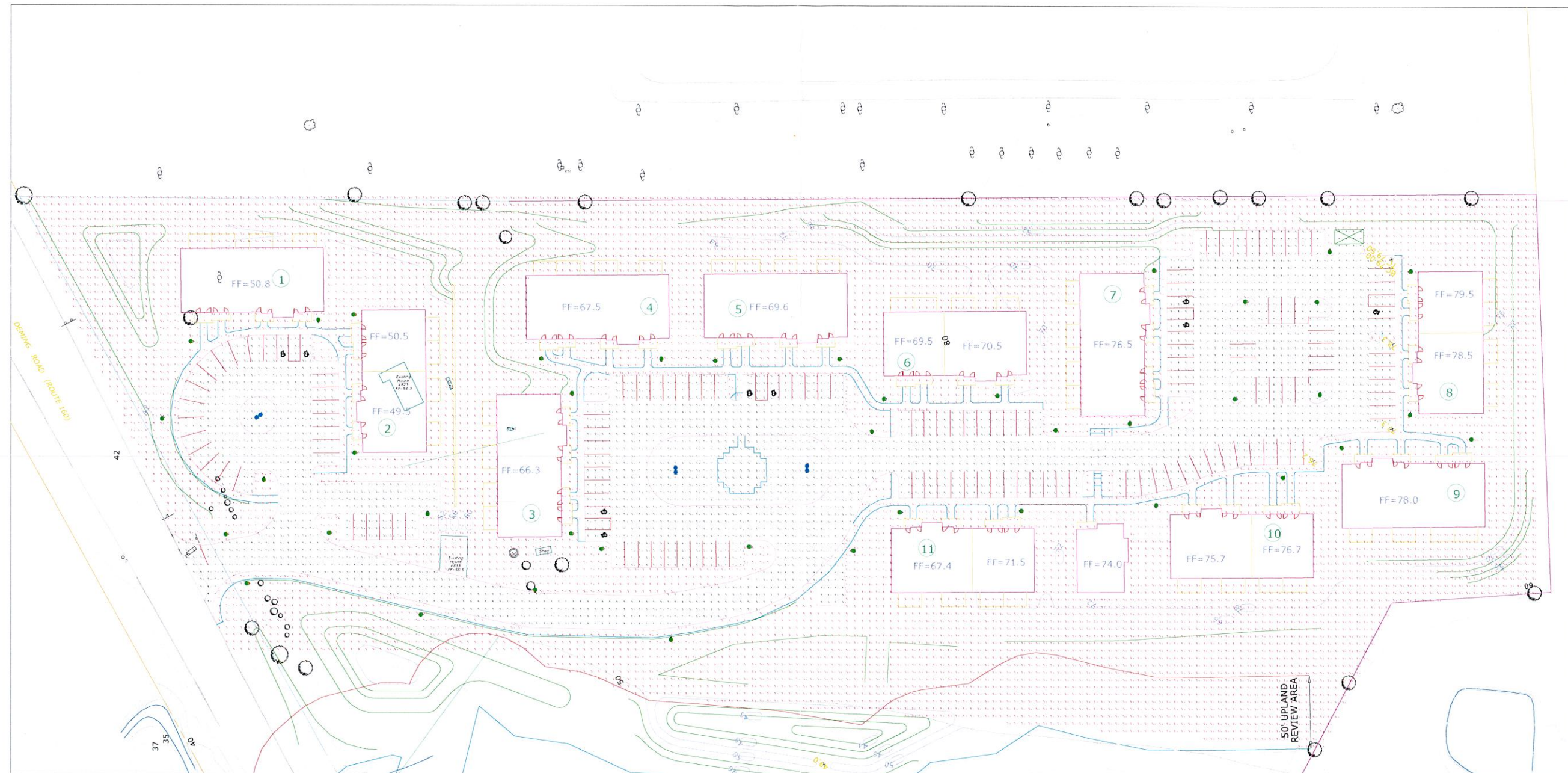
OCT 16 2020

Planning & Zoning Department
Berlin, Connecticut



Global Lighting Perspectives - Drawn by BR
Metro Construction-Deming Road Rev. 2
Date: 9/18/2020

The calculated light levels in this lighting design are estimated values and are based on specific information that has been supplied to GLOBAL LIGHTING PERSPECTIVES. Normal tolerances of voltage, lamp output, driver/ballast will affect output.



Luminaire Schedule					
Symbol	Qty	Label	Description	Arrangement	LLF
	3	AB40AC-CL_G2LED65-T5-40K double	Acorn series, LED, 65W, T5, 4000K	BACK-BACK	0.900
	41	AB40AC-CL_G2LED65-T5-40K single	Acorn series, LED, 65W, T5, 4000K	SINGLE	0.900

Calculations are taken @ ground or 0'
Back-to-back fixtures are 3' apart
Fixtures are mounted @ 13'

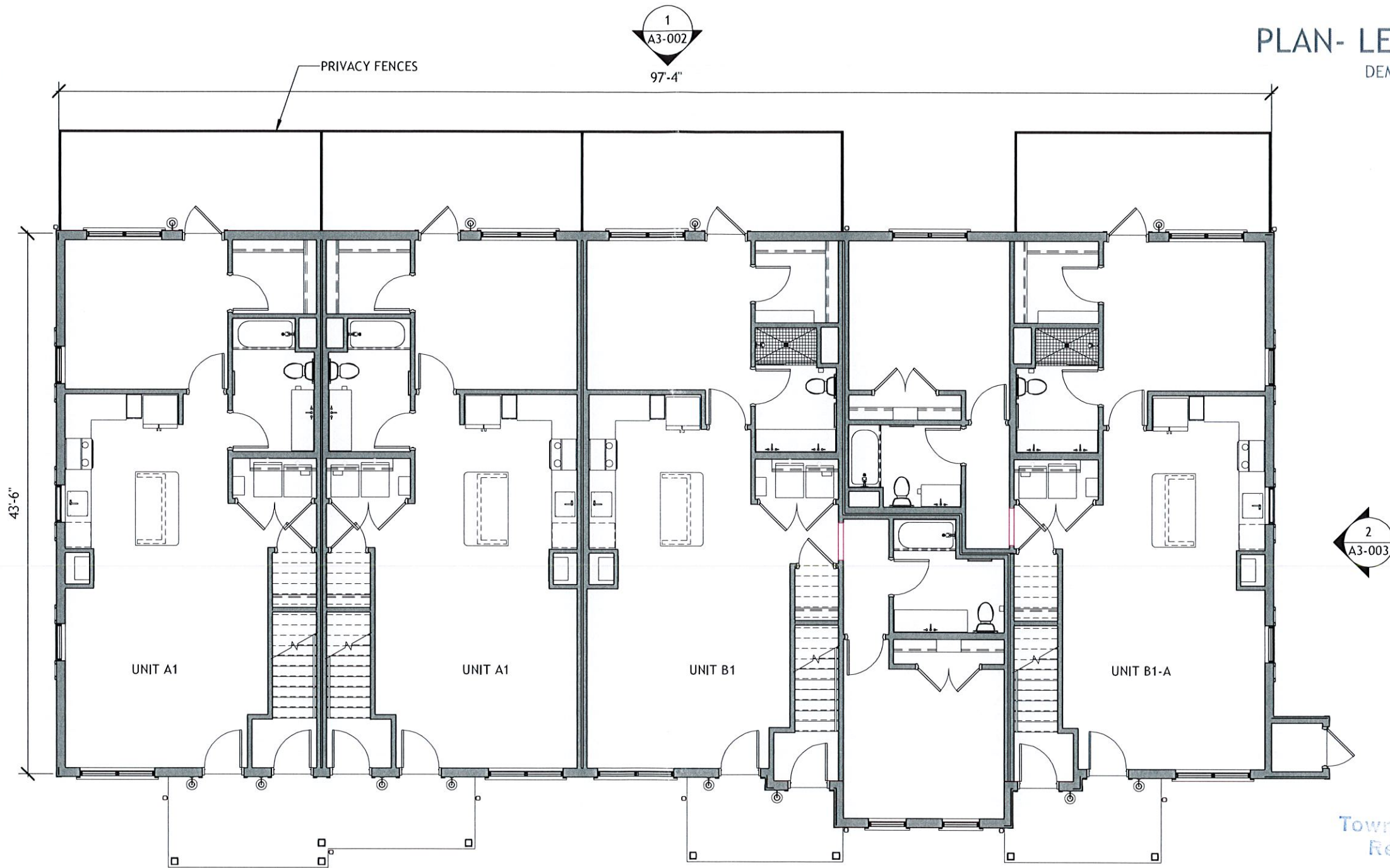
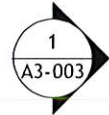
Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
Calculations- Parking Areas	Illuminance	Fc	1.31	7.9	0.1	13.10
Calculations- Surrounding Area	Illuminance	Fc	0.55	6.7	0.0	N.A.



Town of Berlin
Received

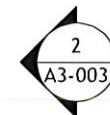
OCT 16 2020

Planning & Zoning Department
Berlin, Connecticut



PLAN- LEVEL 1
DEMING RIDGE

1 PRESENTATION FLOOR PLAN- LEVEL 1
A1-011 1/8" = 1'-0"



Town of Berlin
Received

OCT 16 2020

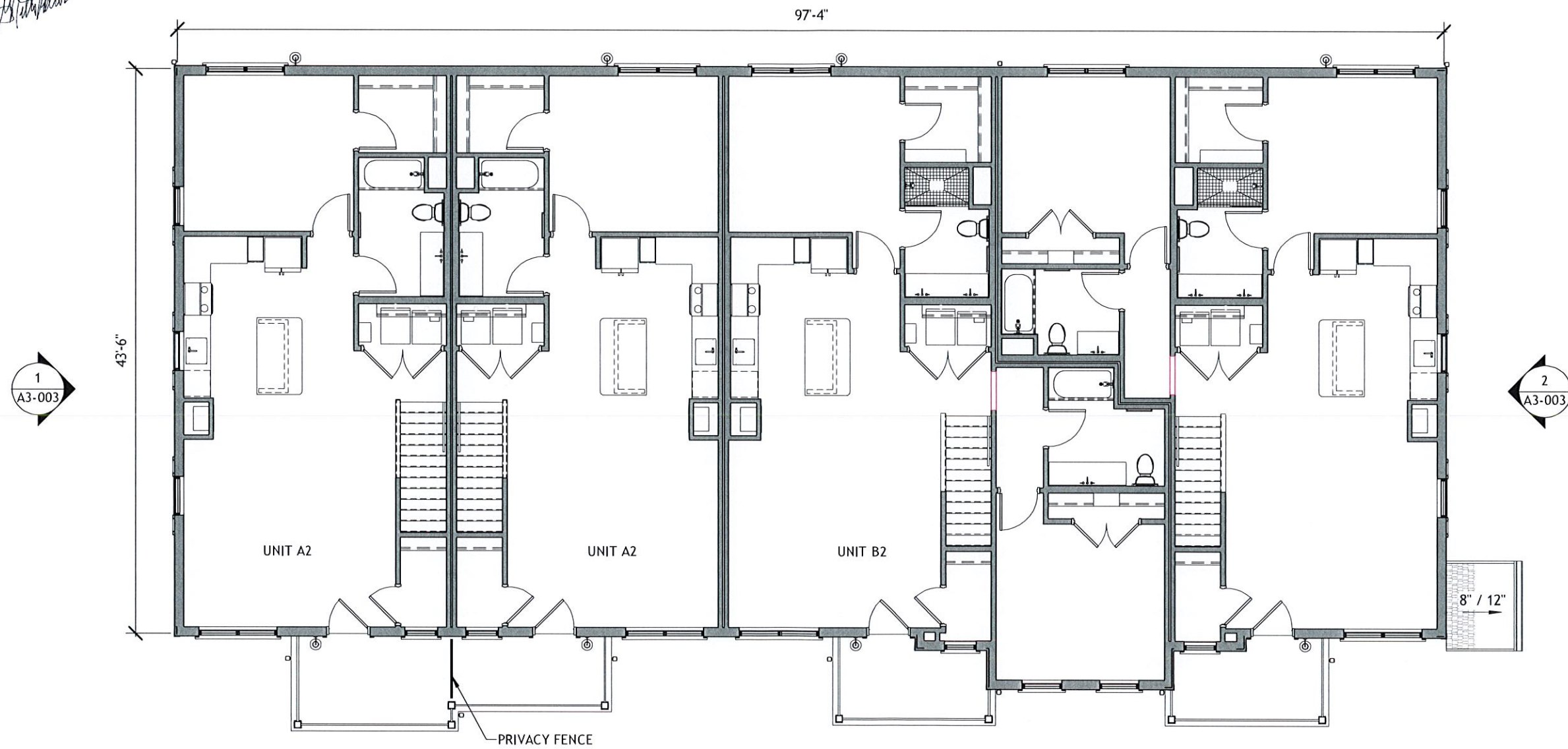
Planning & Zoning Department
Berlin, Connecticut
A1-011

10.13.2020

NILES BOLTON ASSOCIATES



PLAN- LEVEL 2
DEMING RIDGE



1 PRESENTATION FLOOR PLAN- LEVEL 2
A1-021 1/8" = 1'-0"

A1-021

10.13.2020

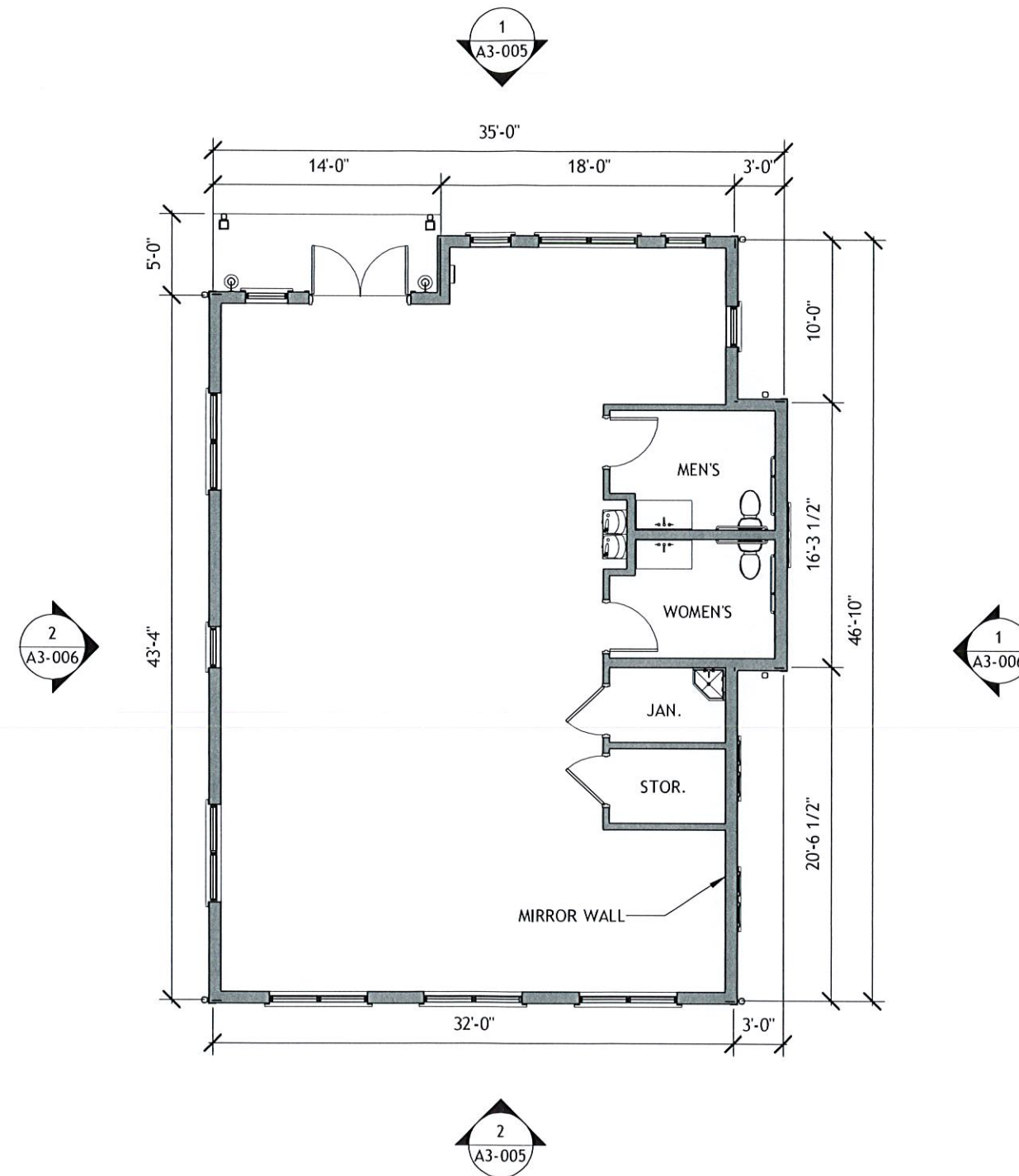
NILES BOLTON ASSOCIATES



FITNESS FLOOR PLAN

DEMING RIDGE

AREA 1,499 HEATED S.F.



