



The Bungalows

Proposed Residential Development

#1676 & #1688 Berlin Turnpike (Connecticut Route #15) Berlin, Connecticut

December 05, 2023

Revised December 13, 2023

Sheet

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2	Site Grading and Drainage Plan
3	Site Utilities Plan
4	Site Erosion & Sediment Control Plan
5	Site Landscaping Plan
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8	Erosion Control Details & Specifications
9	Storm Water Details - Cultec R-180HD
10	Storm Water Details - Cultec R-280HD
11	Storm Water Details - Cultec Separator Row
12	General Details
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16	Sight Line Analysis Plan
17	Connecticut Department of Transportation Details
18	Improvement Location Map (Flynn & Cyr Land Surveying)



Site Location Map

Scale : 1"=1,000'

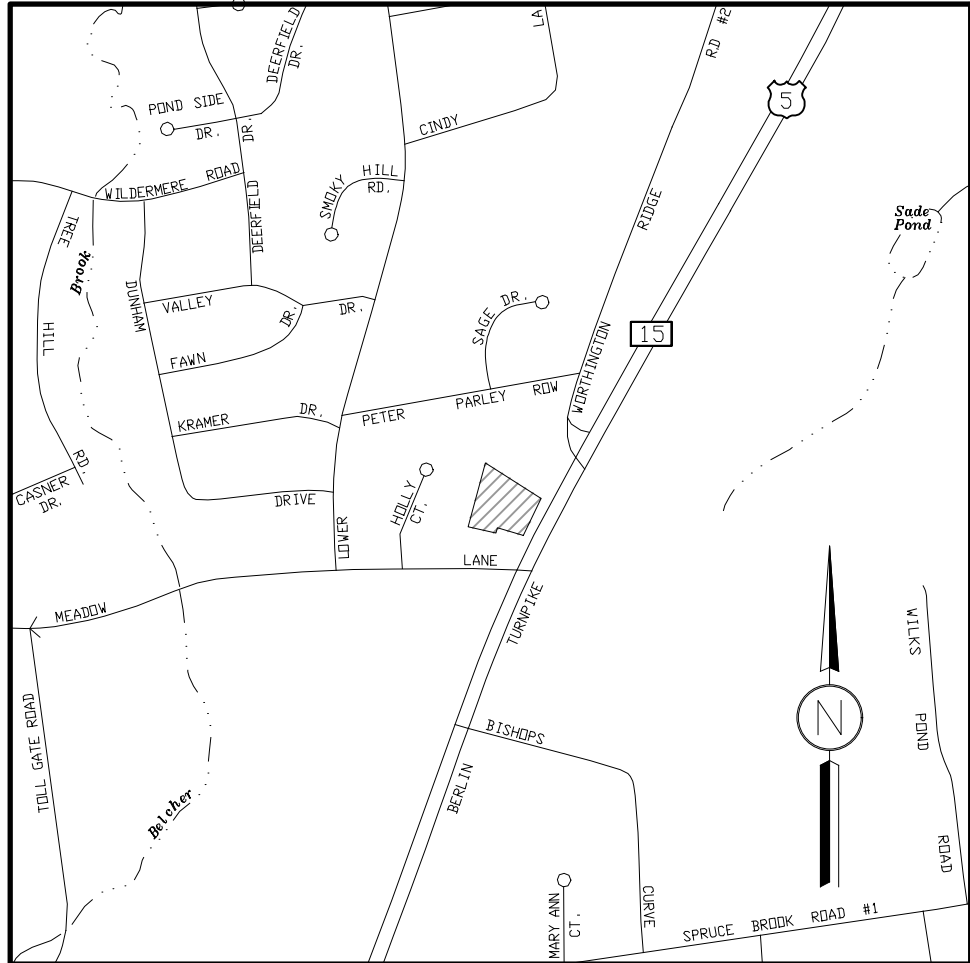
Applicant:
Patrick Snow
Premier Partners &
Associates, INC
#110 Court Street, Suite 1
Cromwell, Connecticut 06416

Owner:
Little House Living, LLC
#110 Court Street, Suite 1
Cromwell, Connecticut 06416

Civil Engineer:
Juliano Associates
405 Main Street (Yalesville)
Wallingford, Connecticut 06492

Civil Engineer





Site Location Plan
Scale: 1" = 500'

AFFORDABILITY UNITS
Income Limits and Rental Limits are calculated using the State's Annual Median Income. There are two types of affordable units, 60% units and 80% units. These units are restricted to households earning 60% or 80% of State Median Income or Area Median Income whichever is lower. The calculations are adjusted for family size. This project proposes 4 of such units. Units 3, 6, 9, & 18 shall be designated 80% AMI.

80% AMI Units

PARKING CALCULATIONS:

Required Parking: 2 parking spaces per dwelling unit
18 proposed dwelling units * 2 parking spaces per dwelling unit
= 36 parking spaces required

Proposed Parking: 18 proposed dwelling units with single car garage and driveway space
= 36 parking spaces (One handicap accessible space)
+7 additional parking spaces

Total parking provided = 36 + 7 = **43 spaces.**

SITE PLAN NOTES:

- THE PROPERTY IS LOCATED WITHIN A BT-1 BERLIN TURNPIKE ZONE AND A DD PLANNED RESIDENTIAL INFILL DEVELOPMENT DISTRICT.
- THE AREA OF THE PROPERTY IS 82,758± SQUARE FEET (1.90± ACRES).
- REFERENCE IS MADE TO THE FOLLOWING MAP:
a. IMPROVEMENT LOCATION MAP PREPARED FOR PREMIER REAL ESTATE SERVICES II, LLC #1676-1688 BERLIN TURNPIKE (CT STATE ROUTE 15) BERLIN, CONNECTICUT SCALE 1"=20' DATED: MARCH 5, 2021. (SHEET 17 OF PLAN SET).
- THE PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE(S): ZONE X (AREAS OF MINIMAL FLOODING) AS DEPICTED ON NATIONAL FLOOD HAZARD LAYER FIRMETTE, BERLIN NO.0900306077 PANEL 313. EFFECTIVE DATE: SEPTEMBER 26, 2008. MAPPING PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
- PROPERTY IS SUBJECT/PRIVILEGED TO ALL RIGHTS, RESTRICTIONS, ENCUMBRANCES, COVENANTS, EASEMENTS, ETC. AS THE RECORD MAY APPEAR.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN HALLEY, PEARSON AND CASSIDY ENGINEERING ASSOCIATES. THE SIZE LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. "CALL BEFORE YOU DIG 811"
- THERE WILL BE NO OUTDOOR STORAGE ON THIS PROPERTY.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A DOT ENCROACHMENT PERMIT PRIOR TO CONSTRUCTION.
- ANY PROPOSED SIGNAGE OR FENCING WILL REQUIRE THE FILING OF APPLICATIONS WITH THE ZEO.
- AS-BUILT PLANS MUST BE SUBMITTED PRIOR TO BOND RELEASE.