1 FLOOR PLAN- FITNESS CENTER
A1-111 1/8" = 1'-0"

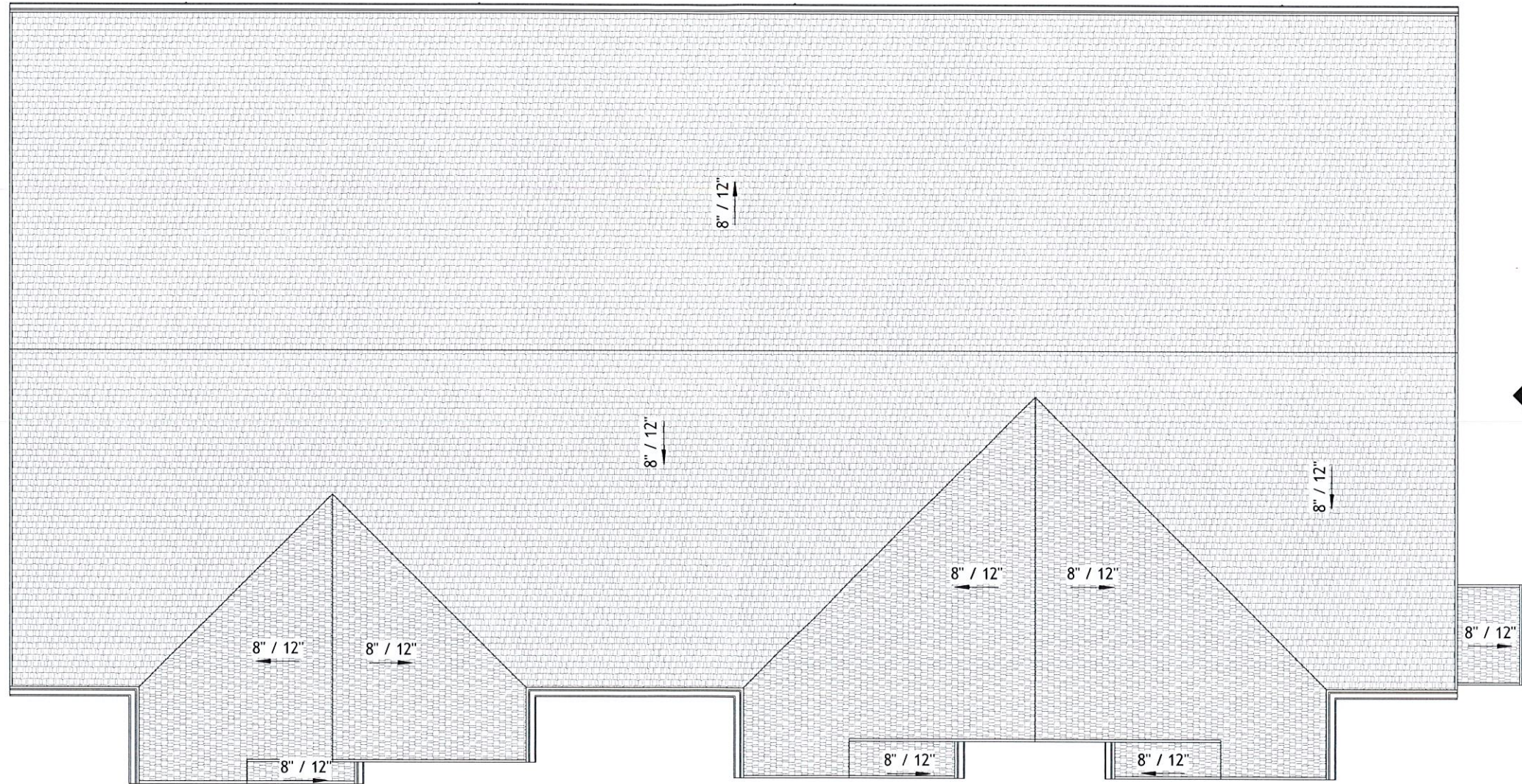
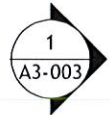
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10.13.2020

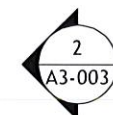
NILES BOLTON ASSOCIATES



PLAN- ROOF
DEMING RIDGE



1 PRESENTATION FLOOR PLAN- ROOF PLAN
A1-R10 1/8" = 1'-0"



A1-R10

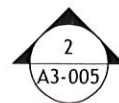
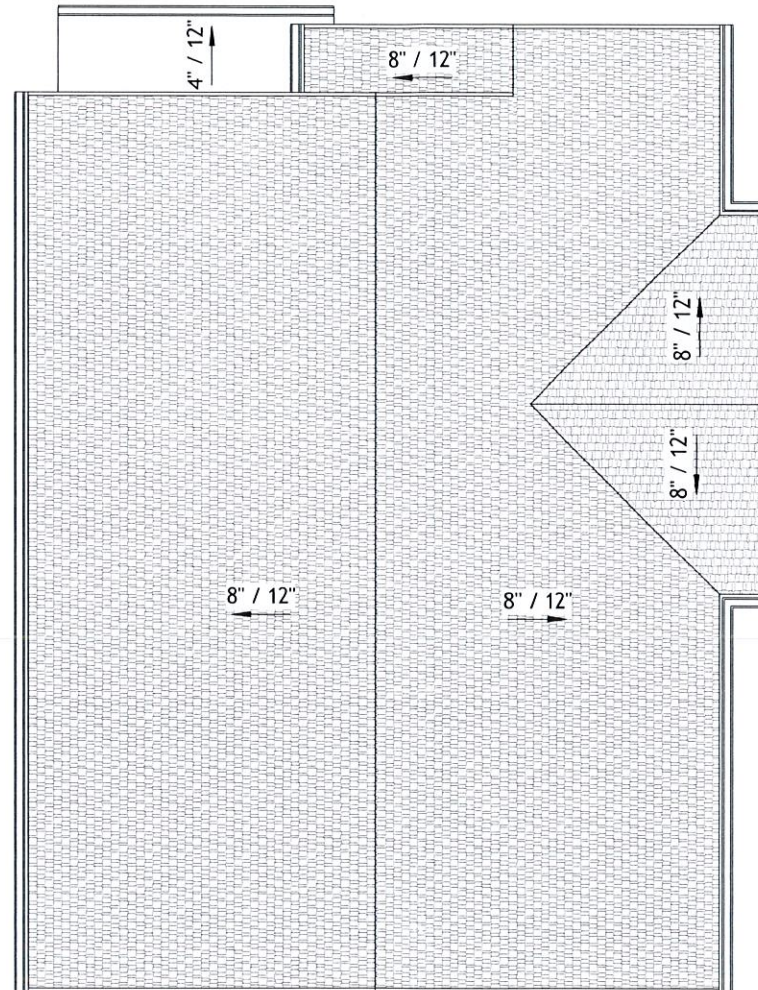
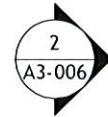
10.13.2020

NILES BOLTON ASSOCIATES



FITNESS CENTER ROOF PLAN

DEMING RIDGE



1 ROOF PLAN - FITNESS CENTER
A1-R20 1/8" = 1'-0"

A1-R20

10.13.2020

NILES BOLTON ASSOCIATES



ELEVATIONS

DEMING RIDGE



1 PRESENTATION-ELEVATION-FRONT
A3-001 1/8" = 1'-0"

A3-001

10.13.2020

NILES BOLTON ASSOCIATES



ELEVATIONS

DEMING RIDGE



1 PRESENTATION-ELEVATION-REAR
A3-002 1/8" = 1'-0"

A3-002

10.13.2020

NILES BOLTON ASSOCIATES



ELEVATIONS
DEMING RIDGE



1 PRESENTATION-ELEVATION-LEFT SIDE
A3-003 1/8" = 1'-0"

2 PRESENTATION-ELEVATION-RIGHT SIDE
A3-003 1/8" = 1'-0"

A3-003

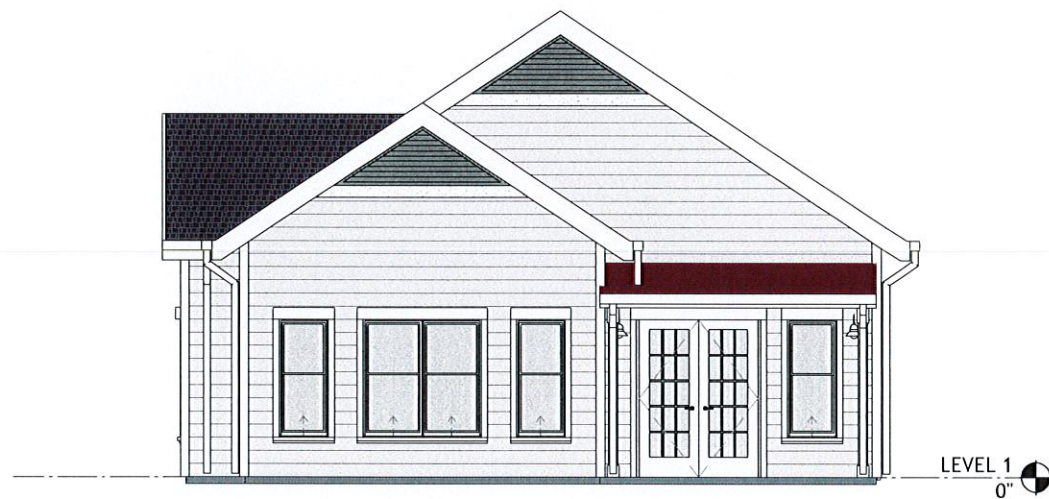
10.13.2020

NILES BOLTON ASSOCIATES



FITNESS CENTER ELEVATIONS

DEMING RIDGE



1 FITNESS CENTER FRONT
A3-005 1/8" = 1'-0"



2 FITNESS CENTER REAR
A3-005 1/8" = 1'-0"

A3-005

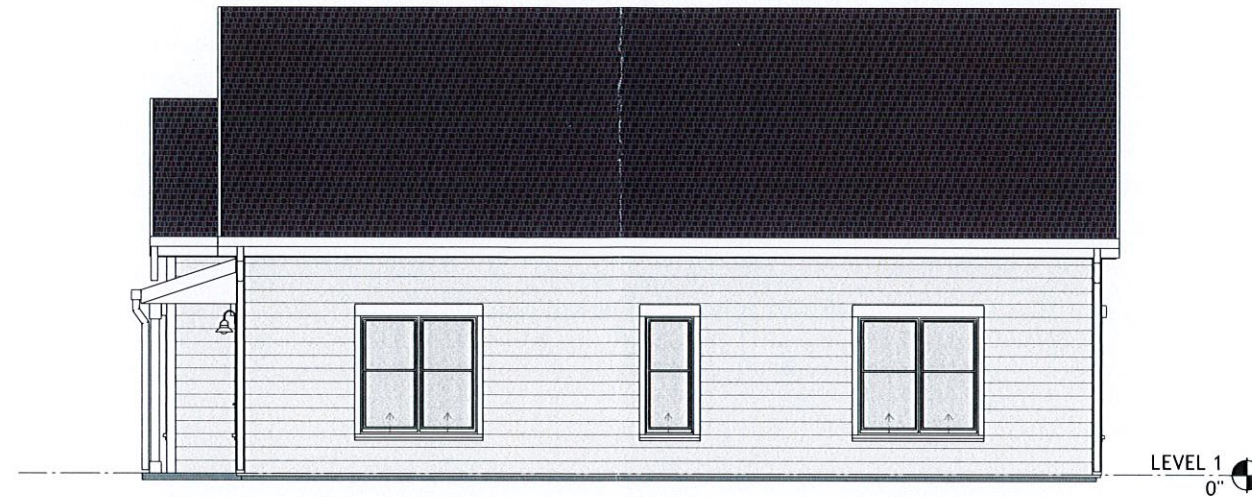
10.13.2020

NILES BOLTON ASSOCIATES

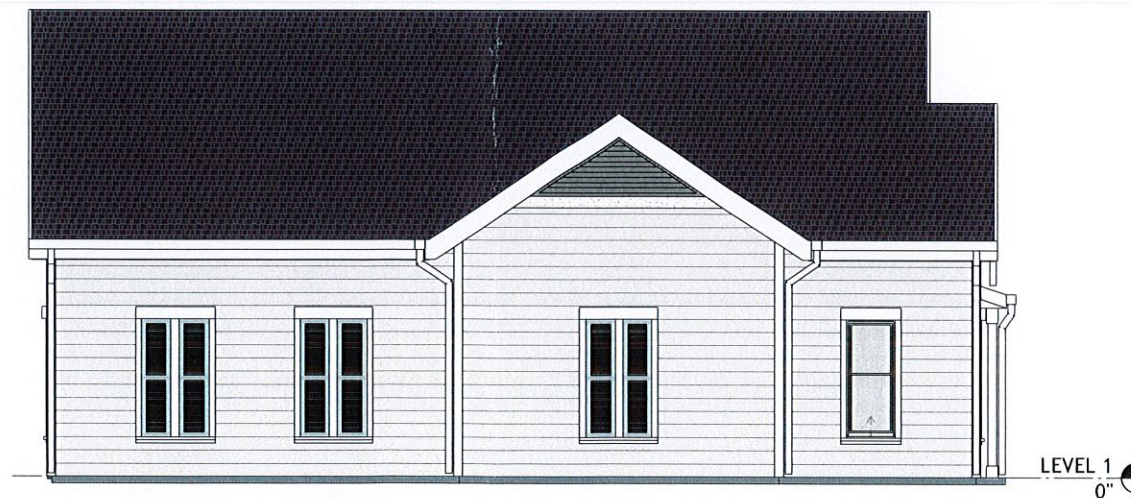


FITNESS CENTER ELEVATIONS

DEMING RIDGE



2 FITNESS CENTER LEFT SIDE
A3-006 1/8" = 1'-0"



1 FITNESS CENTER RIGHT SIDE
A3-006 1/8" = 1'-0"

Town of Berlin
Received
OCT 16 2020
Planning & Zoning Department
Berlin, Connecticut

10.13.2020

A3-006
NILES BOLTON ASSOCIATES

DEMING RIDGE PROPOSED MULTI-FAMILY DEVELOPMENT

833 DEMING ROAD (ROUTE 160)
BERLIN, CONNECTICUT

MMI #3571-40

JUNE 22, 2020

REVISED: JULY 1, 2020 (PLANNING AND ZONING SUBMISSION)

REVISED: SEPTEMBER 2, 2020

REVISED: SEPTEMBER 22, 2020

REVISED: OCTOBER 7, 2020

REVISED: OCTOBER 13, 2020 (SITE PLAN AMENDMENT)

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED UPON FIELD SURVEY CONDUCTED BY MILONE & MACBROOM, INC., TAKEN FROM A MAP ENTITLED "PROPERTY TOPOGRAPHIC SURVEY, PREPARED FOR THE REALTY GROUP, DEMING ROAD, BERLIN, CONNECTICUT," AT A SCALE OF 1" = 40', DATED JULY 9, 2019.
- INFORMATION REGARDING THE LOCATION OF EXISTING UTILITIES HAS BEEN BASED UPON AVAILABLE INFORMATION AND MAY BE INCOMPLETE. AND UNDER SHOWN SHOULD BE CONSIDERED APPROXIMATE. THE LOCATION OF ALL EXISTING UTILITIES SHOULD BE CORROBORATED PRIOR TO BEGINNING CONSTRUCTION. CALL 800-485-4848, 1-800-485-4848, ALL UTILITY LOCATIONS THAT DO NOT MATCH THE VERTICAL OR HORIZONTAL CONTROL SHOWN ON THE PLANS SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER FOR RESOLUTION.
- MILONE & MACBROOM, INC. ACCEPTS NO RESPONSIBILITY FOR THE ACCURACY OF MAPS AND DATA WHICH HAVE BEEN SUPPLIED BY OTHERS.
- ALL UTILITY SERVICES ARE TO BE UNDERGROUND. THE EXACT LOCATION, DEPTH, BEARS OF CONSTRUCTION, AND SIZE OF ELECTRIC, TELEPHONE, AND CABLE TELEVISION ARE TO BE DETERMINED BY THE RESPECTIVE UTILITY COMPANIES.
- ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- SEEDING AND EROSION CONTROL MEASURES AS DEPICTED ON THESE PLANS AND DESCRIBED WITHIN THE SEDIMENT AND EROSION CONTROL NARRATIVE SHALL BE IMPLEMENTED AND MAINTAINED UNTIL PERMANENT COVER AND STABILIZATION IS ESTABLISHED. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL CONFORM TO THE GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, CONNECTICUT, 2022, AND IN ALL CASES BEST MANAGEMENT PRACTICES SHALL PREVAIL.
- ALL DISTURBED AREAS SHALL RECEIVE A MINIMUM OF 4" TOPSOIL, AND BE SEEDING WITH GRASS, AS SHOWN ON THE PLANS.
- ALL PROPOSED CONTOURS AND SPOT ELEVATIONS INDICATE FINISHED GRADE.
- ALL CONSTRUCTION MATERIALS AND METHODS SHALL CONFORM TO THE TOWN OF BERLIN REQUIREMENTS AND TO THE APPLICABLE SECTIONS OF THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES, AND INCIDENTAL CONSTRUCTION, HEAVY AND MODERATE.
- THE PLANS REQUIRE A CONTRACTOR'S WORKING KNOWLEDGE OF LOCAL, MUNICIPAL, WATER AUTHORITY, AND STATE CODES FOR UTILITY SYSTEMS AND CONFLICTS BETWEEN MATERIALS AND LOCATIONS SHOWN, AND LOCAL REQUIREMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE EXECUTION OF WORK. THE ENGINEER WILL NOT BE HELD LIABLE FOR COSTS INCURRED TO IMPLEMENT OR CORRECT WORK WHICH DOES NOT CONFORM TO LOCAL CODE.
- ALL FUEL, OIL, PAINT, OR OTHER HAZARDOUS MATERIALS USED DURING CONSTRUCTION SHOULD BE STORED IN A SECONDARY CONTAINER AND REMOVED TO A LICENSED STORAGE AREA WITH AN IMPERVIOUS FLOOR DURING NON-WORK HOURS.
- COMPLIANCE WITH THE PERMIT CONDITIONS IS THE RESPONSIBILITY OF BOTH THE CONTRACTOR AND THE PERMITTEE.