n/f
Felicia J. Samuels & Koren James
Jimmie & Irene James L/U
#51 Holly Court
MBL: 22-1-114-11E
Volume 806, Page 526

n/f
Linda Ahlstrand
#48 Holly Court
MBL: 22-1-114-11D
Volume 559, Page 907

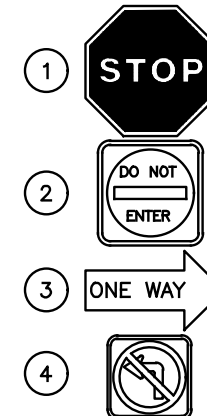
n/f
BAC Realty, LLC
#1700 Berlin Turnpike
MBL: 22-1-114-11
Volume 441, Page 579

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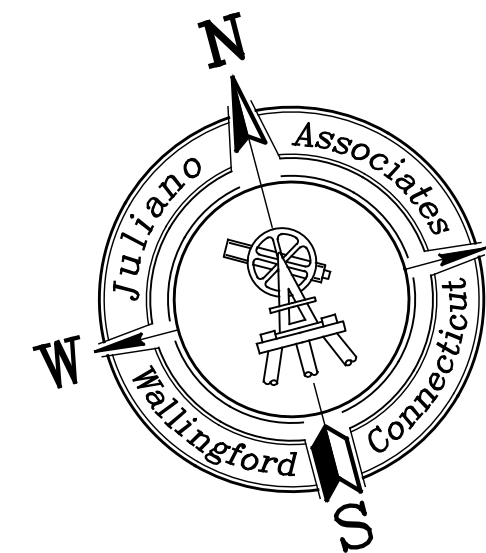
Christopher S. Juliano PELS #19725

MUTCD No.	Catalog No.	Legend	Width	Height	No. of Posts	Road Type	Sheeting Type	Color	Sign Detail
R1-1	31-0552	Stop	30	30	1	SL	XI	Red	(1)
R5-1	31-1119	Do Not Enter	30	30	1	SL	XI	Red	(2)
R6-1	31-1177 31-1188	One Way	36	12	1	SL	XI	White	(3)
R3-2	31-1603	No Left Turn (Symbol)	24	24	1	SP,SL	XI, IX	White	(4)

*All signs to be installed in accordance with the CT Department of Transportation's typical detail sheets



Zoning Table					
	Required BT-1 Zone	Required DD Infill Zone	Existing	Proposed	
1 Minimum front yard setback	50.0 FT	40.0 FT	7.4 FT	20.1 FT	
2 Minimum Side Yard setback (Each)	25.0 FT	15.0 FT	10.1/67.3 FT	21.0/21.0 FT	
3 Minimum rear yard	50.0 FT	15.0 FT	21.1 FT	46.0 FT	
When abutting a residential district	50.0 FT	- FT	21.1 FT	46.0 FT	
4 Minimum parking and loading setbacks (side and rear yards)	10.0 FT	10.0 FT	21.9 FT	49.0 FT	
When abutting a residential district	50.0 FT	2.5 Stories	21.9 FT	74.0 FT	
5 Maximum building height (stories/feet)	2.5 Stories	2.0 Stories	<35 FT	<35 FT	
6 Minimum parking and loading setbacks front yard	10.0 FT	- FT	0.0 FT	27.2 FT	
7 Maximum building coverage	25.0 %	- %	7.0 %	14.5 %	
8 Maximum building impervious surface coverage	80.0 %	50.0 %	36.7 %	41.8 %	
9 Minimum lot size	2.00 AC	0.50 AC	1.90 AC	1.90 AC	
10 Minimum lot width	87,120 SQFT	21,780 SQFT	82,758 SQFT	82,758 SQFT	
11 Minimum floor area	175.0 FT	- FT	217.4 FT	217.4 FT	
12 Detached accessory buildings minimum distance from principal building	0.5 FAR	- FAR	0.1 FAR	0.3 FAR	
Side lot line	12.0 FT	- FT	N/A FT	N/A FT	
Side lot line	25.0 FT	5.0 FT	N/A FT	N/A FT	
Side lot line	50.0 FT	- FT	N/A FT	N/A FT	
Front lot line	50.0 FT	- FT	N/A FT	N/A FT	



Connecticut Grid System
(NAD 83)

0' 20' 40' 60'

LEGEND

- IRON PIN/PIPE FOUND
- IRON PIN TO BE SET
- MONUMENT FOUND
- UTILITY POLE
- EXISTING EVERGREEN
- EXISTING EVERGREEN (TBR)
- EXISTING GAS GATE
- EXISTING MANHOLE
- EXISTING SPOTGRADE
- EXISTING WATER GATE
- FIRE HYDRANT (TBR)
- MANHOLE (TBR)
- SIGN (TBR)
- PROPOSED CATCH BASIN
- PROPOSED CATCH BASIN (CURBLESS)
- PROPOSED CATCH BASIN (DOUBLE)
- PROPOSED FIRE HYDRANT
- PROPOSED LIGHT POLE
- PROPOSED SANITARY CLEANOUT
- PROPOSED SANITARY MANHOLE
- PROPOSED SIGN
- PROPOSED STORM MANHOLE
- PROPOSED SPOTGRADE
- PROPOSED UNIT LIGHTING
- PROPOSED WATER GATE
- PROPERTY LINES (EXTERIOR)
- SETBACK LINES
- 2' CONTOUR
- 10' CONTOUR
- SWALE/DRAINAGE DITCH
- WETLANDS
- WETLANDS REVIEW AREA
- EXISTING CONCRETE PAD
- EXISTING DRAINAGE PIPE
- EXISTING DRIVEWAY (PAVED)
- EDGE OF PAVEMENT (CURB)
- EDGE OF PAVEMENT (NO CURB)
- EXISTING ELECTRIC OVERHEAD
- EXISTING FENCE
- EXISTING GAS MAIN
- EXISTING SANITARY MAIN
- EXISTING WATER LATERAL
- DRIVEWAY/PARKING (HISTORIC)
- HISTORIC STRUCTURE
- EXISTING DRIVEWAY (TBR)
- EXISTING SANITARY MAIN (TBR)
- PROPOSED BITUMINOUS CURB
- PROPOSED CONTOUR
- PROPOSED DRAINAGE PIPE
- PROPOSED ELECTRIC LATERAL
- PROPOSED ELECTRIC MAIN
- PROPOSED ESTATE FENCE
- PROPOSED VINYL FENCE
- PROPOSED LINE STRIPING
- PROPOSED ROOFDRAIN
- PROPOSED SANITARY LATERAL
- PROPOSED SANITARY MAIN
- PROPOSED SIDEWALK
- PROPOSED STRUCTURE
- PROPOSED WATER LATERAL
- PROPOSED WATER MAIN

Site Layout Plan

Land of
Little House Living LLC
#1676 & #1688 Berlin Turnpike
(Connecticut Route #15)
Berlin, Connecticut

REVISIONS	
DATE	DESCRIPTION
12/11/23	TOWN COMMENTS

Juliano Associates, LLC

Engineers & Surveyors
Established 1973
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
www.JulianoAssociates.com
JulianoAssociatesLLC@gmail.com

Project no.:	23-100	Date:	12/05/23	Scale:	1" = 20'
Work map:	CJULIANO	Checked:	ZGEORGINA	Sheet:	1 of 18
Final map:	CJULIANO	Released:	CJULIANO	Revision:	A

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M:\Pending\2023\10005-1-AJWG 12/15/2023 10:09 AM RV

n/f
Shelley Saunders
#66 Peter Farley Row
MBL: 22-1-114-6
Volume 742, Page 484

WF#1

SYSTEM A (22P)
Cultec R-180 Storage Units
52 Units in total. Base dimensions 47.31' x 21.25'
1,650 CU.FT. of storage
System able to handle 100-year storm event with
0.3 inch per hour infiltration rate.

Lowest permissible grade over system = 127.04
Top of 40% Void Gravel = 126.54
Top of Cultec Units = 126.04
Bottom of Cultec Units = 124.33
Bottom of 40% Void Gravel = 123.83
Invert In = 124.50
Invert out = 125.30

Cultec Units are to be equipped with inspection ports
per the manufacturers recommended specifications.
Isolator row hatched blue.

49.7' of 8" HDPE @ 5.8%
47.9' of 8" HDPE @ 6.0%
46.1' of 8" HDPE @ 6.2%
44.2' of 8" HDPE @ 6.5%

32' ROW of 4'x4' CONCRETE LEVEL SPREADERS
Weep Hole Elevation = 124.00'
Invert In (8" HDPE) = 122.44'
Bottom Elevation = 121.00'

n/f
Felicia J. Samuels & Karen James
Jimmie & Irene James L/U
#51 Holly Court
MBL: 22-1-114-11E
Volume 808, Page 528

Proposed CB #1
Inv IN (SE) = 124.71
Inv OUT (NW) = 124.71

Roof Drain
Inv out = 125.56

14.1' of 18" HDPE @ 0.5%
Proposed CB #2
TF = 127.67
Inv IN (SW) = 124.78
Inv IN (SE) = 126.10
Inv OUT (NW) = 124.78

76.6' of 15" HDPE @ 1.0%
66.5' of 6" HDPE @ 2.3%

Roof Drain
Inv out = 125.83
Roof Drain
Inv out = 125.88
Roof Drain
Inv out = 126.17

Proposed CB #3
TF = 129.00
Inv IN (S) = 125.54
Inv OUT (N) = 125.54
15.2' of 12" HDPE @ 1.0%

Roof Drain
Inv out = 126.15

Proposed CB #4
TF = 129.00
Inv OUT (N) = 125.69

n/f
Linda Ahlstrand
#48 Holly Court
MBL: 22-1-114-11D
Volume 559, Page 907

Curbless Catch Basin
TF = 125.26

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

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scale, dimension, measurement, descriptions, or elevations of any underground
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HAVE BEEN SECURED.

Christopher S. Juliano PELS #19725

SOIL INVESTIGATION DATA
TEST PITS RESULTS CONDUCTED JAN. 14, 2022, 1676 BERLIN TURNPIKE CONDUCTED BY HALLISEY PEARSON & CASSIDY
ENGINEERING ASSOCIATES INC.

TP #1
DEPTH:
0" - 4"
4" - 32"
32" - 68"
ROOTS: 68"
GROUNDWATER: 68"
LEDGE: NONE
MOTTILING: NONE OBSERVED
COMMENTS: NONE

DESCRIPTION:
TOPSOIL
REDISH MED. SAND W/ SOME FILL
BROWN TILL & LEACHING FIELD

TP #4
DEPTH:
0" - 4"
4" - 72"
32" - 68"
ROOTS: 72"
GROUNDWATER: 72"
LEDGE: NONE
MOTTILING: NONE
COMMENTS: NONE

DESCRIPTION:
TOPSOIL
BROWN DAMP MED. SAND W/ SILT/
SOME GRAVEL

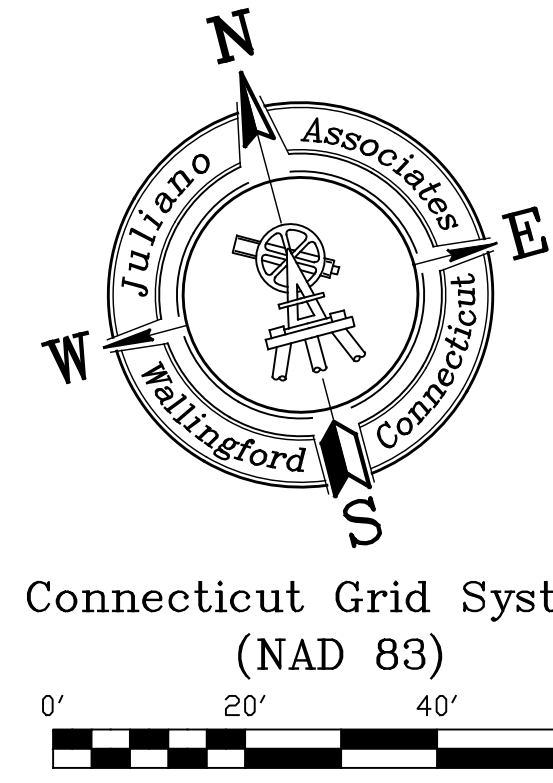
TP #2
DEPTH:
0" - 6"
6" - 51"
51" - 63"
63" - 72"
72" - 84"
ROOTS: NONE
GROUNDWATER: 51"
LEDGE: NONE
MOTTILING: 63"
COMMENTS: NONE