ZONING DATA TABLE

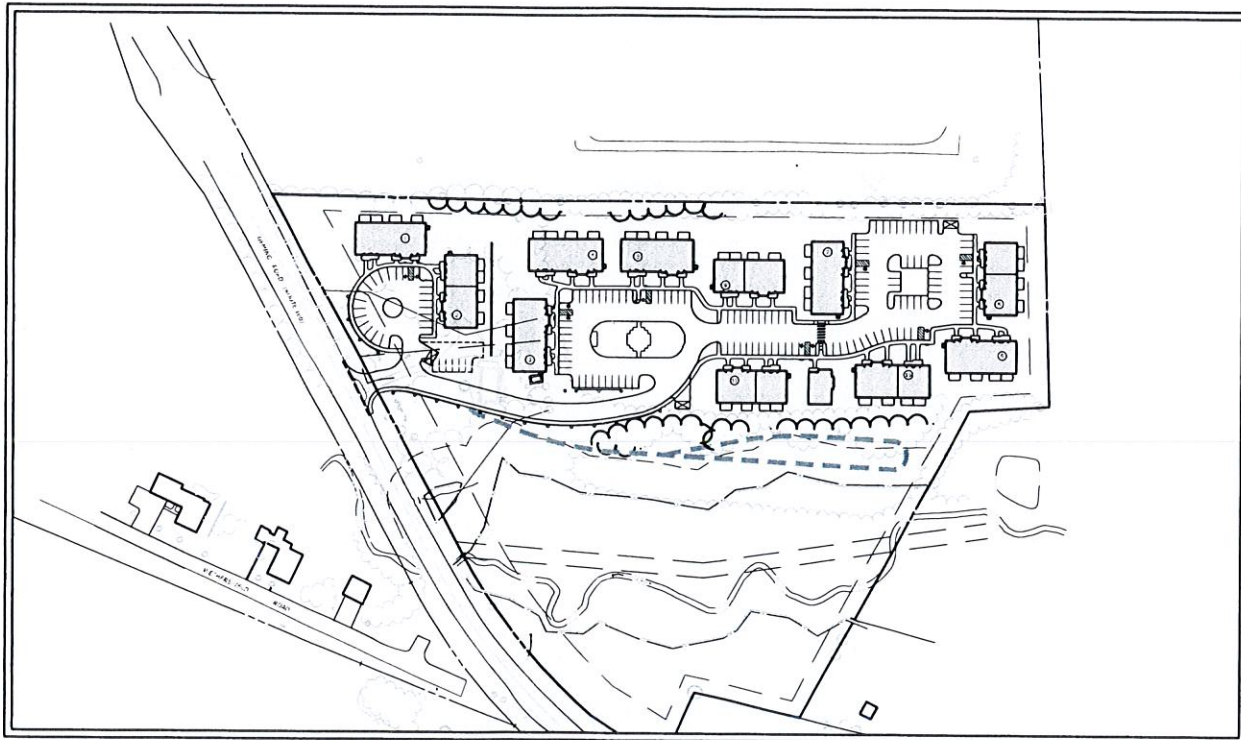
WORKFORCE HOUSING DEVELOPMENT

	REQUIRED	PROPOSED
LOT AREA*	11-13 ACRES	11.48 ACRES
FRONTAGE*	900 FEET MIN.	940 FEET
FRONT YARD	50 FEET MIN.	58 FEET
SIDE YARD	20 FEET MIN.	33 FEET
REAR YARD	25 FEET MIN.	38 FEET
PARKING FRONT YARD*	15 FEET MIN.	16 FEET
PARKING SIDE YARD*	20 FEET MIN.	23 FEET
PARKING REAR YARD	15 FEET MIN.	98 FEET
BUILDING HEIGHT	35 FEET (2 STORIES) MAX.	2 STORIES
UNIT DENSITY*	8 UNITS/ACRE MAX.	7.7 UNITS/ACRE
BUILDING SEPARATION*	20 FEET MIN.	20 FEET
BUILDING COVERAGE	25% MAX.	19%
IMPERVIOUS SITE COVERAGE (%)	60% MAX.	30%
BUILDING SETBACK FROM INTERIOR ROADS	10 FEET MIN.	12 FEET
INTERIOR ROAD WIDTH	24 FEET MIN.	24 FEET
RECREATION AREA	10,000 SQUARE FEET	11,380 SQUARE FEET

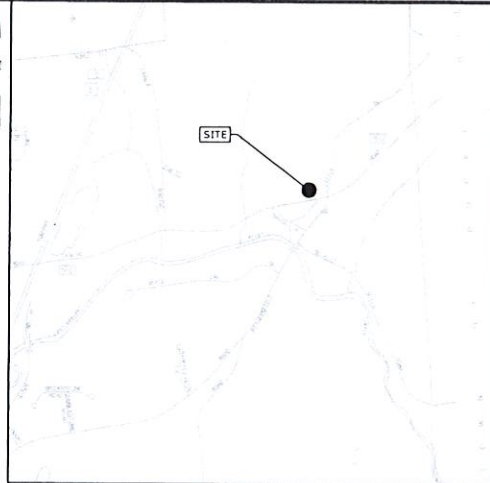
PARKING DATA

	REQUIRED	PROPOSED
STANDARD SPACES		138
HANDICAP/VAN ACCESSIBLE PARKING SPACES	9	10
TOTAL PARKING SPACES	132**	148

**58 UNITS X 1.5 SPACES/UNIT = 132 SPACES



PROJECT SITE VICINITY MAP:



LOCATION MAP:

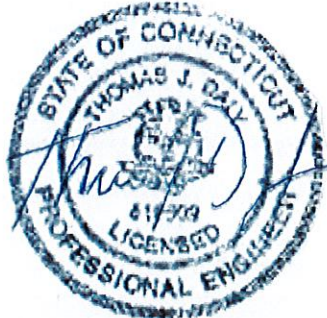
EXISTING	LEGEND	PROPOSED
STREET LINE	STREET LINE	STREET LINE
PROPERTY LINE	PROPERTY LINE	PROPERTY LINE
SETBACK LINE	SETBACK LINE	SETBACK LINE
MAJOR CONTOUR	MAJOR CONTOUR	MAJOR CONTOUR
MINOR CONTOUR	MINOR CONTOUR	MINOR CONTOUR
SPOT GRADE	SPOT GRADE	SPOT GRADE
TREE LINE	TREE LINE	TREE LINE
TREE/SHRUB	TREE/SHRUB	TREE/SHRUB
STONEWALL	STONEWALL	STONEWALL
SITE LIGHT	SITE LIGHT	SITE LIGHT
HYDRANT	HYDRANT	HYDRANT
WATER VALVE	WATER VALVE	WATER VALVE
GAS VALVE	GAS VALVE	GAS VALVE
CATCH BASIN	CATCH BASIN	CATCH BASIN
MANHOLE/YARD DRAIN	MANHOLE/YARD DRAIN	MANHOLE/YARD DRAIN
SANITARY SEWER W/MANHOLE	SANITARY SEWER W/MANHOLE	SANITARY SEWER W/MANHOLE
STORM DRAIN	STORM DRAIN	STORM DRAIN
WATER MAIN	WATER MAIN	WATER MAIN
GAS MAIN	GAS MAIN	GAS MAIN
ELECTRIC LINE	ELECTRIC LINE	ELECTRIC LINE
ELECTRIC, TELEPHONE, CABLE	ELECTRIC, TELEPHONE, CABLE	ELECTRIC, TELEPHONE, CABLE
UTILITY POLE	UTILITY POLE	UTILITY POLE
TRAFFIC SIGN	TRAFFIC SIGN	TRAFFIC SIGN
IRON PIPE	IRON PIPE	IRON PIPE
MONUMENT	MONUMENT	MONUMENT
EDGE OF PAVEMENT W/CURB	EDGE OF PAVEMENT W/CURB	EDGE OF PAVEMENT W/CURB
GUARD RAIL	GUARD RAIL	GUARD RAIL
CHAIN LINK FENCE	CHAIN LINK FENCE	CHAIN LINK FENCE
WATERCOURSE	WATERCOURSE	WATERCOURSE
WETLAND	WETLAND	WETLAND

LIST OF DRAWINGS

NO.	NAME	TITLE
01	-	TITLE SHEET
02	EX	EXISTING CONDITIONS
03	LA	SITE PLAN - LAYOUT
04	GU	SITE PLAN - GRADING AND UTILITIES
05	SE-1	SEDIMENT AND EROSION CONTROL PLAN
06	SE-2	SEDIMENT AND EROSION CONTROL SPECIFICATIONS AND DETAILS
07	SD-1	SITE DETAILS
08	SD-2	SITE DETAILS
09	SD-3	SITE DETAILS



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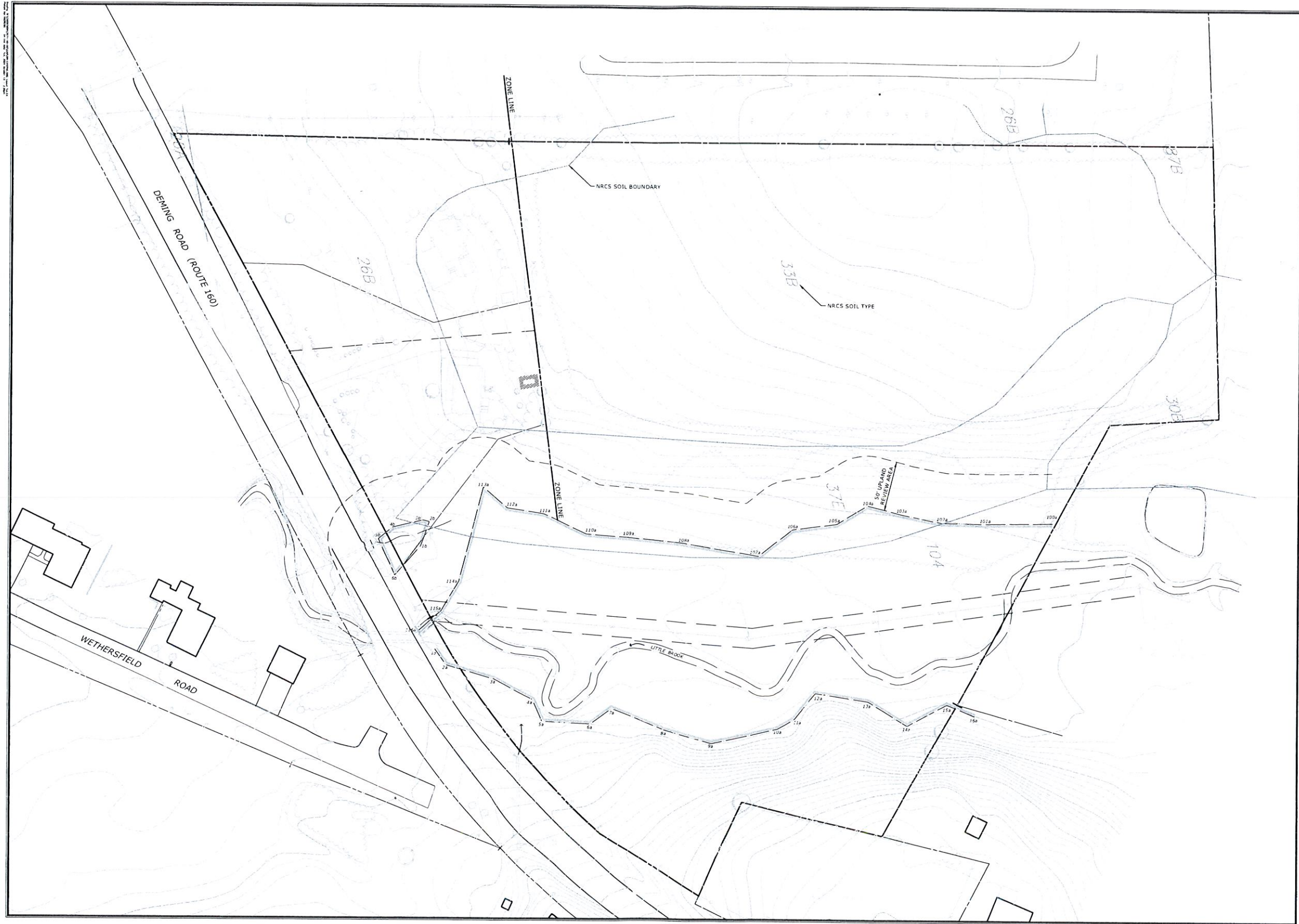
PREPARED FOR:

METRO REALTY
6 EXECUTIVE DRIVE, SUITE 100
FARMINGTON, CT 06032

Town of Berlin
Received

OCT 16 2020

Planning & Zoning Department
Berlin, Connecticut



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DESCRIPTION	DATE	BY
PLANNING COMMISSION	10/20/19	AWG
STAFF RECOMMENDATION	10/20/19	AWG

EXISTING CONDITIONS

DEMING RIDGE

833 DEMING ROAD (ROUTE 160)
BERLIN, CONNECTICUT

AWG	AWG	TD
3/3/2020	2/24/19	6/10/2020

1"=40'

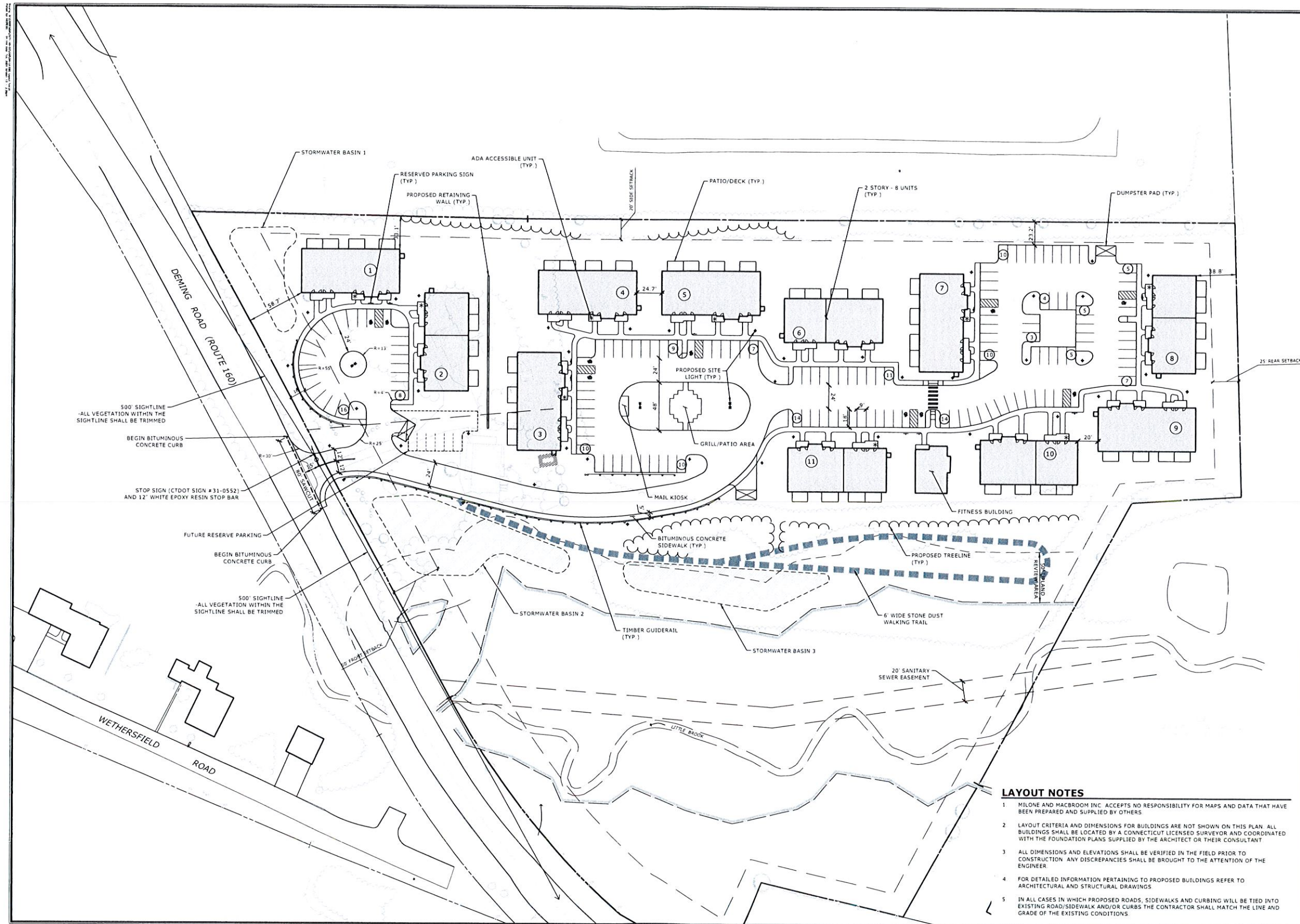
JUNE 22, 2020

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EX

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- LAYOUT NOTES**
1. MILONE AND MACBROOM INC. ACCEPTS NO RESPONSIBILITY FOR MAPS AND DATA THAT HAVE BEEN PREPARED AND SUPPLIED BY OTHERS.
 2. LAYOUT CRITERIA AND DIMENSIONS FOR BUILDINGS ARE NOT SHOWN ON THIS PLAN. ALL BUILDINGS SHALL BE LOCATED BY A CONNECTICUT LICENSED SURVEYOR AND COORDINATED WITH THE FOUNDATION PLANS SUPPLIED BY THE ARCHITECT OR THEIR CONSULTANT.
 3. ALL DIMENSIONS AND ELEVATIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 4. FOR DETAILED INFORMATION PERTAINING TO PROPOSED BUILDINGS REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS.
 5. IN ALL CASES IN WHICH PROPOSED ROADS, SIDEWALKS AND CURBS WILL BE TIED INTO EXISTING ROAD/SIDEWALK AND/OR CURBS THE CONTRACTOR SHALL MATCH THE LINE AND GRADE OF THE EXISTING CONDITIONS.

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DESCRIPTION	DATE	BY
PLANNING AND DESIGN SUBMISSION	04/22/2018	AWG
LAYOUT REVISIONS	06/22/2018	AWG
MISCELLANEOUS REVISIONS	10/07/2019	AWG
CLIENT REVISIONS	10/07/2019	AWG
SITE PLAN AMENDMENT	10/13/2020	AWG

SITE PLAN - LAYOUT

DEMING RIDGE

833 DEMING ROAD (ROUTE 160)
BERLIN, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED

1"=40'

JUNE 22, 2020

3571-40

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UPON SITE DEVELOPMENT, THERE WILL BE A NEED TO PERIODICALLY MAINTAIN STORMWATER SYSTEMS ON THE PROPERTY. THE STORMWATER SYSTEM CONSISTS OF PIPING AND CATCH BASINS.

IN ORDER TO ENSURE OPTIMAL PERFORMANCE OF THE SYSTEM, THE FOLLOWING STORMWATER MAINTENANCE PROGRAM HAS BEEN ESTABLISHED. THE PROPERTY OWNER WILL BE RESPONSIBLE FOR IMPLEMENTATION OF THIS PROGRAM. A LOG OF ALL INSPECTIONS, CLEANING AND REPAIRS SHALL BE MAINTAINED BY THE PROPERTY OWNER AND BE AVAILABLE FOR REVIEW.

A CATCH BASINS/YARD DRAINS

CATCH BASINS ARE DESIGNED WITH 4-FOOT MINIMUM DEPTH SUMPS FOR THE PURPOSE OF COLLECTING COARSE SEDIMENT. ALL CATCH BASINS SHOULD BE INSPECTED TWO TIMES PER YEAR, TYPICALLY WHEN THE SITE IS SWEEPED IN THE SPRING AFTER WINTER SANDING AND IN THE FALL AFTER ALL THE LEAVES HAVE FALLEN. SITE SWEEPING SHALL BE PROVIDED BETWEEN APRIL 15 AND MAY 15 EACH SPRING.

SEDIMENT SHOULD BE REMOVED WHEN IT EXTENDS TO WITHIN 6 INCHES OF THE OUTLET PIPE INVERT OR NOT LESS THAN ONCE PER YEAR. CLEANOUT WITH A VACUUM TRUCK IS GENERALLY THE BEST AND MOST CONVENIENT METHOD. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS.

B PAVEMENT SWEEPING

THE PARKING AREA AND ROADWAY SHALL BE SWEEPED ANNUALLY. SWEEPING SHOULD OCCUR IN THE SPRING AFTER WINTER SANDING, BETWEEN APRIL 15 AND MAY 15. SALT ALTERNATIVES SHALL BE USED DURING WINTER MONTHS FOR DEICING.

C STORMWATER BASINS

INSPECTIONS: BASINS SHOULD BE INSPECTED TWICE PER YEAR (SPRING AND FALL) TO ENSURE THAT THE STRUCTURE OPERATES IN THE MANNER ORIGINALLY INTENDED. WHEN POSSIBLE, INSPECTIONS SHOULD BE CONDUCTED DURING WEATHER TO DETERMINE IF THE BASIN IS MEETING THE TARGETED DETENTION TIMES PER APPROVED DESIGN. IN PARTICULAR, THE OUTLET CONTROL DEVICE SHOULD BE REGULARLY INSPECTED FOR EVIDENCE OF CLOGGING OR, CONVERSELY, FOR TOO RAPID A RELEASE, AND THE FLOW PATH SHOULD BE CHECKED FOR EROSION PROBLEMS. OTHER FACTORS THAT SHOULD BE CHECKED FOR INCLUDE SUBSIDENCE, OUTLET WATER TURBIDITY, BANK/BED/OUTLET EROSION, CRACKING, OR TREE GROWTH ON THE EMBANKMENT; THE ACCUMULATION OF SEDIMENT ALONG THE OUTLET; THE ADEQUACY OF UPSTREAM/DOWNSTREAM CHANNEL EROSION CONTROL MEASURES; AND MODIFICATIONS TO THE BASIN OR ITS CONTRIBUTING WATERSHED THAT MAY INFLUENCE BASIN PERFORMANCE. INSPECTIONS SHOULD BE CARRIED OUT WITH DESIGN PLANS IN HAND.

DEBRIS AND LITTER REMOVAL: DEBRIS AND LITTER WILL ACCUMULATE NEAR THE OUTLET CONTROL DEVICE AND SHOULD BE REMOVED DURING REGULAR INSPECTION AND/OR MOWING OPERATIONS. PARTICULAR ATTENTION SHOULD BE PAID TO FLOATABLE DEBRIS THAT COULD EVENTUALLY CLOG THE CONTROL DEVICE OR RISER.

1) SEDIMENT REMOVAL: WHEN PROPERLY DESIGNED, DETENTION/WATER QUALITY BASINS WILL ACCUMULATE SEDIMENT OVER TIME. HOWEVER, MOST OF THE SEDIMENT WILL BE TRAPPED IN THE SEDIMENT CHAMBERS AND CATCH BASIN SUMPS UNTIL BEFORE REACHING THE BASIN. THE REMAINDER OF THE SEDIMENT WILL BE TRAPPED IN THE BASIN. THE SEDIMENT MUST BE REMOVED FROM THE BASIN EVERY 5 YEARS OR ONE HALF (1/2) OF THE SEDIMENT STORAGE CAPACITY IN THE FOREBAY. ALGAL GROWTH MUST BE MONITORED IN THE FOREBAY. IF ALGAL GROWTH IN THE MAIN PORTION OF THE BASIN, OR WHEN SIGNIFICANT ALGAL GROWTH IS OBSERVED, A PERMANENT MEASURING DEVICE SHALL BE INSTALLED IN THE FOREBAY TO MONITOR ALGAL GROWTH. THE MEASURING DEVICE SHALL BE INSTALLED IN THE FOREBAY AT A DEPTH OF 10 FEET. THE MEASURING DEVICE SHALL BE USED TO REMOVE THE SEDIMENT FROM THE BASIN. THE SEDIMENT CAN EASILY BE MEASURED. MORE FREQUENT SUMP CLEANOUTS MAY BE NEEDED AROUND THE OUTLET CONTROL DEVICE. SEDIMENT REMOVAL OPERATIONS ARE RELATIVELY SIMPLE. FRONT-END LOADERS, BACKHOES, OR VACUUM TRUCKS CAN BE USED TO REMOVE THE SEDIMENT FROM THE BASIN. THE SEDIMENT SHALL BE DISPOSED OF IN AN APPROVED OFF-SITE LOCATION IN ACCORDANCE WITH TOWN AND STATE REQUIREMENTS. THE SEDIMENT SHALL BE COVERED WITH A LAYER OF GRASS SEED AND MULCHED WITH HAY AFTER REMOVAL OPERATIONS ARE COMPLETED TO PREVENT THE OUTLET CONTROL DEVICE FROM CLOGGING.

D PROPRIETARY HYDRODYNAMIC SEPARATOR

BEFORE BEING DISCHARGED TO THE UNDERGROUND GALLERIES, STORMWATER RUNOFF FROM THE ROADWAY AND BUILDING WILL BE DIRECTED TO A HYDRODYNAMIC SEPARATOR. THIS STRUCTURE WILL REMOVE SUSPENDED SOLIDS, DEBRIS AND FLOATABLES CONSTITUENTS FROM STORMWATER. OIL, SCUM, AND SEDIMENT WILL EVENTUALLY ACCUMULATE AND CAN BE REMOVED THROUGH A MANHOLE LOCATED AT THE END OF THE SEPARATOR. THIS STRUCTURE WILL BE MAINTAINED YEARLY, OR MORE FREQUENTLY AS REQUIRED. THE UNIT SHOULD BE INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. WASTE MATERIAL WILL BE PROPERLY DISPOSED OF OFF THE SITE.

E. LAWN AND VEGETATED AREAS

VEGETATED COVER SHALL BE MAINTAINED ON ALL EARTH SURFACES TO MINIMIZE SOIL EROSION. USE OF FERTILIZER SHOULD BE MINIMIZED AND APPLIED USING PRUDENT APPLICATION PROCESSES.

F. ROOF GUTTERS

REMOVE ACCUMULATED DEBRIS AND INSPECT FOR CLOGGING AND/OR DAMAGE AT LEAST ONCE A YEAR, TYPICALLY IN THE FALL AFTER THE LEAVES HAVE FALLEN. ANY DAMAGE SHOULD BE REPAIRED AS REQUIRED.



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DESCRIPTION	DATE	BY
ANNING AND ZONING SUBMISSION	7/11/2020	AWG
GRADING AND UTILITY REVISIONS	8/04/2020	AWG
LAYOUT REVISIONS	9/02/2020	AWG
CLIENT REVISIONS	10/07/2020	AWG
SITE PLAN AMENDMENT	10/13/2020	AWG

EMING RIDGE

AWG AWG TD
2.5G N 2 2.4K N 2.4G N 2

1"=40'

S: N 2

JUNE 22, 2020

247'

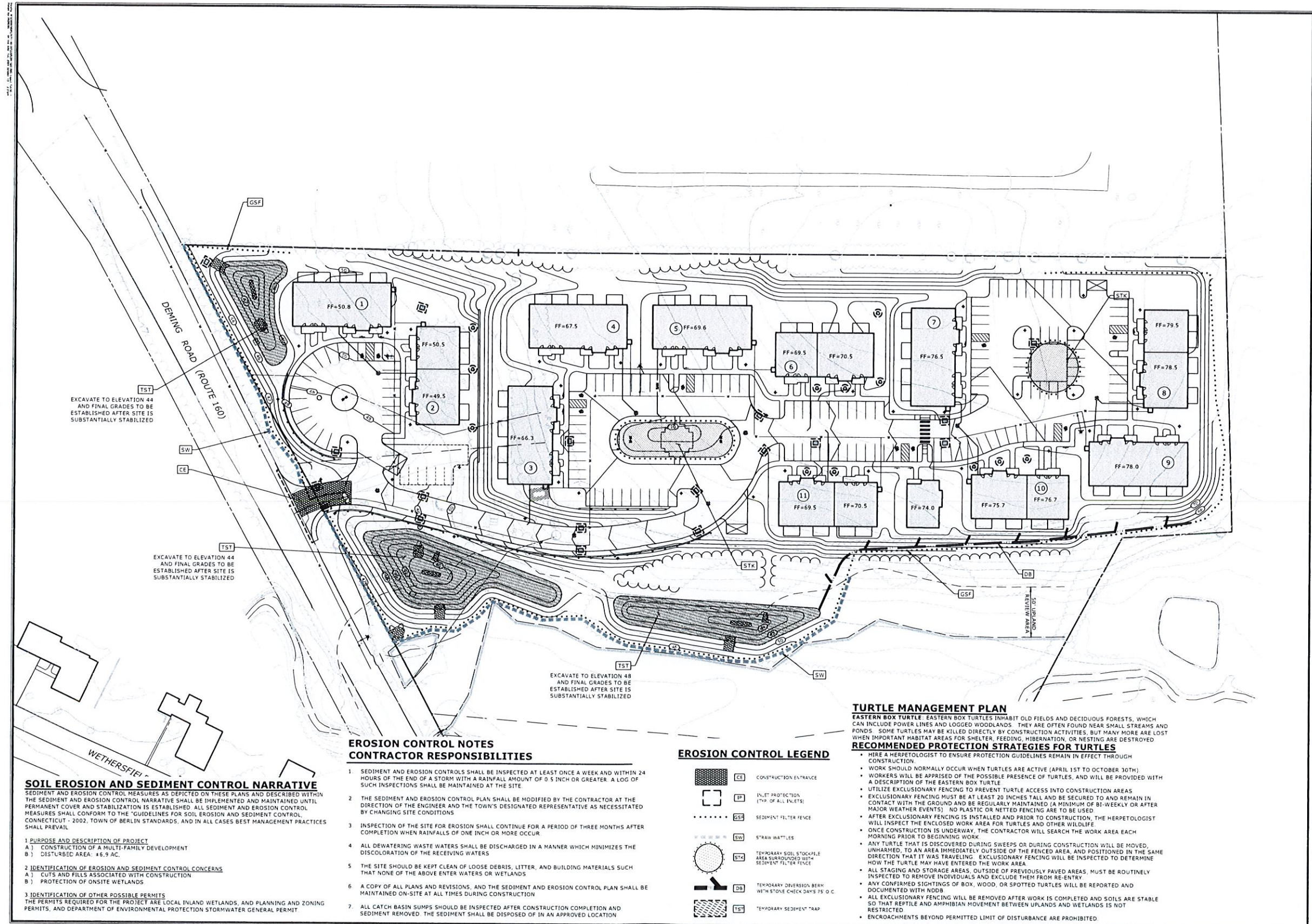
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DESCRIPTION	DATE	BY
PLANNING AND ZONING SUBMISSION	7/17/2020	AWG
PERMIT REVISIONS	10/12/2020	AWG
CLIENT REVISIONS	10/17/2020	AWG
SITE PLAN AMENDMENT	10/13/2020	AWG
SEDIMENT AND EROSION CONTROL PLAN		
DEMING RIDGE		
833 DEMING ROAD (ROUTE 160)		
BERLIN, CONNECTICUT		
AWG	AWG	TD
J. BROWN	J. BROWN	C. LUCAS
1"=40'		
JUNE 22, 2020		
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05 OF 09		
SE-1		

SEDIMENT AND EROSION CONTROL SPECIFICATIONS

GENERAL

THESE GUIDELINES SHALL APPLY TO ALL WORK CONSISTING OF ANY AND ALL TEMPORARY AND/OR PERMANENT MEASURES TO CONTROL WATER POLLUTION AND SOIL EROSION, AS MAY BE REQUIRED, DURING THE CONSTRUCTION OF THE PROJECT. IN GENERAL, ALL CONSTRUCTION ACTIVITIES SHALL PROCEED IN SUCH A MANNER SO AS NOT TO POLLUTE ANY WETLANDS, WATERCOURSE, WATERBODY, AND CONDUIT CARRYING WATER, ETC. THE CONTRACTOR SHALL LIMIT, INsofar AS POSSIBLE, THE SURFACE AREA OF EARTH MATERIALS EXPOSED BY CONSTRUCTION METHODS AND IMMEDIATELY PROVIDE PERMANENT AND TEMPORARY POLLUTION CONTROL MEASURES TO PREVENT CONTAMINATION OF ADJACENT WETLANDS, WATERCOURSES, AND WATERBODIES, AND TO PREVENT, INsofar AS POSSIBLE, EROSION ON THE SITE.

LAND GRADING

GENERAL

- THE RESHAPING OF THE GROUND SURFACE BY EXCAVATION AND FILLING OR A COMBINATION OF BOTH, TO OBTAIN PLANNED GRADES, SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING CRITERIA:
 - THE CUT FACE OF EARTH EXCAVATION SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE PERMANENT EXPOSED FACES OF FILLS SHALL NOT BE STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
 - THE CUT FACE OF ROCK EXCAVATION SHALL NOT BE STEEPER THAN ONE HORIZONTAL TO FOUR VERTICAL (1:4).
- PROVISION SHOULD BE MADE TO CONDUIT SURFACE WATER SAFELY TO STORM DRAINS TO PREVENT SURFACE RUNOFF FROM DAMAGING CUT FACES AND FILL SLOPES.
- EXCAVATIONS SHOULD NOT BE MADE SO CLOSE TO PROPERTY LINES AS TO ENDANGER ADJOINING PROPERTY WITHOUT PROTECTING SUCH PROPERTY FROM EROSION, SLIDING, SETTLING, OR CRACKING.
- NO FILL SHOULD BE PLACED WHERE IT WILL SLIDE OR WASH UPON THE PREMISES OF ANOTHER OWNER OR UPON ADJACENT WETLANDS, WATERCOURSES, OR WATERBODIES.
- PRIOR TO ANY REGRADING, A STABILIZED CONSTRUCTION ENTRANCE SHALL BE PLACED AT THE ENTRANCE TO THE WORK AREA IN ORDER TO REDUCE MUD AND OTHER SEDIMENTS FROM LEAVING THE SITE.

TOPSOILING

GENERAL

- TOPSOIL SHALL BE SPREAD OVER ALL EXPOSED AREAS IN ORDER TO PROVIDE A SOIL MEDIUM HAVING FAVORABLE CHARACTERISTICS FOR THE ESTABLISHMENT, GROWTH, AND MAINTENANCE OF VEGETATION.
- UPON ATTAINING FINAL SUBGRADE, SCARIFY SURFACE TO PROVIDE A GOOD BOND WITH TOPSOIL.
- REMOVE ALL LARGE STONES, TREE LIMBS, ROOTS AND CONSTRUCTION DEBRIS.

MATERIAL

- TOPSOIL SHOULD HAVE PHYSICAL, CHEMICAL, AND BIOLOGICAL CHARACTERISTICS FAVORABLE TO THE GROWTH OF PLANTS.
- TOPSOIL SHOULD HAVE A SANDY OR LOAMY TEXTURE.
- TOPSOIL SHOULD BE RELATIVELY FREE OF SUBSOIL MATERIAL AND MUST BE FREE OF LARGE STONES, LUMPS OF SOIL, ROOTS, TREE LIMBS, TRASH, OR CONSTRUCTION DEBRIS. IT SHOULD BE FREE OF ROOTS OR SHOOTS SUCH AS THISTLE, NATRGRASS, AND QUACKGRASS.
- AN ORGANIC MATTER CONTENT OF SIX PERCENT (6%) IS REQUIRED. AVOID LIGHT COLORED SUBSOIL MATERIAL.
- SOLUBLE SALT CONTENT OF LESS THAN 400 PPM IS REQUIRED.
- THE TOPSOIL SHALL BE WARRANTED BY SELLER TO BE FREE OF DETECTABLE RESIDUES OF CHEMICAL, PESTICIDES, HERBICIDES, PETROLEUM PRODUCTS, OR OTHER UNSUITABLE TOXINS.

APPLICATION

- AVOID SPREADING WHEN TOPSOIL IS WET OR FROZEN.
- SPREAD TOPSOIL UNIFORMITY TO A DEPTH OF AT LEAST FOUR INCHES (4"), OR TO THE DEPTH SHOWN ON THE LANDSCAPING PLANS.

TEMPORARY VEGETATIVE COVER

TEMPORARY VEGETATIVE COVER SHALL BE ESTABLISHED ON ALL UNPROTECTED AREAS THAT PRODUCE SEDIMENT. AREAS WHERE FINAL GRADING HAS BEEN COMPLETED, AND AREAS WHERE THE ESTIMATED PERIOD OF BARE SOIL EXPOSURE IS LESS THAN 12 MONTHS. TEMPORARY VEGETATIVE COVER SHALL BE APPLIED IF AREAS WILL NOT BE PERMANENTLY SEEDING BY SEPTEMBER 1.

GENERAL

- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- TILLAGE SHOULD ACHIEVE A REASONABLY UNIFORM, LOOSE SEEDBED. WORK ON CONTOUR IF SITE IS SLOPING.

SITE PREPARATION

- SELECT APPROPRIATE SPECIES FOR THE SITUATION. NOTE RATES AND SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING).
- APPLY SEED UNIFORMLY ACCORDING TO THE RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- UNLESS HYDROSEEDING, COVER HYDROSEED SEEDS WITH NOT MORE THAN 1/4 INCH OF SOIL USING SUITABLE EQUIPMENT.
- MULCH IMMEDIATELY AFTER SEEDING IF REQUIRED (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION BELOW). APPLY STRAW AND ANCHOR TO SLOPES GREATER THAN 3% OR WHERE NEEDED.

PERMANENT VEGETATIVE COVER

GENERAL

PERMANENT VEGETATIVE COVER SHALL BE ESTABLISHED AS VARIOUS SECTIONS OF THE PROJECT ARE COMPLETED IN ORDER TO STABILIZE THE SOIL, REDUCE DOWNSTREAM DAMAGE FROM SEDIMENT AND RUNOFF, AND TO ENHANCE THE AESTHETIC NATURE OF THE SITE. IT WILL BE APPLIED TO ALL CONSTRUCTION AREAS SUBJECT TO EROSION WHERE FINAL GRADING HAS BEEN COMPLETED AND A PERMANENT COVER IS NEEDED.

SITE PREPARATION

- INSTALL REQUIRED SURFACE WATER CONTROL MEASURES.
- REMOVE LOOSE ROCK, STONE, AND CONSTRUCTION DEBRIS FROM AREA.
- PERFORM ALL PLANTING OPERATIONS PARALLEL TO THE CONTOURS OF THE SLOPE.
- APPLY TOPSOIL AS INDICATED ELSEWHERE HEREIN.

VEGETATED COVER SELECTION AND MULCHING

TEMPORARY VEGETATIVE COVER

PERENNIAL KYOGRASS 5 LBS / 1,000 SQ FT (LOJUM PERENNE)
DUTCH WHITE CLOVER (TRIBOLIUM REPENS) 1/4 LBS PER 1,000 SQ FT OR 6,85 LBS/AC

PERMANENT VEGETATIVE COVER

DUTCH WHITE CLOVER 30%
BARON KENTUCKY BLUEGRASS 30%
JAMESTOWN II CHEWINGS FESCUE 20%
PALMER PERENNIAL RYEGRASS 20%

NEW ENGLAND EROSION CONTROL/RESTORATION MIX FOR MOIST SITES AT 1/4 LBS PER 1,000 S.F. FOR 5 LBS/AC

NEW ENGLAND SHOWY WILD FLOW MIX AT 1/4 LBS PER 1,000 S.F. OR 2 LBS/AC

*LOFTS - TRIPLEX GENERAL MIX OR APPROVED EQUAL. RECOMMENDED RATE/TIME
SPRING SEEDING: 4/1 TO 5/31
FALL SEEDING: 9/16 TO 10/15

TEMPORARY MULCHING

STRAW TO 90 LBS / 1,000 SQ FT (TEMPORARY VEGETATIVE AREAS) WOOD FIBER IN HYDROMULCH 5 LBS/AC 25 50 LBS / 1,000 SQ FT

ESTABLISHMENT

- SHOOTH AND FRY SEEDING WITH CUT, TRACKER OR OTHER SIMILAR EQUIPMENT PRIOR TO SEEDING (EXCEPT WHEN HYDROSEEDING).
- SELECT ADAPTED SEED MIXTURE FOR THE SPECIFIC SITUATION. NOTE RATES AND THE SEEDING DATES (SEE VEGETATIVE COVER SELECTION & MULCHING SPEC BELOW).
- APPLY SEED UNIFORMLY ACCORDING TO RATE INDICATED BY BROADCASTING, DRILLING, OR HYDRAULIC APPLICATION.
- COVER GRASS AND LEGUME SEED WITH NOT MORE THAN 1/4 INCH OF SOIL WITH SUITABLE EQUIPMENT (EXCEPT WHEN HYDROSEEDING).
- MULCH IMMEDIATELY AFTER SEEDING, IF REQUIRED, ACCORDING TO TEMPORARY MULCHING SPECIFICATIONS (SEE VEGETATIVE COVER SELECTION & MULCHING SPECIFICATION BELOW).
- USE PROPER INOCULANT ON ALL LEGUME SEEDINGS. USE FOUR (4) TIMES NORMAL RATES WHEN HYDROSEEDING.
- USE SOIL WHERE THERE IS A HEAVY CONCENTRATION OF WATER AND IN CRITICAL AREAS WHERE IT IS IMPORTANT TO GET A QUICK VEGETATIVE COVER TO PREVENT EROSION.