DESCRIPTION:
TOPSOIL
SILTY CLAY FILL
DARK BROWN COARSE SAND
COMPACT MOTTLED LAYER
DARK BROWN COMPACT

TP #5
DEPTH:
0" - 4"
4" - 48"
48" - 86"
86" - 104"
ROOTS: 48"
GROUNDWATER: NONE
LEDGE: 86"
MOTTILING: NONE
COMMENTS: NONE

DESCRIPTION:
TOPSOIL
SILTY TILL
HARD PAN

Drainage Rights to the State of
Connecticut Department of Transportation



STORM WATER QUALITY VOLUME CALCULATIONS:
WQV = (1") * (0.05 + 0.009 * (I)) * A * (1' / 12')

PERCENT IMPERVIOUS COVER = 1 = PROPOSED IMPERVIOUS AREA / LOT AREA
= 34,510 SQ.FT. / 82,757 SQ.FT.
= 0.417 = 41.7%
= 82,758 SQ. FT. (1.90 ACRES)
STORM WATER STUDY AREA = 1" * (0.05 + 0.009 * 41.7%) * 1.90 ACRES * (1' / 12')
WQV 2004 = 0.0673 ACRE-FT.
= 2,833.3 CU.FT.

WQV 2024 = 1.3" * (0.05 + 0.009 * 41.7%) * 82,757 SQ.FT * (1' / 12')
= 3,821.1 CU.FT.

STOMWATER DETENTION SYSTEMS
SYSTEM A (22P)
CULTEC R-180 UNITS = 72 UNITS @ 21.8 CU. FT. / UNIT
= 1,569.6 CU.FT.
CULTEC STORAGE = (SYSTEM VOLUME - CULTEC STORAGE) x VOID RATIO
STONE VOID STORAGE = ((L x W x H) - 1,608.9 CU.FT.) x 0.40
= ((40.98' x 40.75' x 2.71') - 935.1 CU.FT.) x 0.40
= (4,522.7 CU.FT. - 1,608.9 CU.FT.) x 0.40
= 1,165.6 CU.FT.
CULTEC STORAGE + STONE VOID STORAGE
= 1,608.9 CU.FT. + 1,165.6 CU.FT.
= 2,774.5 CU.FT.

SYSTEM TOTAL = 2,774.5 CU.FT.

SYSTEM B (25P)
CULTEC R-280HD UNITS = 24 UNITS @ 42.5 CU. FT. / UNIT
= 1,020.0 CU.FT.
CULTEC STORAGE = (SYSTEM VOLUME - CULTEC STORAGE) x VOID RATIO
STONE VOID STORAGE = ((L x W x H) - 1,068.6 CU.FT.) x 0.40
= ((24.50' x 35.08' x 3.21') - 1,068.6 CU.FT.) x 0.40
= (2,757.7 CU.FT. - 1,068.6 CU.FT.) x 0.40
= 675.6 CU.FT.
CULTEC STORAGE + STONE VOID STORAGE
= 1,068.6 CU.FT. + 675.6 CU.FT.
= 1,744.2 CU.FT.

SYSTEM TOTAL = 1,744.2 CU.FT.

TOTAL OF ALL SYSTEMS = SYSTEM A + SYSTEM B
= 2,774.5 CU.FT. + 1,744.2 CU.FT.
= 4,518.7 CU.FT.

TOTAL STORAGE PROVIDED > FURTHER REQUIRED STORAGE
4,518.7 CU.FT. > 2,933.3 CU.FT.
4,518.7 CU.FT. > 3,821.1 CU.FT.

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- EXISTING EVERGREEN (TBR)
- EXISTING GAS GATE
- EXISTING MANHOLE
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- EXISTING WATER GATE
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- MANHOLE (TBR)
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- EXISTING FENCE
- GAS
- EXISTING GAS MAIN
- EXISTING SANITARY MAIN
- EXISTING WATER LATERAL
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- PROPOSED SANITARY MAIN
- PROPOSED SIDEWALK
- PROPOSED STRUCTURE
- PROPOSED WATER LATERAL
- PROPOSED WATER MAIN

Site Grading and Drainage Plan

Land of
Little Horse Living LLC
#1676 & #1688 Berlin Turnpike
(Connecticut Route #15)
Berlin, Connecticut

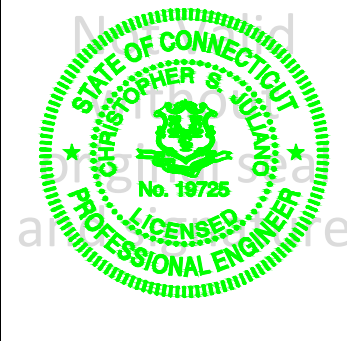
THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE ON-SITE
STORMWATER FACILITIES. THE PROPERTY OWNER WILL DESIGNATE AN INDIVIDUAL OR FIRM
TO CARRY OUT THE REQUIRED MAINTENANCE ACTIVITIES AS DETAILED IN THE STORMWATER
MANAGEMENT MAINTENANCE PLAN SUBMITTED IN IWWC APPLICATION 23-05,
AND ON RECORD WITH THE BERLIN PLANNING AND ZONING DEPARTMENT.

REVISIONS

DATE	DESCRIPTION
12/11/23	TOWN COMMENTS

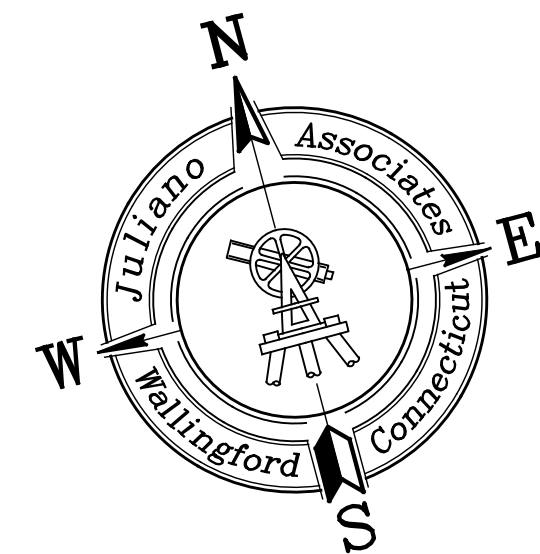
Juliano Associates, LLC

Engineers & Surveyors
Established 1973
405 Main Street (Yalesville)
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JulianoAssociatesLLC@gmail.com

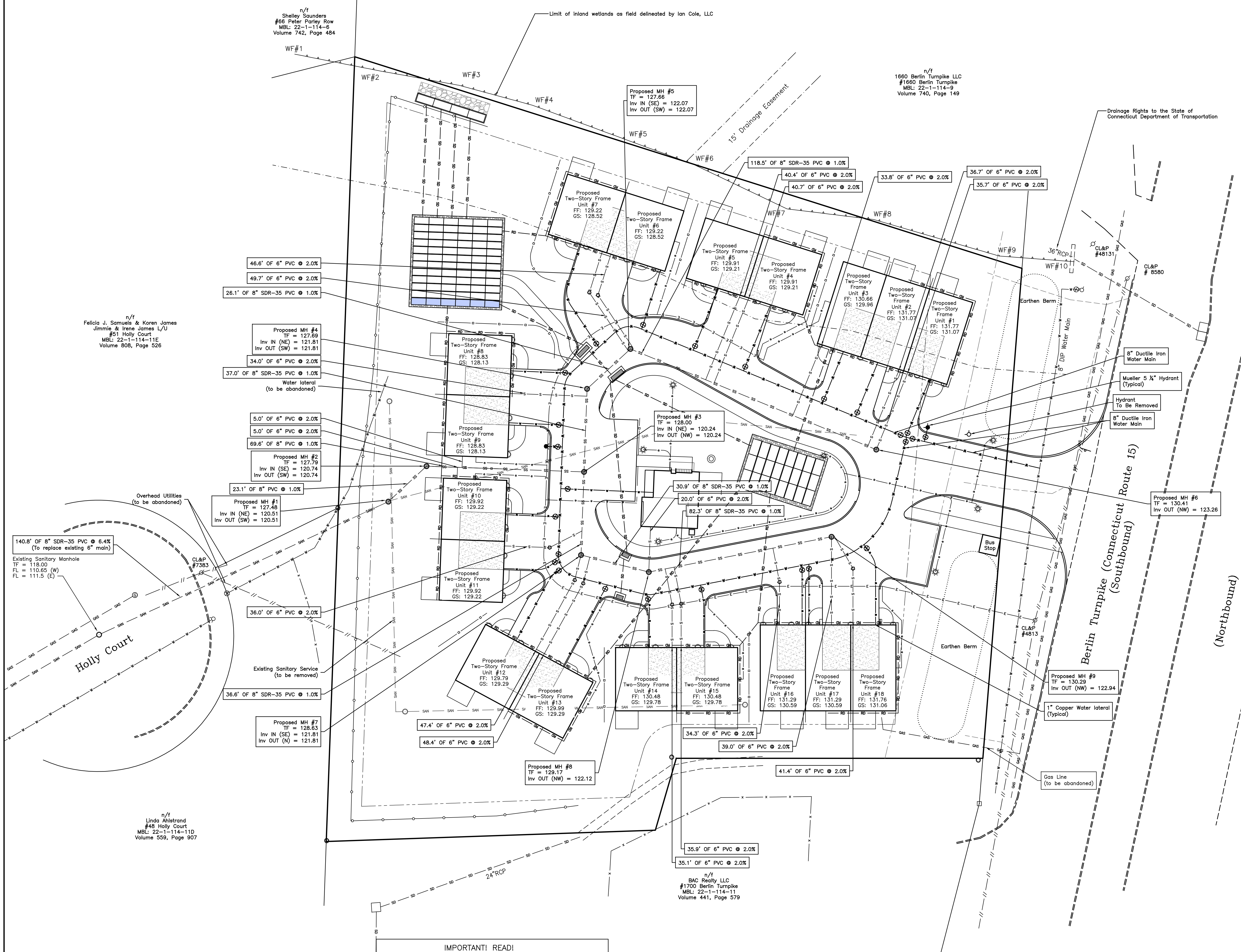


Project no.:	23-100	Date:	12/05/23	Scale:	1" = 20'
Work map:	CJULIANO	Checked:	ZGEORGINA	Sheet:	2 of 18
Final map:	CJULIANO	Released:	CJULIANO	Revision:	A

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M/Pending/2023/10005-2-AJWG 12/15/2023 11:14 AM RV



Connecticut Grid System
(NAD 83)



LEGEND	
	PROPERTY LINES (EXTERIOR)
	SETBACK LINES
	2' CONTOUR
	10' CONTOUR
	SWALE/DRAINAGE DITCH
	WETLANDS
	WETLANDS REVIEW AREA
	EXISTING CONCRETE PAD
	EXISTING DRAINAGE PIPE
	EXISTING DRIVEWAY (PAVED)
	EDGE OF PAVEMENT (CURB)
	EDGE OF PAVEMENT (NO CURB)
	EXISTING ELECTRIC OVERHEAD
	EXISTING FENCE
	EXISTING GAS MAIN
	EXISTING SANITARY MAIN
	EXISTING WATER LATERAL
	EXISTING WATER MAIN
	DRIVEWAY/PARKING (HISTORIC)
	HISTORIC STRUCTURE
	EXISTING DRIVEWAY (TBR)
	EXISTING SANITARY MAIN (TBR)
	PROPOSED BITUMINOUS CURB
	PROPOSED CONTOUR
	PROPOSED DRAINAGE PIPE
	PROPOSED ELECTRIC LATERAL
	PROPOSED ELECTRIC MAIN
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	PROPOSED VINYL FENCE
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	PROPOSED ROOFDRAIN
	PROPOSED SANITARY LATERAL
	PROPOSED SANITARY MAIN
	PROPOSED SIDEWALK
	PROPOSED STRUCTURE
	PROPOSED WATER LATERAL
	PROPOSED WATER MAIN

Site Utilities Plan

Land of
Little House Living LLC
#1676 & #1688 Berlin Turnpike
(Connecticut Route #15)
Berlin, Connecticut