MAINTENANCE

- TEST FOR SOIL ACIDITY EVERY THREE (3) YEARS AND LIME AS REQUIRED.

EROSION CHECKS

GENERAL

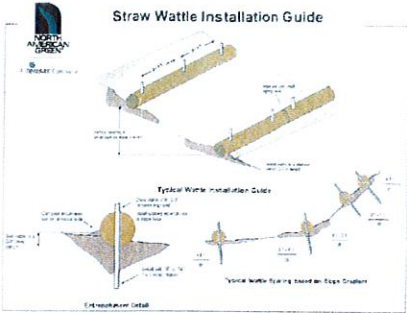
- TEMPORARY PERVIOUS BARRIERS USING BALES OF HAY OR STRAW HELD IN PLACE WITH STAKES DRIVEN THROUGH THE BALES AND INTO THE GROUND OR GEOTEXTILE FABRIC FASTENED TO A FENCE POST AND BURIED INTO THE GROUND, SHALL BE INSTALLED AND MAINTAINED AS REQUIRED TO CHECK EROSION AND REDUCE SEDIMENTATION.

CONSTRUCTION

- BALES SHOULD BE PLACED IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE EMBEDDED INTO THE SOIL A MINIMUM OF FOUR (4) INCHES.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY WOOD STAKES OR REINFORCEMENT BARS DRIVEN THROUGH THE BALES AND INTO THE GROUND. THE FIRST STAKE IN EACH BALE SHALL BE ANCHORED TOWARD THE PREVIOUSLY LAID BALE TO FORCE BALES TOGETHER.
- GEOTEXTILE FABRIC SHALL BE SECURELY ANCHORED AT THE TOP OF A THREE (3) FOOT (3') HIGH FENCE AND BURIED A MINIMUM OF FOUR INCHES (4") TO THE SOIL. SEAMS BETWEEN SECTIONS OF FILTER FABRIC SHALL OVERLAP A MINIMUM OF TWO FEET (2').

INSTALLATION AND MAINTENANCE

- BALD HAY EROSION BARRIERS SHALL BE INSTALLED AT ALL STORM SEWER INLETS.
- BALD HAY EROSION BARRIERS AND GEOTEXTILE FENCE SHALL BE INSTALLED AT THE LOCATION INDICATED ON THE PLAN AND IN ADDITIONAL AREAS AS MAY BE DETERMINED APPROPRIATE DURING CONSTRUCTION.
- ALL EROSION CHECKS SHALL BE MAINTAINED UNTIL ADJACENT AREAS ARE STABILIZED.
- INSPECTION SHALL BE FREQUENT (AT MINIMUM MONTHLY AND BEFORE AND AFTER HEAVY RAIN) AND REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
- EROSION CHECKS SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPED STORMWATER FLOW OR DRAINAGE.



1. INSTALL THE WATTLE OVER THE PREPARED SURFACE. THE WATTLE SHOULD BE PLACED OVER THE PREPARED SURFACE WITH THE TOP OF THE WATTLE AT THE SURFACE GRADE. THE WATTLE SHOULD BE PLACED OVER THE PREPARED SURFACE WITH THE TOP OF THE WATTLE AT THE SURFACE GRADE. THE WATTLE SHOULD BE PLACED OVER THE PREPARED SURFACE WITH THE TOP OF THE WATTLE AT THE SURFACE GRADE.

2. SECURE THE WATTLE TO THE PREPARED SURFACE WITH STAKES OR PINS. THE STAKES OR PINS SHOULD BE PLACED AT THE SURFACE GRADE. THE STAKES OR PINS SHOULD BE PLACED AT THE SURFACE GRADE. THE STAKES OR PINS SHOULD BE PLACED AT THE SURFACE GRADE.

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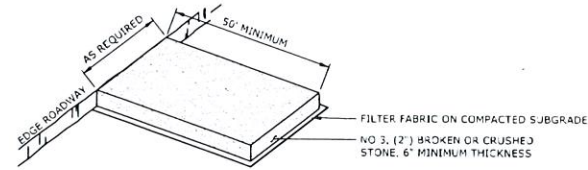
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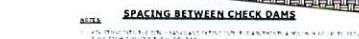
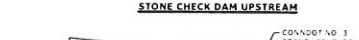
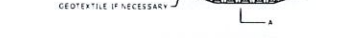
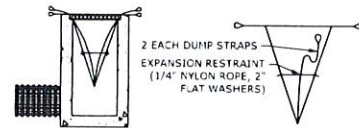


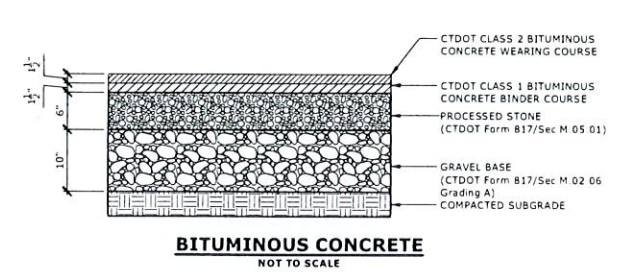
NOTES

- CONSTRUCTION ENTRANCE PAD SHALL BE INSTALLED AND MAINTAINED DURING OPERATIONS AND DURING OFF-PEAK PERIODS AS TRAFFICING OF MUD.

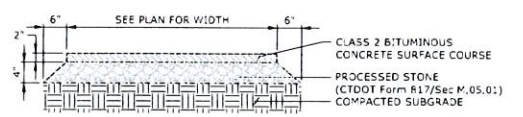
CONSTRUCTION ENTRANCE PAD

NOT TO SCALE

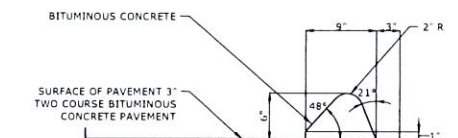




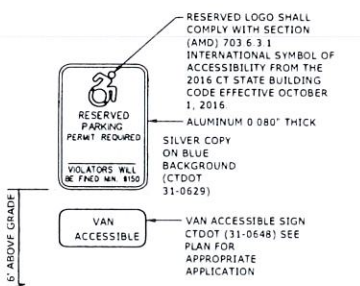
BITUMINOUS CONCRETE
NOT TO SCALE



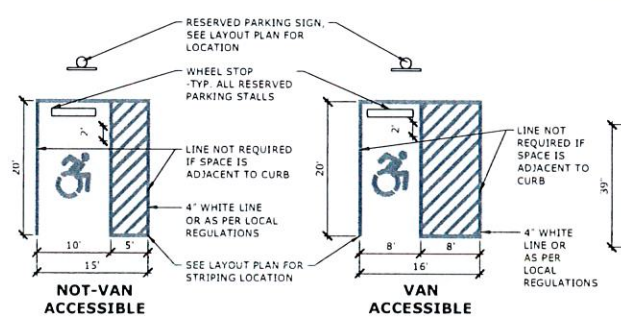
BITUMINOUS CONCRETE WALKS
NOT TO SCALE



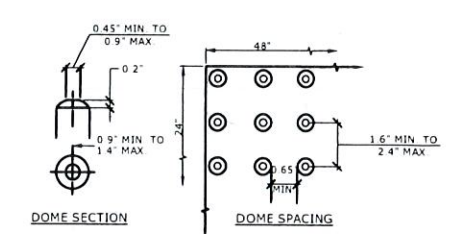
BITUMINOUS CONCRETE CURB
NOT TO SCALE



RESERVED PARKING SIGN
NOT TO SCALE

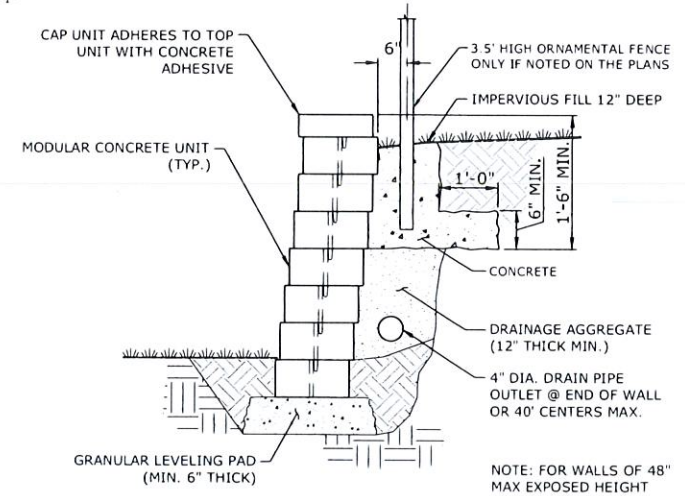


RESERVED PARKING
NOT TO SCALE

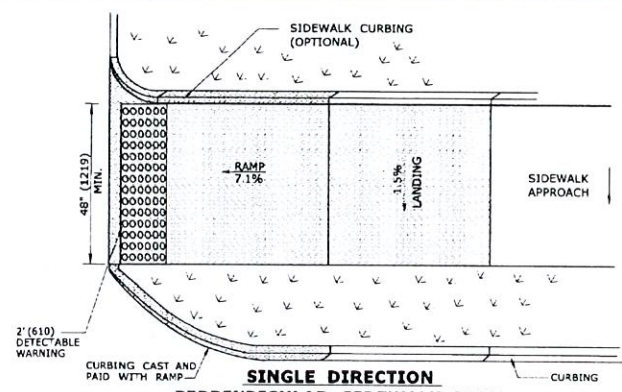


NOTES:
THE DETECTABLE WARNING STRIP SHALL BE A PREFABRICATED DETECTABLE WARNING SURFACE TILE THAT IS CAST IN PLACE AND REPLACEABLE SUCH AS MANUFACTURED FROM ALERTILE DETECTABLE WARNING SYSTEMS, ADA SOLUTIONS, OR APPROVED EQUAL. THE TILE SHALL HAVE A BRICK RED HOMOGENEOUS COLOR IN COMPLIANCE WITH FEDERAL STANDARD 595A COLOR #2144 OR APPROVED EQUAL.

DETECTABLE WARNING STRIP
NOT TO SCALE

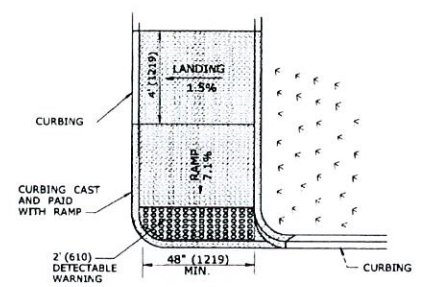


UNREINFORCED RETAINING WALL
NOT TO SCALE

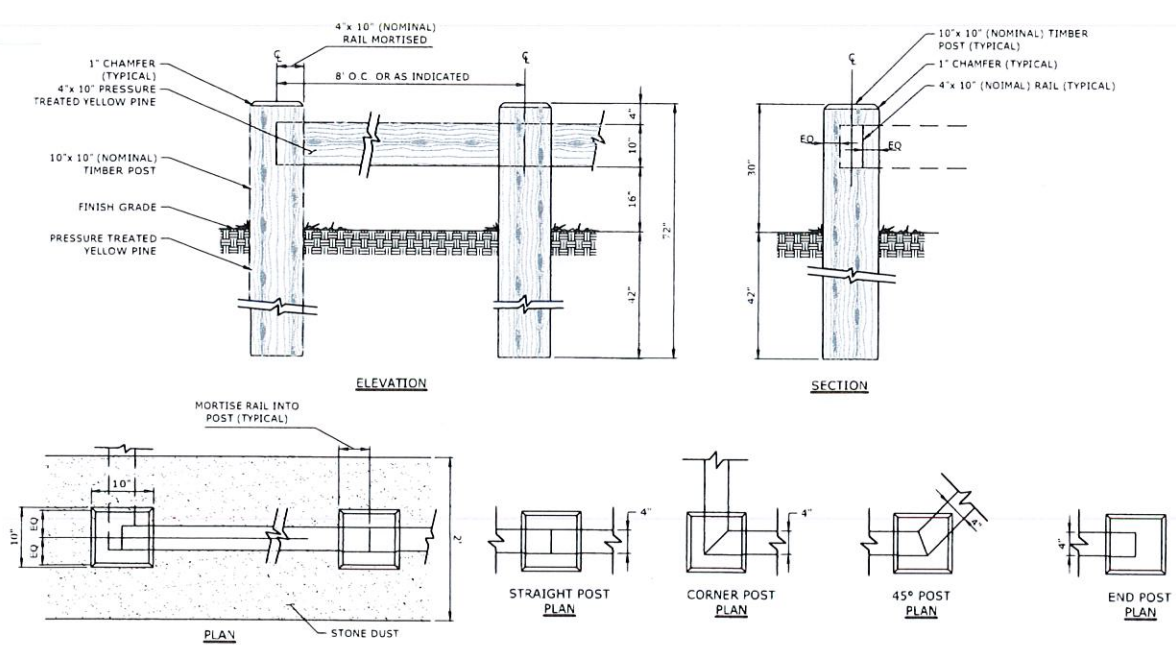


SINGLE DIRECTION PERPENDICULAR SIDEWALK RAMP W/ UTILITY GRASS STRIP (TYPE 4e)

TYPICAL BITUMINOUS CONCRETE RAMPS
NOT TO SCALE



SINGLE DIRECTION PERPENDICULAR SIDEWALK RAMP NO / UTILITY GRASS STRIP (TYPE 4a)



NOTES:
1. CONTRACTOR TO PROVIDE 90°, 45° OR END POSTS WHERE REQUIRED.
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ENTIRE SYSTEM.

TIMBER POST GUIDE RAIL MOROISE & TENON 10x10 POSTS
NOT TO SCALE

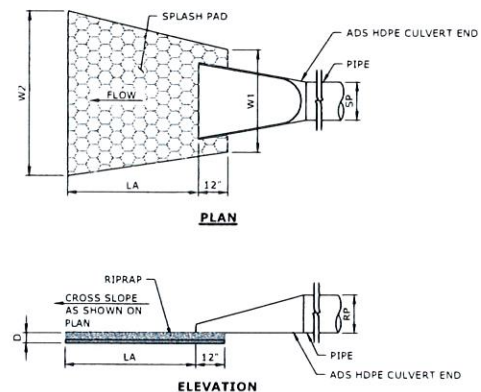


DESCRIPTION	DATE	BY
PLANNING AND ZONING SUBMISSION	7/10/2020	AWG
DESIGN REVIEW	10/15/2020	AWG
CLIENT REVIEW	10/22/2020	AWG
SITE PLAN REVISION		

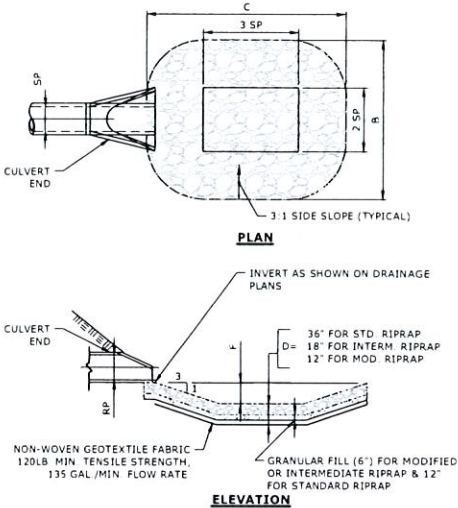
SITE DETAILS
DEMING RIDGE
PROPOSED MULTI-FAMILY DEVELOPMENT
833 DEMING ROAD (ROUTE 100)
BERLIN, CONNECTICUT

AWG	AWG	TD
10/22/20	10/22/20	10/22/20
AS NOTED		
JUNE 22, 2020		
3571-40		
07 OF 09		

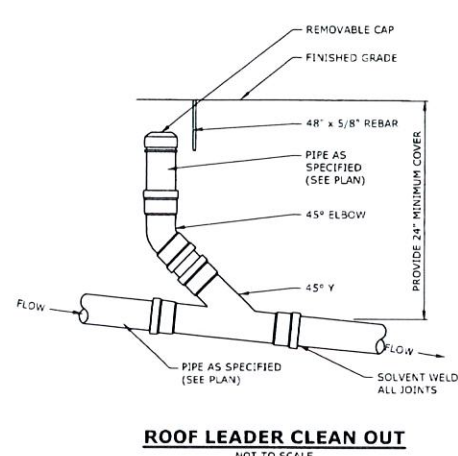
SD-1



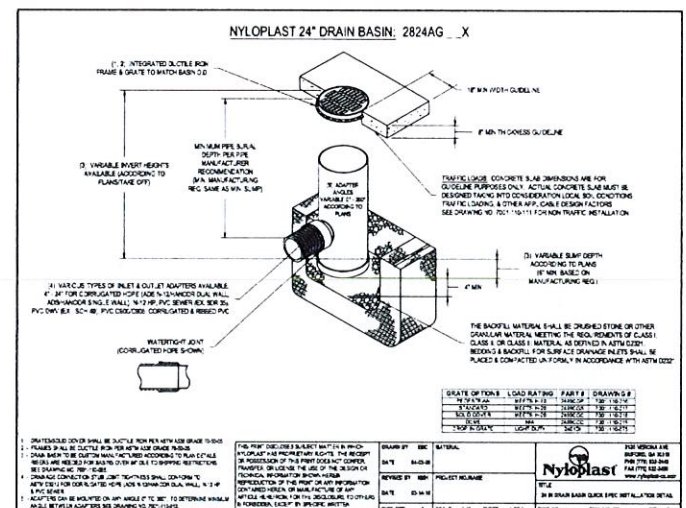
FLARED END WITH RIP RAP SPLASH PAD
NOT TO SCALE