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

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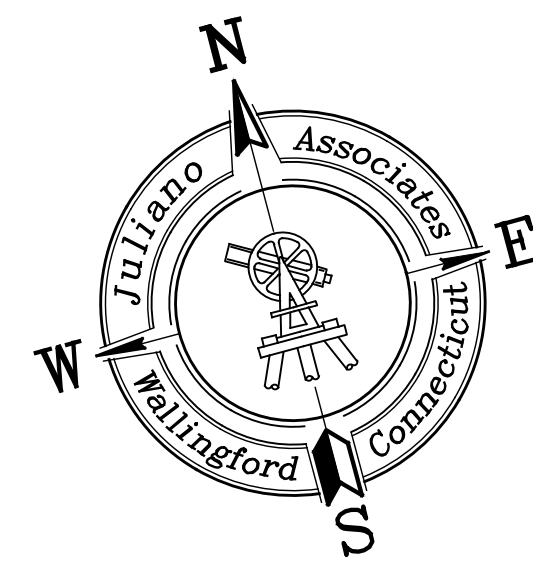
Christopher S. Juliano PELS #19725

REVISIONS	
DATE	DESCRIPTION
12/11/23	TOWN COMMENTS

Juliano Associates, LLC
Engineers & Surveyors
Established 1973
405 Main Street (Yalesville)
Wallingford, Connecticut 06492
Voice (203)265-1489 Fax (203)949-1523
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Project no.:	23-100	Date:	12/05/23	Scale:	1" = 20'
Work map:	CJULIANO	Checked:	ZGEORGINA	Sheet:	3 of 18
Final map:	CJULIANO	Released:	CJULIANO	Revision:	A

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M:\Pending\2023\100005-3-AJWG 12/15/2023 1010 AM RV



Connecticut Grid System
(NAD 83)



n/f
Shelley Saunders
#66 Peter Farley Row
MBL: 22-1-114-6
Volume 742, Page 484

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PLANT NOTES:

- ALL PLANTING MATERIAL TO BE NURSERY GROWN STOCK TO A.A.N. STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL PLANTS IN QUANTITIES SUFFICIENT TO COMPLETE THE WORK SHOWN ON THE DRAWINGS AND LISTED IN THE PLANT LIST. IN THE EVENT OF A DISCREPANCY BETWEEN QUANTITIES SHOWN IN THE PLANT LIST AND THOSE REQUIRED BY THE DRAWING, THE LARGER NUMBER SHALL APPLY.
- ALL PLANTS SHALL BE APPROVED PRIOR TO INSTALLATION AND SHALL BE LOCATED ON SITE BY THE CONTRACTOR FOR APPROVAL OF THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER. ANY INSTALLATIONS WHICH WERE NOT APPROVED BY THE LANDSCAPE ARCHITECT OR THE CIVIL ENGINEER AND WHICH ARE SUBSEQUENTLY REQUIRED TO BE MOVED WILL BE DONE AT THE CONTRACTORS EXPENSE.
- PRECISE LOCATION OF ITEMS NOT DIMENSIONED ON THE PLAN ARE TO BE FIELD STAKED BY THE CONTRACTOR AND SHALL BE SUBJECT TO THE REQUIREMENTS IN THE PREVIOUS NOTE.
- ALL SHRUB MASSING AND TREE PITS SHALL BE MULCHED TO A DEPTH OF 3" WITH SHREDDED PINE BARK MULCH.
- TREES SHALL NOT BE STAKED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE VEGETATION AND SHALL REPLACE OR REPAIR ANY DAMAGED MATERIAL, AT HIS OWN EXPENSE. THE CONTRACTOR SHALL CONTACT "CALL BEFORE YOU DIG" AT 811 PRIOR TO CONSTRUCTION.
- ALL SHRUBS AND GROUND COVER PLANTING AREAS SHALL BE HAVE CONTINUOUS BEDS OF TOPSOIL 12" DEEP. ALL LAWN AREAS SHOULD HAVE A MINIMUM TOPSOIL BED OF 6".
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UTILITIES IN THE FIELD, WHERE PLANT MATERIAL MAY INTERFERE WITH UTILITIES. THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER TO COORDINATE THEIR INSTALLATION.
- FOR PLANTING SOIL MIX, SEE SPECIFICATIONS OR PLANTING DETAILS.
- ALL EXISTING RILL, GULL OR CHANNEL EROSION SHALL BE FILLED WITH APPROPRIATE BACKFILL MATERIAL, FINE RAKED, SCARIFIED AND STABILIZED WITH APPROPRIATE VEGETATIVE MATERIAL AND/OR APPROPRIATE SEDIMENTATION AND EROSION CONTROL MEASURES.
- ADJUSTMENTS IN THE LOCATIONS OF THE PROPOSED PLANT MATERIAL AS A RESULT OF EXISTING VEGETATION TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO INSTALLATION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL, AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT WARRANTY PERIOD.
- PLANTINGS INSTALLED IN THE DRY SUMMER MONTHS AND / OR LAWN SEEDED OUT OF SPRING OR FALL PERIODS, IF ALLOWED BY OWNER, WILL REQUIRE AGGRESSIVE IRRIGATION PROGRAMS AT THE CONTRACTOR'S EXPENSE, UNLESS DIRECTED BY THE OWNER.
- UPON COMPLETION OF PLANTING, REMOVE FROM SITE ALL EXCESS SOIL, MULCH, AND MATERIALS AND DEBRIS RESULTING FROM WORK OPERATIONS. CLEAN UP SHOULD BE COMPLETED AT THE END OF EACH WORKING DAY. RESTORE TO ORIGINAL CONDITIONS ALL DAMAGED PAVEMENTS, PLANTING AREAS, STRUCTURES AND LAWN AREAS RESULTING FROM LANDSCAPING OPERATIONS.
- CONTRACTOR SHALL SURVEY, LOCATE, AND PROTECT ALL TREES WITHIN AREAS SHOWN AS "EXISTING VEGETATION TO REMAIN" WITHIN THE DEVELOPMENT ENVELOPE FOR REVIEW BY LANDSCAPE ARCHITECT OR CIVIL ENGINEER PRIOR TO CLEARING OPERATIONS.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS.
- ALL LAWN AND LANDSCAPE AREAS WILL BE SERVICED BY AN AUTOMATIC SPRINKLER SYSTEM.
- PRIOR TO CONSTRUCTION A CERTIFIED ARBORIST CONSULTANT SHALL BE HIRED TO CONSULT ON SURVIVABILITY OF PERIMETER AND EASEMENT TREES, THESE FINDINGS WILL BE PROVIDED TO THE BRANFORD TOWN PLANNER FOR REVIEW.