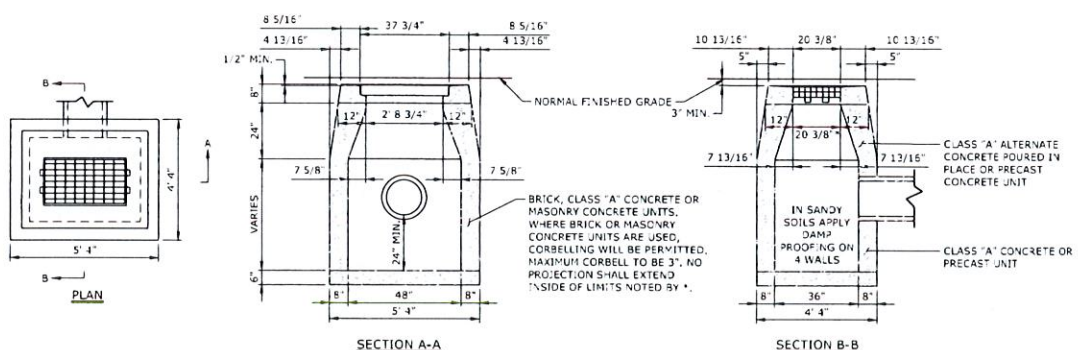
PREFORMED SCOUR HOLE
NOT TO SCALE



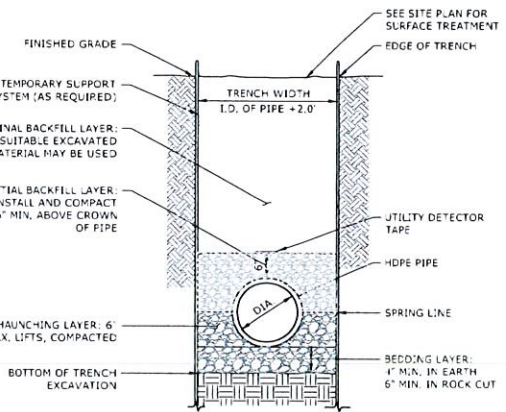
WATER MAIN CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE TOWN OF BERLIN WATER CONTROL COMMISSION STANDARDS



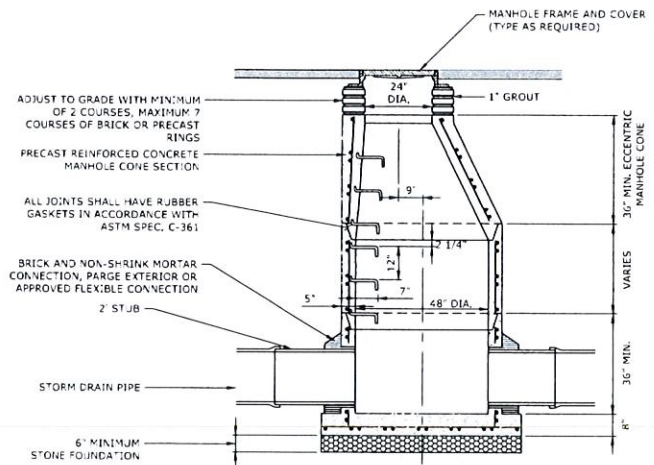
YARD DRAIN
NOT TO SCALE



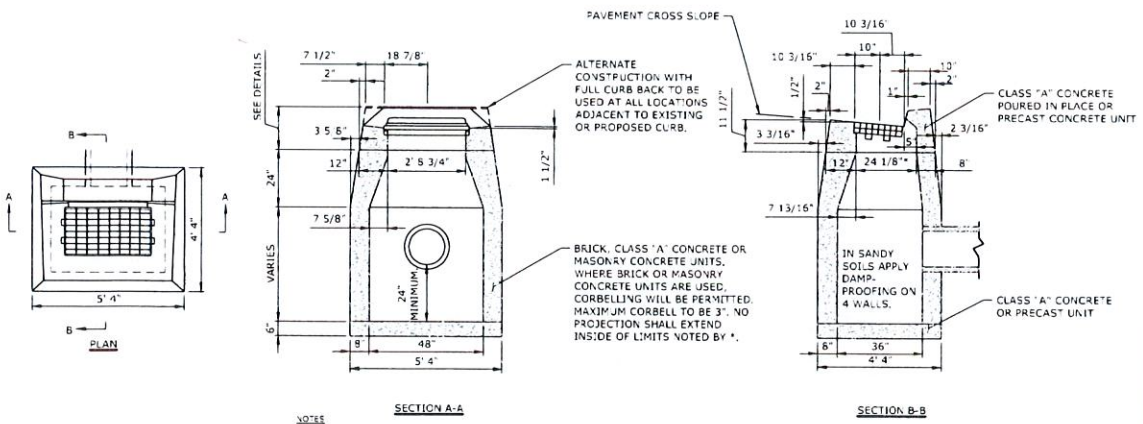
TYPE "C-L" CATCH BASIN
NOT TO SCALE



- NOTES:**
- BACKFILL MATERIAL, USED IN BEDDING, HAUNCHING, AND INITIAL BACKFILL LAYERS SHALL BE 3/4" CRUSHED STONE.
 - PAVEMENT LIMIT FOR ROCK IN TRENCH TO BE PIPE DIAMETER + 1.0.



- NOTES:**
- 5' OR 6' DIA. AFTER PRECAST BASES MAY BE REQUIRED DUE TO SIZE OR NUMBER OF PIPES AT THE MANHOLE. PRECAST BASES WILL BE PLACED ABOVE THE 3' OR 6' BASES AS DIRECTED BY THE ENGINEER. WALL THICKNESS TO INCREASE BY 1" FOR EACH 1/4" OF INSIDE DIAMETER.



- NOTES:**
- WHEN CATCH BASIN IS SET IN CONCRETE PAVEMENT, THE 1/2" SLOPE ON THE TOP SURFACE SHALL BE CHANGED TO MATCH ADJOINING PAVEMENT.
 - WHERE PRECAST CONCRETE UNIT IS USED FOR SLUMP, THE TOP OF THE UNIT SHALL BE AT LEAST 6" BELOW THE BOTTOM OF THE PIPE OUTLET FROM THE CATCH BASIN.

TYPE "C" CATCH BASIN
NOT TO SCALE

MILONE & MACBROOM
CONSULTING ENGINEERS
28371171
WWW.M&M.COM

DESCRIPTION	DATE	BY
PLANNING AND DESIGN SURVEILLANCE	AWG	
CLIENT REVISIONS	10/13/2009	AWG
STATE PLAN AMENDMENT	10/13/2009	AWG

SITE DETAILS
DEMING RIDGE
PROPOSED MULTI-FAMILY DEVELOPMENT
833 DEMING ROAD (ROUTE 160)
BERLIN, CONNECTICUT

AWG	AWG	TD
3571-40		
08 OF 09		

SD-2

FORMATION OF EMBANKMENTS FOR STORMWATER BASINS

1. MATERIALS

ALL FILL MATERIALS SHALL BE OBTAINED FROM REG. EXCAVATIONS OR DESIGNATED BORROW AREAS. FILL MATERIAL SHALL CONTAIN NO FROZEN MATERIAL, SOIL, BRUSH, ROOTS, OR OTHER ORGANIC MATERIAL. EARTH EMBANKMENTS SHALL CONTAIN NO STONES OR ROCK PARTICLES OVER THREE INCHES IN DIAMETER.

THE MATERIAL USED IN THE CENTER PORTION OF THE EMBANKMENT SHALL BE THE MOST IMPERVIOUS MATERIAL OBTAINED FROM THE BORROW AREAS IF REQUIRED. THE MORE PERVIOUS MATERIALS SHALL BE USED IN THE OUTER PORTION OF THE EMBANKMENT AS SHOWN ON THE PLANS.

A. IMPERVIOUS FILL MATERIALS

IMPERVIOUS FILL SHALL BE A GLACIAL TILL, AND TO BE PROVIDED FROM AN OFFSITE SOURCE IN THE QUANTITIES REQUIRED FOR COMPLETION. FILL TO BE PROVIDED BY THE ENGINEER. GLACIAL TILL SHALL CONSIST OF HARD AND DURABLE PARTICLES OR FRAGMENTS AND SHALL BE FREE FROM ORGANIC MATTER AND OTHER OBJECTIONABLE MATERIALS. GLACIAL TILL SHALL GENERALLY CONFORM TO THE FOLLOWING GRADATION LIMITS:

U.S. STANDARD SIEVE SIZE	PERCENTAGE PASSING	BY WEIGHT
NO. 4	100	
NO. 10	60-95	
NO. 40	30-75	
NO. 100	20-60	
NO. 200	10-40	

2. EMBANKMENT FOUNDATION PREPARATION

AREAS WHERE EMBANKMENTS ARE TO BE FORMED SHALL BE CLEARED AND GRUBBED OF ALL TOPSOIL, AND OTHER ORGANIC MATERIALS TO A DEPTH OF AT LEAST 24 INCHES, UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS. FOUNDATION AREAS SHALL BE SCARIFIED TO A DEPTH OF THREE INCHES PRIOR TO PLACEMENT OF FILL MATERIAL.

3. PLACEMENT

NO FILL SHALL BE PLACED UNTIL THE FOUNDATION PREPARATION AND EXCAVATIONS IN THE FOUNDATION HAVE BEEN COMPLETED. NO FILL SHALL BE PLACED ON A FROZEN SURFACE NOR SHALL FROZEN MATERIAL BE INCORPORATED.

A. EMBANKMENT

MATERIAL SHALL BE PLACED IN HORIZONTAL LAYERS. THE THICKNESS OF LAYERS SHALL BE SIX INCHES. DURING CONSTRUCTION, THE SURFACE OF THE FILL SHALL HAVE A CROWN OR CROSS-SLOPE OF NOT LESS THAN TWO PERCENT. EACH LAYER OR LIFT SHALL EXTEND OVER THE ENTIRE AREA OF THE FILL.

THE FILL SHALL BE FREE FROM LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL DIFFERING SUBSTANTIALLY IN TEXTURE OR GRADATION FROM THE SURROUNDING MATERIAL. THE MORE PERVIOUS MATERIAL SHALL BE PLACED IN THE OUTSIDE PORTION OF THE EMBANKMENT OR AS INDICATED ON THE DRAWINGS. THE FINISHED FILL SHALL BE SHAPED AND GRADED TO THE LINES AND GRADES SHOWN ON THE DRAWINGS.

B. BACKFILL AT THE PIPE OUTLET

BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT TO EXCEED THREE INCHES IN THICKNESS AND SHALL BE BROUGHT UP UNIFORMLY AROUND THE OUTLET PIPE AND FLARED END SECTION.

4. MOISTURE CONTROL

THE MOISTURE CONTENT OF MATERIALS IN THE EMBANKMENT SHALL BE CONTROLLED TO MEET THE REQUIREMENTS OF SECTION 5. COMPACTION OF EMBANKMENT. WHEN NECESSARY, MOISTURE SHALL BE ADDED BY USE OF APPROVED SPRINKLING EQUIPMENT. WATER SHALL BE ADDED UNIFORMLY AND EACH LAYER SHALL BE THOROUGHLY DISSED OR HANDRODDED TO PROVIDE MOIST MIXING. ANY LAYER FOUND TOO WET FOR PROPER COMPACTION, SHALL BE ALLOWED TO DRY BEFORE ROLLING, PLACING OR ROLLING OF MATERIAL ON EARTH FILLS WILL NOT BE PERMITTED DURING OR IMMEDIATELY AFTER RAINFALL. WHEN INCREASED MOISTURE CONTENT BEYOND THE LIMIT OF SATISFACTORY COMPACTION, THE EARTH FILL SHALL BE BROUGHT UP UNIFORMLY AND ITS TOP SHALL BE REFI GRADED AND SLOPED SO THAT A MINIMUM OF RAINWATER WILL BE RETAINED THEREON. COMPACTED EARTH FILL DAMAGED BY WASHING SHALL BE ACCEPTABLY REPLACED BY THE CONTRACTOR.

5. COMPACTION

A. EMBANKMENT

EMBANKMENT MATERIAL SHALL BE COMPACTED TO 95% OF THE STANDARD PROCTOR DENSITY AT NEAR OPTIMUM MOISTURE CONTENT AND BY THE COMPACTION EQUIPMENT SPECIFIED HEREIN. THE COMPACTION EQUIPMENT SHALL TRAVERSE THE ENTIRE SURFACE OF EACH LAYER OF FILL MATERIAL. APPROVED TAMMING ROLLERS SHALL BE USED FOR COMPACTING ALL PARTS OF THE EMBANKMENTS WHICH THEY CAN EFFECTIVELY REACH. THE CONTRACTOR SHALL DEMONSTRATE THE EFFECTIVENESS OF THE ROLLER BY ACTUAL SOIL COMPACTION RESULTS OF THE SOIL TO BE USED IN THE EMBANKMENT WITH LABORATORY WORK PERFORMED BY AN APPROVED SOIL TESTING LABORATORY.

B. BACKFILL AT OUTLET CONDUIT

BACKFILL SHALL BE COMPACTED BY HAND TAMPING WITH MECHANICAL TAMPERS. HEAVY EQUIPMENT SHALL NOT BE OPERATED WITHIN TWO FEET OF ANY STRUCTURE. EQUIPMENT SHALL NOT BE ALLOWED TO OPERATE OVER THE OUTLET CONDUITS UNTIL THERE IS 24 INCHES OF FILL OVER THE PIPE CONDUITS.

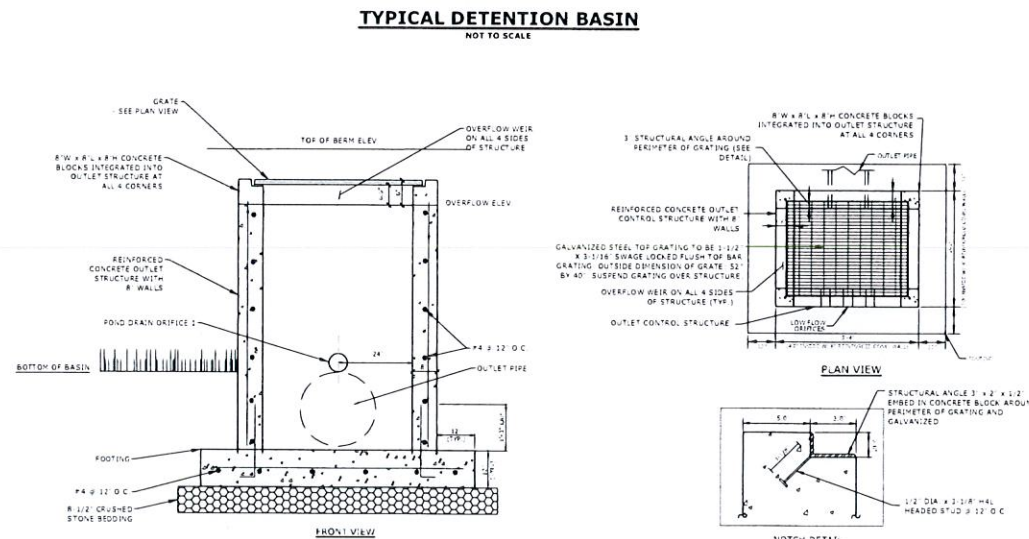
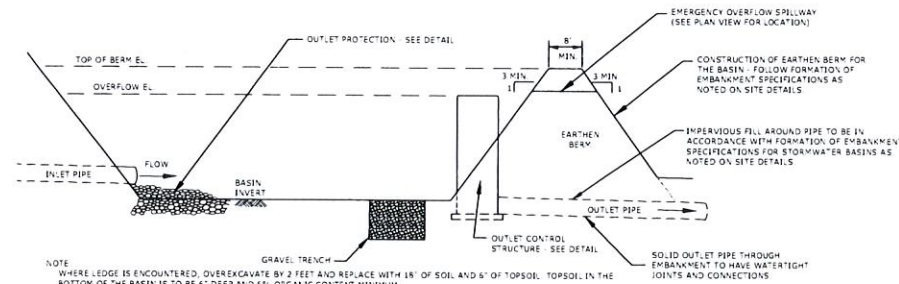
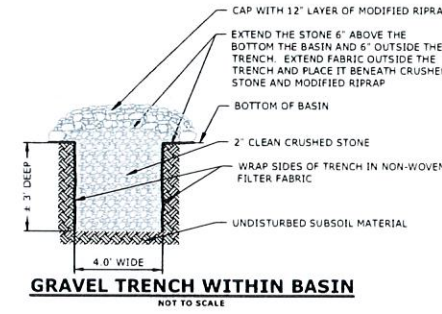
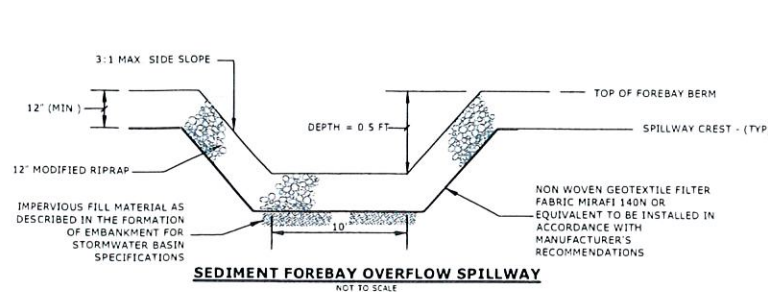
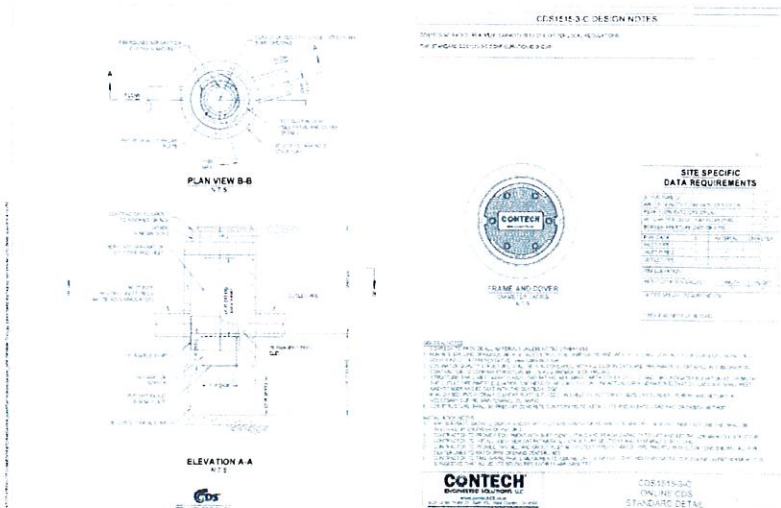
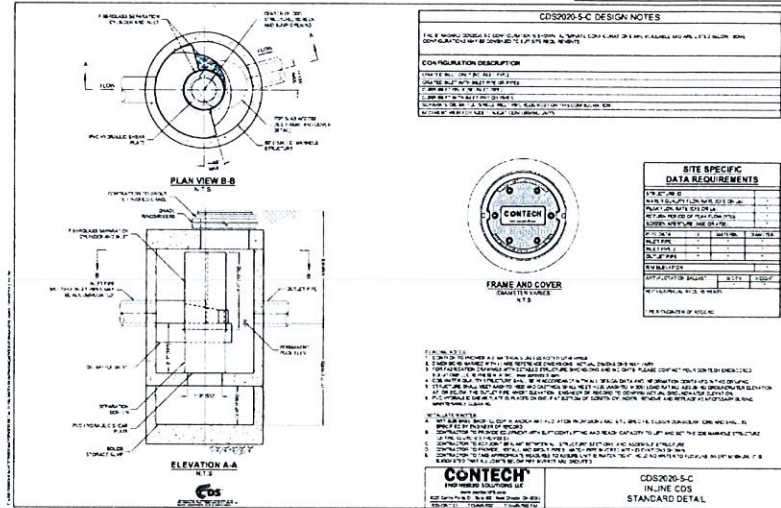
6. FINISHING EMBANKMENTS

THE EMBANKMENTS SHALL BE CONSTRUCTED TO THE ELEVATIONS, LINES, GRADES AND CROSS-SECTIONS AS SHOWN ON THE DRAWINGS. THE EMBANKMENTS SHALL BE MAINTAINED IN A MAINTENANCE SATISFACTORY TO THE ENGINEER AND SURFACES SHALL BE COMPACT AND ACCURATELY GRADED BEFORE TOPSOIL IS PLACED ON THEM. THE CONTRACTOR SHALL CHIEF, THE EMBANKMENT SLOPES WITH STRIKING LINES TO INSURE THAT THEY CONFORM TO THE SLOPES GIVEN ON THE PLANS AND ARE UNIFORM FOR THE ENTIRE LENGTH OF THE SLOPE.

7. CONTROL OF WATER

THE PROJECT SITE IS SUBJECT TO HIGH WATER TABLE. THE CONTRACTOR SHALL USE TEMPORARY PIPES OR PUMPS TO ASSURE PLACEMENT OF SELECT FILL IN DRY CONDITIONS.

OR APPROVED EQUAL



	DET 110 (OCS 110)	DET 210 (OCS 210)
TOP OF BERM ELEVATION	46.5	48.0
GRATE ELEVATION	45.5	46.5
100-YEAR WATER SURFACE ELEV.	45.6	45.6
POND DRAIN ORIFICE 1 DIAMETER	1 ORIF. OF 2.0"	1 ORIF. OF 1.0"
POND DRAIN ORIFICE 1 INVERT	42.0	42.0
BASIN BOTTOM ELEVATION	40.0	40.0
OUTLET PIPE DIAMETER	12"	12"
OUTLET PIPE INVERT	40.0	40.0
EMERGENCY OVERFLOW SPILLWAY ELEV.	46.0	47.0

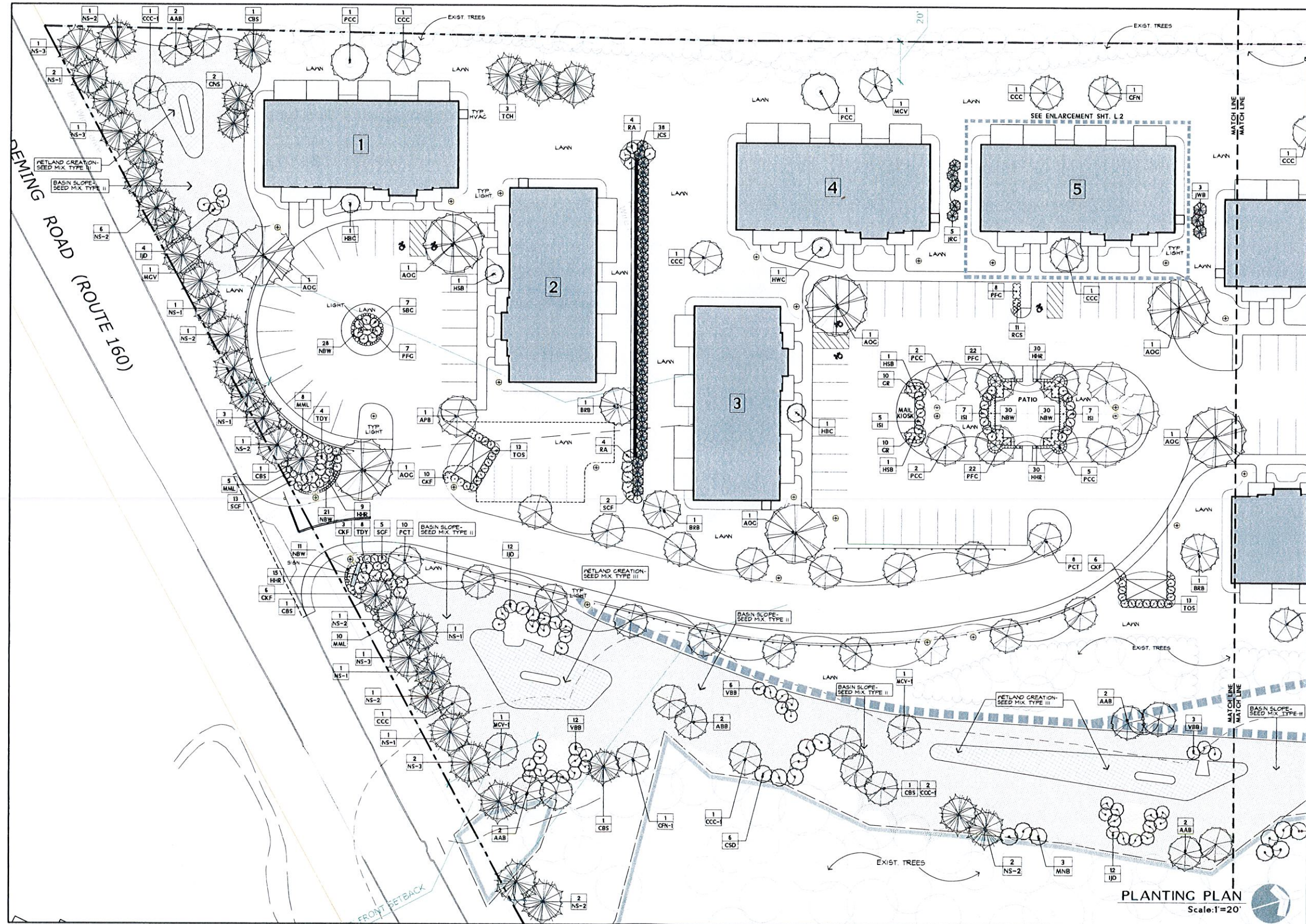
OUTLET CONTROL STRUCTURE

MILONE & MACBROOM
INCORPORATED
1000 WEST 10TH AVENUE
SUITE 100
DENVER, CO 80202
303.733.1177
WWW.M&M.COM

DESCRIPTION	DATE	BY
PLANNING AND DESIGN SURVEILLANCE	AWG	AWG
DESIGN DEVELOPMENT	AWG	AWG
CONSTRUCTION	AWG	AWG
CLIENT REVISIONS	AWG	AWG
FINAL PLAN APPROVAL	AWG	AWG

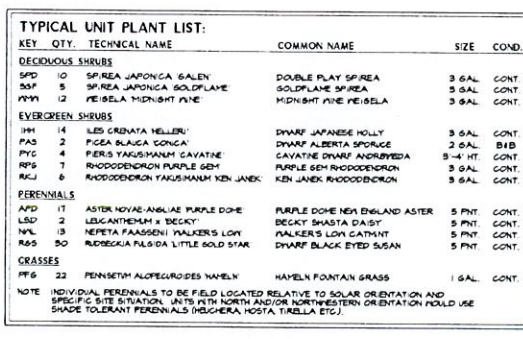
SITE DETAILS
DEMING RIDGE
PROPOSED MULTI-FAMILY DEVELOPMENT
833 DEMING ROAD (ROUTE 160)
BERLIN, CONNECTICUT

AWG	AWG	TD
DESIGNED	DRAWN	CHECKED
AS NOTED		
JUNE 22, 2020		
3571-40		
09 OF 09		
SD-3		



PLANTING PLAN
Scale: 1"=20'

<p>PROPOSED WATER QUALITY BASINS AREA PLANTING PLAN</p>	
<p>DEMING RIDGE 833 Deming Road (Route 160) - Berlin, Connecticut METRO REALTY GROUP, Ltd. 6 Executive Drive - Suite 100 - Farmington, CT</p>	<p>DATE: July 1, 2020 DRAWN BY: JMW CHECKED BY: JMW</p>
<p>L.1</p>	<p>DATE: July 1, 2020 DRAWN BY: JMW CHECKED BY: JMW</p>
<p>1. SITE PLAN ATTACHMENT 2. SETBACKS 3. SETBACKS 4. SETBACKS 5. SETBACKS 6. SETBACKS 7. SETBACKS 8. SETBACKS 9. SETBACKS 10. SETBACKS 11. SETBACKS 12. SETBACKS 13. SETBACKS 14. SETBACKS 15. SETBACKS 16. SETBACKS 17. SETBACKS 18. SETBACKS 19. SETBACKS 20. SETBACKS 21. SETBACKS 22. SETBACKS 23. SETBACKS 24. SETBACKS 25. SETBACKS 26. SETBACKS 27. SETBACKS 28. SETBACKS 29. SETBACKS 30. SETBACKS 31. SETBACKS 32. SETBACKS 33. SETBACKS 34. SETBACKS 35. SETBACKS 36. SETBACKS 37. SETBACKS 38. SETBACKS 39. SETBACKS 40. SETBACKS 41. SETBACKS 42. SETBACKS 43. SETBACKS 44. SETBACKS 45. SETBACKS 46. SETBACKS 47. SETBACKS 48. SETBACKS 49. SETBACKS 50. SETBACKS 51. SETBACKS 52. SETBACKS 53. SETBACKS 54. SETBACKS 55. SETBACKS 56. SETBACKS 57. SETBACKS 58. SETBACKS 59. SETBACKS 60. SETBACKS 61. SETBACKS 62. SETBACKS 63. SETBACKS 64. SETBACKS 65. SETBACKS 66. SETBACKS 67. SETBACKS 68. SETBACKS 69. SETBACKS 70. SETBACKS 71. SETBACKS 72. SETBACKS 73. SETBACKS 74. SETBACKS 75. SETBACKS 76. SETBACKS 77. SETBACKS 78. SETBACKS 79. SETBACKS 80. SETBACKS 81. SETBACKS 82. SETBACKS 83. SETBACKS 84. SETBACKS 85. SETBACKS 86. SETBACKS 87. SETBACKS 88. SETBACKS 89. SETBACKS 90. SETBACKS 91. SETBACKS 92. SETBACKS 93. SETBACKS 94. SETBACKS 95. SETBACKS 96. SETBACKS 97. SETBACKS 98. SETBACKS 99. SETBACKS 100. SETBACKS</p>	



Subdivision – 2-lot Resubdivision

PROJECT: Bennerup Resubdivison
LOCATION: 1829 Orchard Road; Map 21-4, Block 115, Lot 10,
ZONE: R-42
LOT SIZE: Total lot areas 43,500 S.F./ 2 acres
PROPOSAL: 2- Lot resubdivision



PROPOSAL

The property owners are seeking resubdivision approval to create an additional residential building lot from their property at 1928 Orchard Road in the R-42 zone.

STAFF COMMENTS

1. There is no sewer service in Orchard Road, therefore the lot would be served by a private system which requires health district review. In accordance with Subdivision Regulations §31:01 the Health Director (District) must approve the final subdivision plat.
2. The Commission should determine if the open space requirement will be waived.
3. All required notes and corrections be submitted for staff review on a draft of the subdivision map prior to the mylar map being submitted for Commission signatures.

EXISTING CONDITIONS

Lot 10 was included in the subdivision of Carl Mueller Estate as shown on the Planning Commission Approved November 19, 1963 and filed with the Town Clerk as Map # 717. In 1979, the Planning Commission approved the subdivision map showing an additional 125-foot-wide, 36,250 s.f. parcel to be added to Lot 10 filed with the Town Clerk as Map #1507. In 1984 the Bennerups acquired an additional 25 feet of frontage from Lot 20, to the northeast to create the existing configuration of Lot 10, a 43, 500 s.f. parcel with 300 feet of frontage. The property is improved with an existing single-family Victorian style home built in approximately 1860 and customary related accessory structures.

There is encroachment onto the Town street ROW with existing stockade fencing that extends across the frontage of the proposed lot. The existing stockade fence is nonconforming to height. An existing dirt driveway for adjacent Lot 20 encroaches over the northeast rear corner of the proposed lot.

ANALYSIS

There is an existing nonconforming pool at the easterly front of the proposed lot. A note on the plan indicates that it will be removed prior to conveyance of the lot or zoning approvals will be obtained. The accessory use would be allowed to remain on a contiguous lot under the same ownership in accordance with BZR §IV.A.16.a.

SIDEWALKS

There are no existing sidewalks along Orchard Road. In accordance with Subdivision Regulations §52:034 sidewalks would not be required for this R-43 resubdivision.

UTILITIES, WATER and SEWAGE DISPOSAL

Electrical service is provided to the existing residential lots on the north side of the street by overhead wires. The Commission should consider if they will excuse, as allowed by Berlin Subdivision Regulations §52:033, the requirement to place service underground.

Berlin Water Control Comments: We can provide water service to the “new” parcel as well as the old. We do not have sewer service to either property.

Health District comments: The applicant will need to conduct soil testing, and an engineered subdivision plan will be required showing the proposed septic system on each lot prior to approval.

LOT CONFIGURATION

While elevations were not provided on the plan, the lot appears to be substantially flat with no steep slopes. Grading the lot for the new house can be addressed at the time of permit to the satisfaction of the Town Engineer.

The proposed lot meets the building square requirement of 80 ft for an R-43 lot configuration.

No public improvements are required or included in this application for the proposed lot with frontage on an improved street.

OPEN SPACE

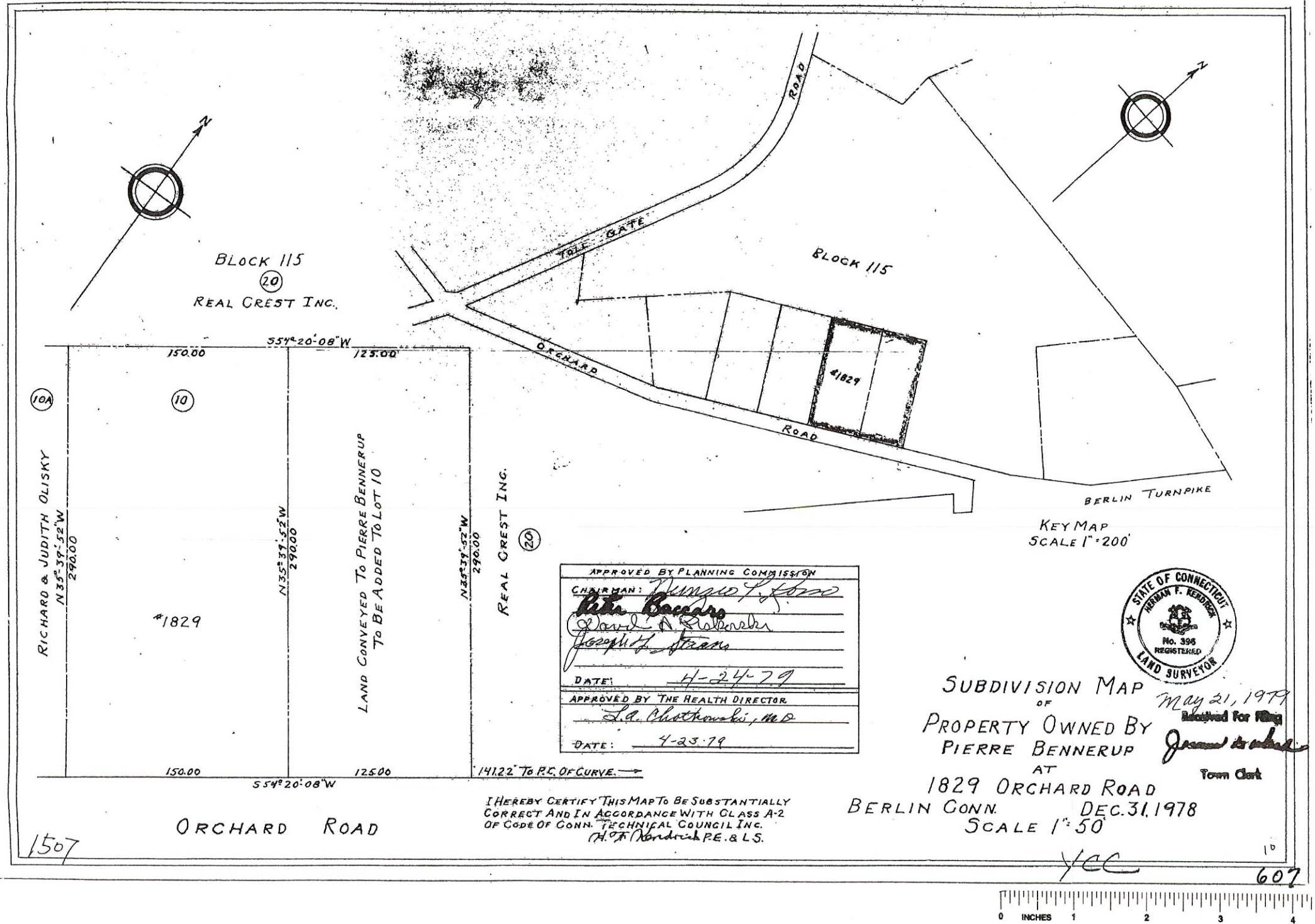
No open space dedication has been proposed. In accordance with Subdivision Regulations §54:033 the Commission may waive the requirement for any subdivision creating four or less lots.

Other Interdepartmental Comments:

ENGINEERING: Future lot owners should be advised that the existing stockade fence encroaches into the Town right-of-way. A new fencing should be installed within the boundary of each lot.

Police Chief, Board of Police Commissioners; Fire Marshal; and, Building Inspector provided “no comment”

1507



Bennerup - 1829 Orchard Rd.