n/f
Shelley Saunders
#66 Peter Parley Row
MBL: 22-1-114-6
Volume 742, Page 484

Proposed Arborvitae
(Typical)

Proposed Subterranean Storm
Water Management Area
(size and configuration
subject to final site
configuration, typical)

n/f
Felicia J. Samuels & Karen James
Jimmie & Irene James L/U
#51 Holly Court
MBL: 22-1-114-11E
Volume 808, Page 526

Proposed Tree
(Typical)

Proposed Bush
(Typical)

n/f
Linda Ahlstrand
#48 Holly Court
MBL: 22-1-114-11D
Volume 559, Page 907

INSTALLATION SCHEDULE and MAINTENANCE PLAN:

- PLANTING ONLY UNDER FAVORABLE WEATHER CONDITIONS. PLANTING WILL NOT BE PERMITTED WHEN GROUND IS FROZEN OR EXCESSIVELY MOIST.
DECIDUOUS MATERIAL
SPRING: MARCH 21 TO JUNE 01.
FALL: SEPT. 01 TO NOV. 01
- IF PLANTING DURING PEAK SUMMER MONTHS OF JULY AND AUGUST, CONTRACTOR SHALL AGGRESSIVELY IRRIGATE PLANTS TO ENSURE ESTABLISHMENT AND SURVIVAL.
- DO NOT PLANT WHEN GROUND IS FROZEN, SNOW COVERED, OR MUDDY.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MAINTENANCE REPAIR AND REPLACEMENT OF PLANT MATERIAL AS REQUIRED, FOR THE DURATION OF THE PROJECT AND SUBSEQUENT PERIOD OF ONE FULL YEAR FROM COMMENCEMENT OF PLANT INSTALLATION.

SEEDING AND MULCHING SPECIFICATIONS:

SEEDING MAY BE OF A PERMANENT OR TEMPORARY TYPE DEPENDING ON THE TIME OF YEAR IT IS DONE. PERMANENT SEEDING SHOULD BE DONE DURING THE PERIODS OF APRIL 1 THROUGH JUNE 1 OR AUGUST 15 THROUGH SEPTEMBER 1.

DISTURBED AREA THAT ARE TO BE RESEEDED SHALL BE TOPSOILED, LIMED & FERTILIZED PRIOR TO RESEEDING. LABORATORY TESTING OF THE TOPSOIL IS RECOMMENDED TO DETERMINE RATES OF APPLICATION FOR THE LIME AND FERTILIZER. LACKING SUCH TESTING THE FOLLOWING ARE RECOMMENDED:
LIME 2 TONS/ACRE (90 lbs./1000 sq. ft.)
FERTILIZER (10-10-10) (7.5 lbs./1000 sq. ft.)

SEEDING RECOMMENDATIONS ARE AS FOLLOWS:

TEMPORARY - ANNUAL RYEGRASS 40LBS./ACRE
PERMANENT - KENTUCKY BLUE GRASS 20LBS./ACRE
CREEPING RED FESCUE 20LBS./ACRE
PERENNIAL RYEGRASS 45LBS./ACRE
TOTAL

- MULCHING SHALL BE OF A TEMPORARY TYPE. TO PROTECT THE SOIL & SEED FROM EROSION AND ALSO TO PROMOTE PLANT GROWTH. MULCHING SHALL BE DONE AFTER FINAL GRADING AND SEEDING.

- MULCHING RECOMMENDATION ARE AS FOLLOWS:
- STRAW OR HAY (FREE FROM WEEDS AND COARSE MATTER)
- SPREAD WITH MULCH BLOWER OR BY HAND
- APPLY @ RATE OF 70 - 90 LBS/100 SQ. FT.

IMPORTANT! READ!
WARNING AND DISCLAIMER OF LIABILITY
UNDERGROUND UTILITIES

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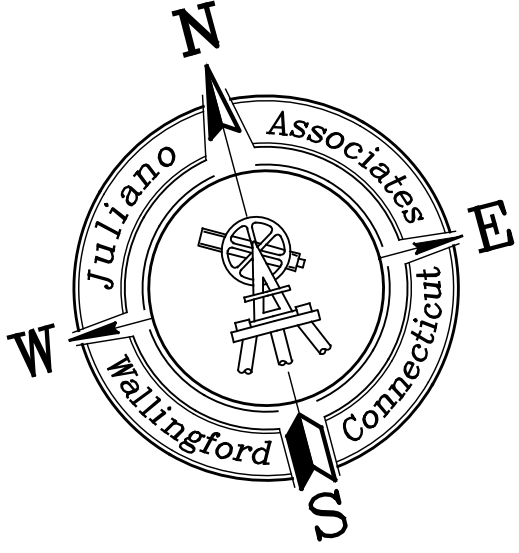
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Christopher S. Juliano PELS #19725



QUANTITY	Botanical Name	Common Name	TYPE	Mature WIDTH (ft.)	HEIGHT (ft.)	Planting Size
22	Llex Glabra	Inkberry Holly	Hedge	8	8	#6
25	Rhododendron x 'Roseum Elegans'	Roseum Elegans Rhododendron	Hedge	8	8	#6
69	Thuja Plicata x Standishii	Green Giant Arborvitae	Hedge	12	40	6" HEIGHT
2	Acer Saccharum	Sugar Maple	Shade Tree	30	40	2"-2.5" CALIP.
4	Cornus Florida	Flowering Dogwood	Ornamental Tree	30	30	2"-2.5" CALIP.
6	Tilia Americana	American Linden	Shade Tree	30	50	2.5"-3" CALIP.
7	Acer Rubrum	Red Maple	Shade Tree	30	40	2"-2.5" CALIP.
6	Betula Nigra "Heritage"	Heritage River Birch	Shade Tree	40	40	10"-12" HEIGHT
2	Quercus Rubra	Red Oak	Shade Tree	50	50	2.5"-3" CALIP.