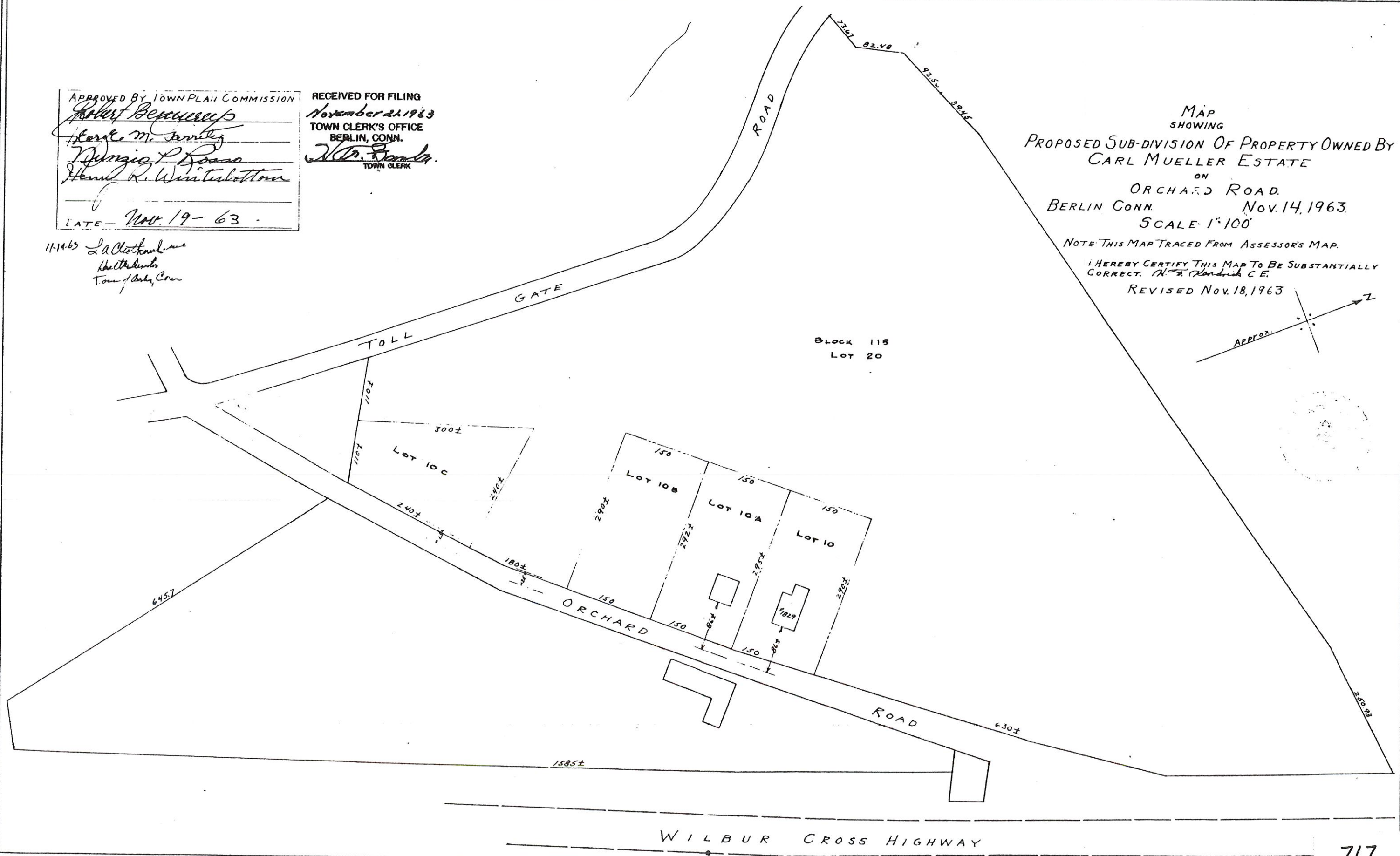
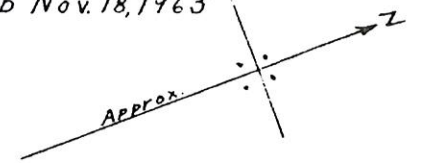
APPROVED BY TOWN PLANNING COMMISSION
Robert Benvenuto
Frank M. Jurek
Dominic P. Boasso
Henry R. Winterbottom
 DATE - Nov. 19-63

RECEIVED FOR FILING
 November 21, 1963
 TOWN CLERK'S OFFICE
 BERLIN, CONN.
W.D. Stanley
 TOWN CLERK

MAP
 SHOWING
 PROPOSED SUB-DIVISION OF PROPERTY OWNED BY
 CARL MUELLER ESTATE
 ON
 ORCHARD ROAD.
 BERLIN CONN. Nov. 14, 1963.
 SCALE 1"=100'

NOTE: THIS MAP TRACED FROM ASSESSOR'S MAP.

I HEREBY CERTIFY THIS MAP TO BE SUBSTANTIALLY
 CORRECT. *N. A. Hendrick C.E.*
 REVISED Nov. 18, 1963





Town of Berlin

Planning and Zoning Department
240 Kensington Road
Berlin, Connecticut 06037
www.town.berlin.ct.us

Town of Berlin
Received

OCT 21 2020

Planning & Zoning Department
Berlin, Connecticut

SUBDIVISION APPLICATION

☐ Subdivision

☐ Re-subdivision

Project Name: 1831 Orchard Road one acre lot

Property Owner(s): PIERRE BENNERUP + CHERYL BENNERUP

Project Address*: 1831 ORCHARD ROAD

Map: _____ Block: _____ Lot: 10 Zone(s): _____ Total Lot Area: _____

Existing Lots: _____ Proposed Lots: _____

Approval Request: ☐ Preliminary ☐ Final ☐ For Determination of OSS or DOSD Suitability

Please select all relevant items below:

- ☐ Inland Wetlands and Water Course Commission review needed
- ☐ Property is within 500 feet of a Municipal Boundary of _____
- ☐ Property is adjacent or crosses a Municipal Boundary of _____
- ☒ Public Sewer
- ☐ Private Sewer/Septic
- ☒ Public Water

Applicant Information

Name: PIERRE BENNERUP Firm Name: _____

Street Address: 1829 ORCHARD RD City: BERLIN ST: CT Zip: 06037

Email: pedrobennerup@gmail.com Phone: 860 250 9840

Signature: Pierre Bennerup Date: 10/21/2020

Property Owner(s) Information (If Not the Applicant)

Name: _____ Principal: _____

Street Address: _____ City: _____ ST: _____ Zip: _____

Email: _____ Phone: _____

*Letter of Authorization Required

*Any town official and/or employee that the town deems necessary may enter the property to verify information submitted with this application.

Description of Project*: I WOULD LIKE TO MY 2 ACRE PARCEL
INTO 2 ONE ACRE PARCELS.

*If more space is needed, then please provide separate narrative document.

OPEN SPACE:

- ☐ Deeded to the Town of Berlin
- ☐ Deeded to _____
- ☐ Fee in lieu of Open Space
- ☐ Conservation Easement
- ☐ None

To be completed by Planning & Zoning staff only:

Fee Paid \$ _____ (Refer to current Fee Schedule)

Received by: _____

November 11, 2020

**TOWN OF BERLIN
PLANNING & ZONING DEPARTMENT - STAFF COMMENTS**

APPLICATION: Subdivision – Two Lots
APPLICANT: 1829 Orchard Road
APPLICANT: Pierre Bennerup
AGENDA: November 19, 2020

To the Applicant:

- *These are the comments received to date, additional comments may be forthcoming. Please submit any written response to Maureen Giusti, Acting Town Planner/Zoning Enforcement Officer at mgiusti@town.berlin.ct.us or revised plans directly to the Planning & Zoning Department in Room 121. We will forward your comments or distribute materials to the relevant department.*

Engineering

Future lot owners should be advised that the existing stockade fence encroaches into the Town right-of-way. Any new fencing should be installed within the boundary of each lot.

Berlin Water Control

We can provide water service to the “new” parcel as well as the old. We do not have sewer service to either property.

Police Chief

No comment

Board of Police Commissioners

No comment

Health District

The applicant will need to conduct soil testing, and an engineered subdivision plan will be required showing the proposed septic system on each lot prior to approval.

Fire Marshal

No comment

Building Official

No comment

Emailed to Applicant: November 12, 2020

MAP REFERENCES:

- 1) "MAP SHOWING PROPERTY OWNED BY REAL CREST INC. ON BERLIN TURNPIKE-ORCHARD ROAD & TOLL GATE ROAD, BERLIN, CONN. SCALE 1"=50'. NOV. 29, 1976. REVISED SEPT. 14, 1983. JULY 25, 1985. OCT. 26, 1985."
- 2) "MAP OF CARL MUELLER ESTATE ON ORCHARD ROAD-WILBUR CROSS HIGHWAY & TOLL GATE ROAD, BERLIN, CONN. SCALE 1"=100'. FEBRUARY 1964. H.F. KENDRICK, CE. REVISED JULY 10, 1968."
- 3) "SUBDIVISION MAP OF PROPERTY OWNED BY PIERRE BENNERUP AT 1829 ORCHARD ROAD, BERLIN, CONN. DEC. 31, 1978. SCALE 1"=50'."
- 4) "CONNECTICUT STATE HIGHWAY DEPARTMENT RIGHT OF WAY MAP TOWN OF BERLIN, BERLIN TURNPIKE FROM MERIDEN TOWN LINE NORTHERLY TO WORTHINGTON RIDGE ROAD. SCALE 1"=100'. APPROVED DATE 4-60. NUMBER 7-09."
- 5) "PROPOSED SUBDIVISION SECTION II. MAP SHOWING PROPERTY OF PIERRE BENNERUP TOLL GATE ROAD-BERLIN, CONNECTICUT. HEWITT ENGINEERING P.C. DATE: OCT. 7, 1986. SCALE 1"=50'. PROJECT NO. 85202. SHEET 1 OF 1."

REGULATIONS FOR R-43 ZONE					ACCESSORY BUILDING	
ITEM	REQUIRED	EXISTING	NEW 1829	OPEN LOT	REQUIRED	EXISTING
MIN. LOT AREA	43,000 S.F.	87,000 S.F.	43,500 S.F.	43,500 S.F.		
MIN. FRONTAGE	150'	300'	150'	150'		
MIN. WIDTH	150'	300'	150'	150'		
MIN. FRONT YARD	50'	65.4'	65.4'	50' Ø	50'	
MIN. SIDE YARD	30'	44.7'	44.7'	30' Ø	10'	8.6'
AGG. SIDE YARD	60'	253.2'	103.2'	60' Ø		
MIN. REAR YARD	50'	155.6'	155.6'	50' Ø	30'	
MAX. BLDG. HEIGHT	2.5 STY./35'	35'	35'	0 STY./0'		
MIN. DIST. FROM ACCESSORY BLDG.	12'	40'	40'	N/A	12'	40'

Ø Lot is currently empty except for existing pool (see note regarding pool)

NOTES:

- 1) THE EXISTING POOL CAN REMAIN ON THE LOT UNTIL THE PROPERTY IS SOLD TO A NEW OWNER. HOWEVER AT THE TIME OF SALE THE POOL IS TO BE REMOVED UNLESS THE NEW OWNER APPLIES FOR A ZBA VARIANCE TO ALLOW THE POOL TO BE WITHIN THE FRONT YARD AREA

CERTIFICATION:

- 1) THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE REGULATIONS OF CONNECTICUT STATE AGENCIES, SECTIONS 20-300B-1 THRU 20-300B-20, AND THE "RECOMMENDED STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT EFFECTIVE SEPTEMBER 26, 1996 PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. PURSUANT TO AND AS SET FORTH THESE STANDARDS. THE TYPE OF SURVEY PERFORMED AND THE MAPPED FEATURES DEPICTED HEREON ARE IN ACCORDANCE WITH THE REQUIREMENTS OF A PROPERTY SURVEY. PROPERTY LINES, AS THEY ARE DEPICTED HEREON, PRESENT PROFESSIONAL OPINIONS THAT PERTAIN TO A "DEPENDENT RESURVEY". THIS MAP PRESENTS THE RESULTS OF MEASUREMENTS WHICH WERE MADE UPON THE GROUND IN ACCORDANCE WITH THE ACCURACY STANDARDS OF A CLASS A-2 SURVEY.
- 2) THIS MAP AND SURVEY WERE PREPARED FOR PIERRE BENNERUP TO BE USED IN MATTERS THAT RELATE TO A PROPOSED LOT SPLIT. USE OF THIS MAP FOR OTHER PURPOSES OR BY OTHER PARTIES IS NOT AUTHORIZED OR VALID.
- 3) NO DECLARATION IS EXPRESSED OR IMPLIED BY THIS MAP OR COPIES THEREOF UNLESS IT BEARS THE IMPRESSION TYPE SEAL AND ORIGINAL LIVE SEAL AND ORIGINAL LIVE SIGNATURE OF THE SURVEYOR WHOSE NAME AND REGISTRATION NUMBER APPEAR BELOW. ANY CHANGES MADE TO THIS PLAN WITHOUT THE KNOWLEDGE OF THE SIGNERS INVALIDATES THESE DECLARATIONS.

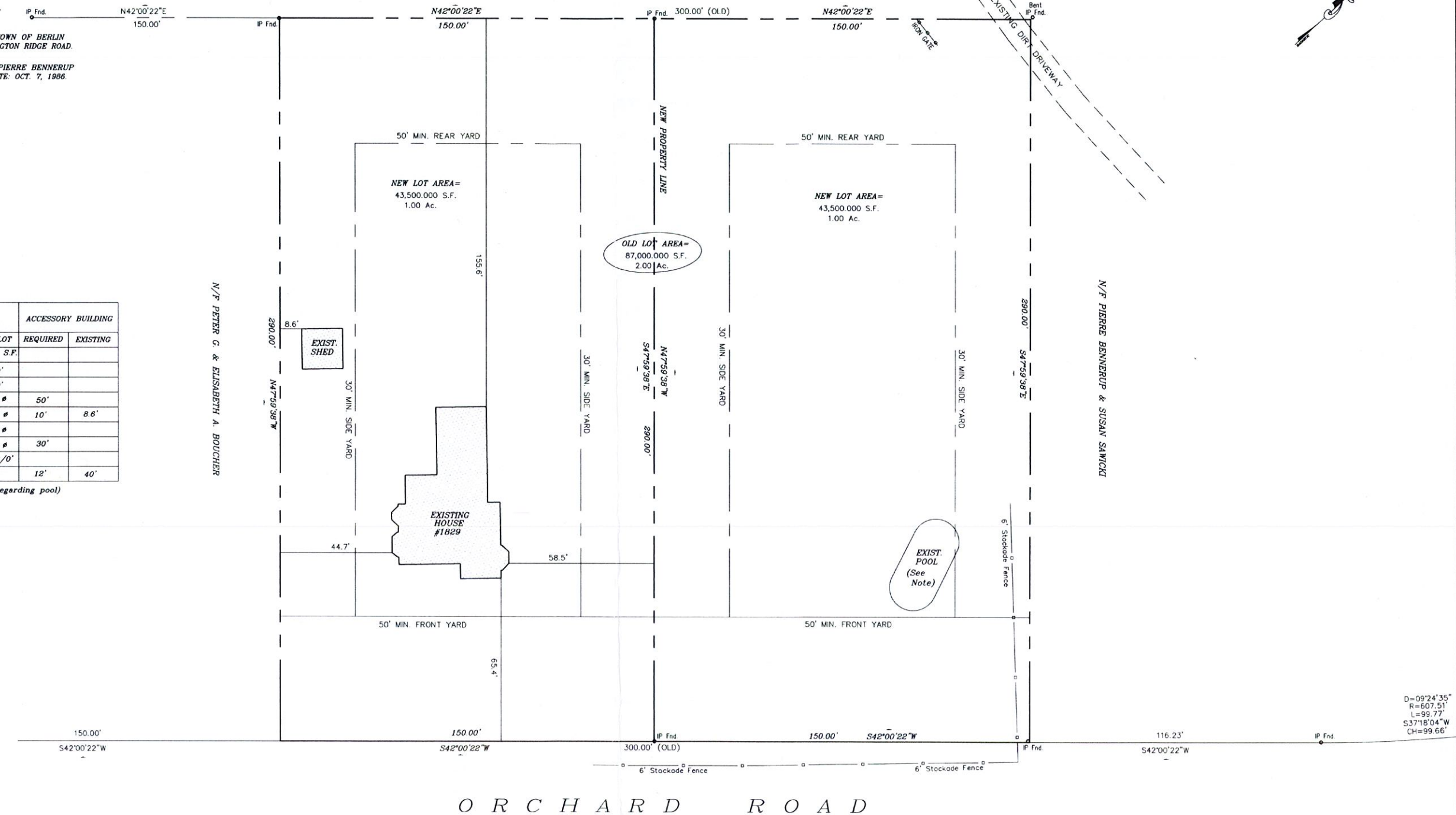
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

PETER D. FLYNN
KENNETH R. CYR
NOT VALID UNLESS ORIGINAL SIGNATURE, LIVE STAMP, & RAISED SEAL ARE AFFIXED

FLYNN & CYR LAND SURVEYING, LLC
1204 FARMINGTON AVE. 06033-7886
BERLIN, CONNECTICUT 06037



N/F PIERRE BENNERUP & SUSAN SAWICKI



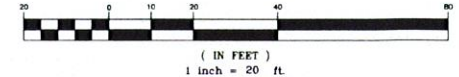
Town of Berlin
Received

OCT 21 2020

Planning & Zoning Department
Berlin, Connecticut

PROPERTY SURVEY SHOWING
PROPOSED LOT SPLIT
PROPERTY OF
PIERRE & CHERYL BENNERUP
#1829 ORCHARD ROAD
BERLIN, CONNECTICUT
SCALE 1"=20' JULY 10, 2018

GRAPHIC SCALE





TOWN OF BERLIN
Inland Wetlands
and
Water Courses Commission
240 Kensington Road • Berlin, CT 06037
Office (860) 828-7022 • Fax (860) 828-7180

Deming Road Business Park, LLC
990 Andrews Street
Southington, CT 06489

CERTIFIED MAIL: 70121010000269916164

November 12, 2020

Re: Application 20-10WF

Dear Sirs:

Please be advised that during its meeting of November 10, 2020, the Town of Berlin Inland Wetland and Water Courses Commission voted unanimously to approve the above referenced application. This approval was granted contingent upon the following;

1. That *all* erosion and sedimentation control devices be installed to the satisfaction of the Wetlands Agent prior to the commencement of construction.
2. That all other construction-related activities be installed in accordance with the plan entitled "Existing Conditions Map for Deming Road Business Park, #180 Deming Road, Berlin, CT, designed by Kratzert, Jones & Associates, Inc., dated May 6, 2013 (revised 10/1/14 and 10/8/14), Sheet B-1, S-1, G-1, U-1, D-1".

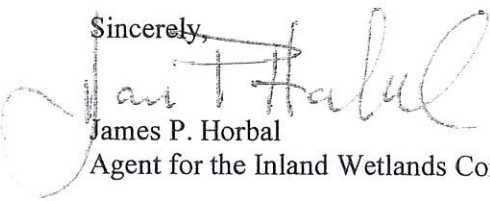
Please be advised that this permit will become effective on November 28, 2020 following a successful completion of the Fifteen (15) day appeal period commencing on November 13, 2020.

You are hereby further advised that failure to demonstrate activity in relation to this application within a five (5) year period (November 28, 2025) may necessitate further Commission action.

Attached is a copy of the legal notice, which appeared on the Town of Berlin website (according to COVID-19 guidelines), beginning November 13, 2020.
December 5, 2014.

If you should have any further questions regarding this matter, please do not hesitate to call me at (860) 828-7069.

Sincerely,


James P. Horbal
Agent for the Inland Wetlands Commissions

Attachment

cc: Peter Nieman, IWWCC Chairman
Maureen Giusti, Acting Town Planner

COPY