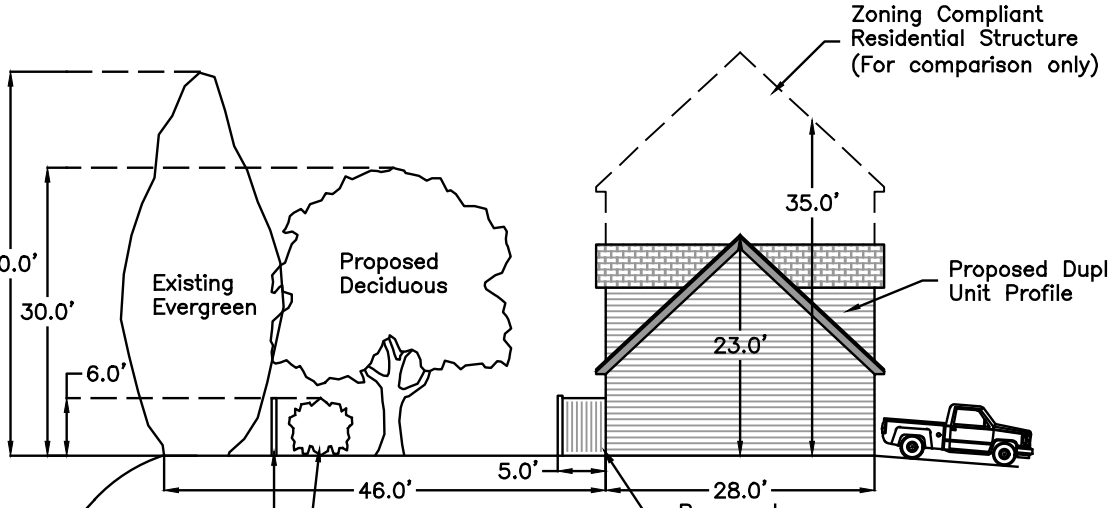


Connecticut Grid System
(NAD 83)



EASEMENT FOR WATER AND SANITARY SEWER PLANTING NOTES:

- CONTRACTOR SHALL SURVEY, LOCATE, IDENTIFY, AND FLAG ALL TREES 6 INCHES OR MORE IN CALIPER WITHIN THE EASEMENT TO BE REMOVED AS WELL AS MEET WITH THE TOWN PLANNER TO REPORT THOSE FINDINGS PRIOR TO CLEARING OPERATIONS.
- ALL TREES REMOVED DURING SANITARY SEWER REPLACEMENT OPERATIONS 6 INCHES OR MORE IN CALIPER WITHIN THE EASEMENT SHALL BE REPLACED WITH PLANTINGS 2"-3" IN CALIPER OF MATCHING SPECIES.
- CONTRACTOR TO RESEED ALL DISTURBED AREAS WITH SHADY WOODLAND SEED MIX.
SEED MIX DOSE = 13.53 LBS./ACRES.
EASEMENT AREA = 1368± SQFT (0.03 ACRES)
MINIMUM REQUIRED MIX = 0.42 LBS
- ALL LAWN AND LANDSCAPE AREAS WILL BE SERVICED BY AN AUTOMATIC SPRINKLER SYSTEM.
- PRIOR TO CONSTRUCTION A CERTIFIED ARBORIST CONSULTANT SHALL BE HIRED TO CONSULT ON SURVIVABILITY OF EASEMENT TREES.



Rear Screening Buffer

LEGEND

○ IRON PIN/PIPE FOUND	— PROPERTY LINES (EXTERIOR)
● IRON PIN TO BE SET	— SETBACK LINES
■ MONUMENT FOUND	— 2' CONTOUR
□ UTILITY POLE	— 10' CONTOUR
● EXISTING EVERGREEN	— SWALE/DRAINAGE DITCH
● EXISTING EVERGREEN (TBR)	— WETLANDS
⊙ EXISTING GAS GATE	— WETLANDS REVIEW AREA
⊙ EXISTING MANHOLE	— EXISTING CONCRETE PAD
⊙ EXISTING SPOTGRADE	— EXISTING DRAINAGE PIPE
⊙ EXISTING WATER GATE	— EXISTING DRIVEWAY (PAVED)
⊙ FIRE HYDRANT (TBR)	— EDGE OF PAVEMENT (CURB)
○ MANHOLE (TBR)	— EDGE OF PAVEMENT (NO CURB)
⊙ SIGN (TBR)	— EXISTING ELECTRIC OVERHEAD
■ PROPOSED CATCH BASIN	— EXISTING FENCE
■ PROPOSED CATCH BASIN (CURBLESS)	— GAS
■ PROPOSED CATCH BASIN (DOUBLE)	— EXISTING SANITARY MAIN
● PROPOSED FIRE HYDRANT	— EXISTING WATER LATERAL
⊙ PROPOSED LIGHT POLE	— EXISTING WATER MAIN
⊙ PROPOSED SANITARY CLEANOUT	— DRIVEWAY/PARKING (HISTORIC)
⊙ PROPOSED SANITARY MANHOLE	— HISTORIC STRUCTURE
⊙ PROPOSED SIGN	— EXISTING DRIVEWAY (TBR)
⊙ PROPOSED STORM MANHOLE	— EXISTING SANITARY MAIN (TBR)
⊙ PROPOSED SPOTGRADE	— PROPOSED BITUMINOUS CURB
⊙ PROPOSED UNIT LIGHTING	— PROPOSED CONTOUR
⊙ PROPOSED WATER GATE	— PROPOSED DRAINAGE PIPE
	— PROPOSED ELECTRIC LATERAL
	— PROPOSED ELECTRIC MAIN
	— PROPOSED ESTATE FENCE
	— PROPOSED VINYL FENCE
	— PROPOSED LINE STRIPING
	— PROPOSED ROOFDRAIN
	— PROPOSED SANITARY LATERAL
	— PROPOSED SANITARY MAIN
	— PROPOSED SIDEWALK
	— PROPOSED STRUCTURE
	— PROPOSED WATER LATERAL
	— PROPOSED WATER MAIN
	— PROPOSED SNOW STORAGE

Site Landscaping Plan

Land of
Little House Living LLC
#1676 & #1688 Berlin Turnpike
(Connecticut Route #15)
Berlin, Connecticut

Project no.: 23-100 Date: 12/05/23 Scale: 1" = 20'

Work map: CJULIANO Checked: ZGEORGINA Sheet: 5 of 18
Final map: ZGEORGINA Released: CJULIANO Revision: A

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